

**CITY OF MURRIETA
Council Chambers
1 Town Square
Murrieta, CA 92562**



**Tuesday, July 1, 2025
4:30 PM WORKSHOP
5:30 PM CLOSED SESSION
6:00 PM REGULAR MEETING**

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Any presentation requiring the use of the City of Murrieta's equipment must be submitted to the City Clerk's department 72 hours prior to the scheduled City Council meeting at City Hall located at 1 Town Square, Murrieta, CA; via email at CityClerk@MurrietaCA.gov or call (951) 461-6031. Any writings or documents provided to a majority of the City Council regarding any item on this agenda will be made available for public inspection at the public counter at City Hall located at 1 Town Square, Murrieta, CA during normal business hours.

**Cindy Warren
Mayor**

**Jon Levell
Mayor Pro Tem**

**Lisa DeForest
Council Member**

**Lori Stone
Council Member**

**Ron Holliday
Council Member**

**Justin Clifton, City Manager
Tiffany Israel, City Attorney
Cristal McDonald, City Clerk**

**MURRIETA CITY COUNCIL (CC)
MURRIETA COMMUNITY SERVICES DISTRICT (CSD)
MURRIETA FIRE DISTRICT (FD)
MURRIETA LIBRARY BOARD (LB)
MURRIETA REDEVELOPMENT SUCCESSOR AGENCY (RSA)
MURRIETA HOUSING AUTHORITY (HA)
MURRIETA FINANCING AUTHORITY (FA)**

**YOU MAY VIEW THE MEETING LIVESTREAMED VIA THE CITY'S WEBSITE AT
<https://murrieta.legistar.com/Calendar.aspx>**

4:30 PM WORKSHOP

Public comments relating to the Workshop will be taken during the respective item.

CALL TO ORDER**ROLL CALL****WORKSHOP****WS1. Workshop: Emergency Management 101 Presentation**Recommended Action:

On January 21, 2025, Council Member Stone requested a workshop to review disaster scenario preparedness due to recent events. The City Council will receive an overview of emergency management and procedures from the Fire Chief and Disaster Preparedness Coordinator.

RECESS**5:30 PM CLOSED SESSION****CALL TO ORDER****ROLL CALL****PUBLIC COMMENTS - CLOSED SESSION ITEMS ONLY****ANNOUNCEMENT OF CLOSED SESSION ITEMS****CLOSED SESSION****CS1. Conference with Legal Counsel - Exposure Litigation**

The City Council will conduct a closed session, pursuant to Government Code section 54956.9(d)(2), because there is a significant exposure to litigation in one case.

RECESS TO CLOSED SESSION**6:00 PM REGULAR MEETING****CALL TO ORDER****ANNOUNCEMENT OF CLOSED SESSION ACTION****ROLL CALL****PLEDGE OF ALLEGIANCE**

INVOCATION**PRESENTATIONS**

Certificate of Appreciation: Father's Day Car Show Judges

APPROVAL OF AGENDA**CITY MANAGER - ADMINISTRATIVE UPDATE**

I-215/Keller Road Interchange Update: Bob Moehling, Director of Public Works

Southwest Riverside County Elected Leaders Collaborative - Legislative Advocacy Day Update

**GOVERNING BODY COMMISSION/COMMITTEE/BOARD (CCB)
REPORTS/ANNOUNCEMENTS**

Governing Body CCB Reports is the opportunity for the City Council to provide a brief report on conferences, seminars, and Commission, Committees, and/or Boards meeting attendance. Reports shall not exceed three minutes. Governing Body Announcements is the opportunity for the City Council to provide miscellaneous reports and announcements. Announcements shall not exceed two minutes. The City Clerk will use the computerized timer.

PUBLIC COMMENTS (NON-AGENDA)

At this time any person may address the governing bodies on any subject pertaining to City business, which does not relate to any item listed on the printed agenda. Normally no action may be considered or taken by the governing bodies on any matter not listed on the agenda. Each speaker will be limited to three minutes.

CONSENT CALENDAR - APPROVAL OF ITEMS 1 – 7

All matters listed on the Consent Calendar are to be considered routine by the governing bodies, and will be enacted by one motion in the form listed. There will be no discussion of these items unless, before the governing body votes on the motion to adopt, specific items are removed from the Consent Calendar for separate motions.

1. Waive Reading of All Ordinance Adoptions on the Agenda and Read by Title Only
2. Minutes

Recommended Action:

Approve the minutes of the June 17, 2025 Regular Meeting.

3. Fiscal Year 2025/26 Tax Rates for the Community Facilities Districts**Recommended Action:**

Adopt the Resolutions approving the Fiscal Year 2025/26 Tax Rates for the Community Facilities Districts:

Resolution No. 25-4848 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2000-1 (Greer Ranch) for Fiscal Year 2025/26;*

Resolution No. 25-4849 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2000-2 (The Oaks) for Fiscal Year 2025/26;*

Resolution No. 25-4850 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2001-1 (Bluestone Communities/Murrieta Highlands) for Fiscal Year 2025/26;*

Resolution No. 25-4851 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-1 (Murrieta Springs) For Fiscal Year 2025/26;*

Resolution No. 25-4852 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-2 (Blackmore Ranch) for Fiscal Year 2025/26;*

Resolution No. 25-4853 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-3 (Creeside Village) for Fiscal Year 2025/26;*

Resolution No. 25-4854 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-4 (Bluestone Communities II/Mapleton) for Fiscal Year 2025/26;*

Resolution No. 25-4855 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2004-1 (Bremerton) for Fiscal Year 2025/26;*

Resolution No. 25-4856 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2004-2 (Murrieta Fields) for Fiscal Year 2025/26;*

Resolution No. 25-4857 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Taxes in Community Facilities District No. 2004-3 (Meadowlane/Amberwalk I & II) for Fiscal Year 2025/26;*

Resolution No. 25-4858 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2005-1 (Springbrook) for Fiscal Year 2025/26;*

Resolution No. 25-4859 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2005-5*

IA A (Golden City) for Fiscal Year 2025/26; and

Resolution No. 25-4860 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2005-5 IA B (Golden City) for Fiscal Year 2025/26.*

4. Fiscal Year 2024 State Homeland Security Program Grant Award

Recommended Action:

Adopt Resolution No. 25-4861 entitled: *A Resolution of the City Council of the City of Murrieta, California, Accepting the Fiscal Year 2024 State Homeland Security Program Grant Award and Amending the Fiscal Year 2024/25 Operating Budget to Allocate and Appropriate the Grant Funds;*

Accept the Fiscal Year (FY) 2024 State Homeland Security Program Grant award;

Amend the FY 2024/25 Operating Budget to allocate and appropriate the grant funds for \$15,978; and carry over any unused grant budget to Fiscal Year 2025/26; and

Authorize the City Manager, and/or Designee, to sign and submit all necessary grant-related documents and take actions required to accept and implement the grant.

5. Architectural Design Services for Fire Station 1 Remodel

Recommended Action:

Approve a purchase order with TR Design Group, Inc., in the amount of \$174,129, plus a 15% contingency, for a total amount of \$200,248 to perform architectural and consultant services related to the remodel of Fire Station 1.

6. Lee Lane and Greenberg Place Right of Way Acceptance

Recommended Action:

Adopt Resolution No. 25-4862 entitled: *A Resolution of the City Council of the City of Murrieta, California, Accepting the Dedications of Lot B made on Parcel Map 8590, Lot F Made on Parcel Map 11076, and Lot F Made on Parcel Map 15203, All Subject to Improvements.*

7. Continuation of the Emergency Declaration, Appropriation of Funding, and Award of Construction Contract for Hayes Avenue Bridge at Miller Canyon Creek

Recommended Action:

Amend the Capital Improvement Plan (CIP) Budget for Fiscal Year 2025/26 and establish appropriation of \$200,000, using Unassigned Fund Balance from the Drainage Area Fee fund to CIP No. 11004; and

Adopt Resolution No. 25-4863 entitled: *A Resolution of the City Council of the City of Murrieta, California, Declaring that Emergency Conditions Persist, Appropriating Funding, and Approving the Execution of a Contract for Reconstruction of the Hayes Avenue Bridge at Miller Canyon Creek without Notice for Bids Pursuant to California Public Contract Code Section 1102, 20168, and 22050.*

PULLED CONSENT CALENDAR ITEMS

PUBLIC HEARINGS

8. Consider the Levy of 2024 Delinquent Refuse Service Charges on the Fiscal Year 2025/26 Property Tax Roll

Recommended Action:

Conduct a Public Hearing;

Adopt Resolution No. 25-4864 entitled: *A Resolution of the City Council of the City of Murrieta, California, Affirming the Report of Delinquent Refuse Charges and Directing their Collection on the Fiscal Year 2025/26 Property Tax Roll*; and

Direct the City Manager, or his designee, to file a certified copy of Resolution No. 25-4864 with the Riverside County Tax Collector and/or Auditor-Controller.

9. Fiscal Year 2025/26 Fire Suppression Assessment

Recommended Action:

Adopt Resolution No. MFD 25-226 entitled: *A Resolution of the Board of Directors of the Murrieta Fire District Levying the Fiscal Year 2025/26 Fire Suppression Assessment Fee and Standby or Availability Charge*; and

Authorize the General Manager to execute the associated Proposition 218 Compliance Letter.

10. Murrieta Community Services District Levy of Annual Assessments

Recommended Action:

Conduct the Public Hearing;

Adopt Resolution No. CSD 25-286 entitled: *A Resolution of the Board of Directors of the Murrieta Community Services District, (1) Amending and/or Approving the Engineer's Annual Levy Report for the Levy and Collection of Rates and Charges within the Murrieta Community Services District for Fiscal Year 2025/26, and (2) Ordering the Levy and Collection of Rates and Charges within the Murrieta Community Services District for Fiscal Year 2025/26*; and

Direct the Board Secretary to file the levy with the County Auditor upon adoption.

11. Consolidated Landscaping and Lighting District Levy of Annual Assessments

Recommended Action:

Conduct the Public Hearing;

Adopt Resolution No. 25-4865 entitled: *A Resolution of the City Council of the City of Murrieta, California, Confirming Assessments and Providing for Annual Assessment Levy for Fiscal Year 2025/26 in the City of Murrieta Consolidated Landscaping and Lighting District*; and

Authorize the City Clerk to file the assessment roll with the County Auditor.

12. Consideration to Introduce an Ordinance approving a Development Agreement for Digital Billboards at Locations Approved by Relocation Agreement

Recommended Action:

Conduct the Public Hearing and receive public comments;

Find that the action is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15302 and 15303, as described in this staff report and the Ordinance; and

Introduce and conduct the first reading of Ordinance No. 620-25 entitled: *An Ordinance of the City Council of the City of Murrieta, California, Approving the Development Agreement with Lamar Central Outdoor, LLC for the Relocation of Billboards Subject to A Relocation Agreement.*

DISCUSSION

13. Discussion of Concept for Weekly Food Truck Event at Town Square Park

Recommended Action:

Review and discuss the preliminary concept for a weekly food truck event at Town Square Park and provide direction to staff.

RECONSIDERATION

COUNCIL MEMBER REQUESTS TO ADD ITEMS TO FUTURE AGENDAS

ADJOURNMENT



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. WS1.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

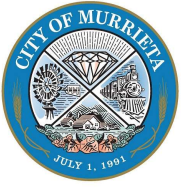
FROM: Justin Clifton, City Manager

PREPARED BY: Bernard Molloy, Fire Chief

SUBJECT: Workshop: Emergency Management 101 Presentation

RECOMMENDATION

On January 21, 2025, Council Member Stone requested a workshop to review disaster scenario preparedness due to recent events. The City Council will receive an overview of emergency management and procedures from the Fire Chief and Disaster Preparedness Coordinator.



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. CS1.



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No.



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No.



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No.



CITY OF MURRIETA

City Council Meeting Agenda

Report

6/3/2025
Agenda Item No. 1.



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 2.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Cristal McDonald, City Clerk

PREPARED BY: Kimberly Ramirez, Deputy City Clerk

SUBJECT: Minutes

RECOMMENDATION

Approve the minutes of the June 17, 2025 Regular Meeting.

ATTACHMENTS

1. June 17, 2025 Meeting Minutes

**CITY OF MURRIETA
Council Chambers
1 Town Square
Murrieta, CA 92562**



**Tuesday, June 17, 2025
2:45 PM WORKSHOP
4:45 PM CLOSED SESSION
6:00 PM REGULAR MEETING
MINUTES**

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**Cindy Warren
Mayor**

**Jon Levell
Mayor Pro Tem**

**Lisa DeForest
Council Member**

**Lori Stone
Council Member**

**Ron Holliday
Council Member**

**Justin Clifton, City Manager
Tiffany Israel, City Attorney
Cristal McDonald, City Clerk**

**MURRIETA CITY COUNCIL (CC)
MURRIETA COMMUNITY SERVICES DISTRICT (CSD)
MURRIETA FIRE DISTRICT (FD)
MURRIETA LIBRARY BOARD (LB)
MURRIETA REDEVELOPMENT SUCCESSOR AGENCY (RSA)
MURRIETA HOUSING AUTHORITY (HA)
MURRIETA FINANCING AUTHORITY (FA)**

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2:45 PM WORKSHOP

CALL TO ORDER 2:48 p.m.

ROLL CALL

Present: Council Member Lisa DeForest
Council Member Lori Stone
Council Member Ron Holliday
Mayor Pro Tem Jon Levell
Mayor Cindy Warren

Absent: None

WS1. Hillside Updates (DCA-2021-2396) – Workshop 3

Staff report and PowerPoint presentation provided by Development Services Director David Chantarangsu, Deputy Director of Development Services Jarrett Ramaiya, City Planner Carl Stiehl, and Senior Planner Chris Tracy.

The following topics were discussed:

- Overview of the Hillside ordinance history;
- Prior public feedback received;
- Living wall requirements; and
- Framework and modifications for the draft ordinance.

Public Comments:

- Mary Luedtke: Noted concerns regarding following a new grading map on their property.
- Kassen Klein: Stated that there are inconsistencies in hillside standards being applied and the need to incorporate specific plans across the City to protect prominent ridgelines, hilltops, and viewsheds.
- Dan Long: Noted concerns that the ordinance would not protect ridgelines and hilltops. Encouraged staff to look at adjacent cities for retaining walls and spoke on an example from the City of Vista.
- Mayor Warren requested that the location of the example hillside be provided to staff.
- Alan Long: Stated that the ordinance needs to be clear and that it is not applied consistently citywide. Requested developed/completed specific plan areas be removed from the Hillside Ordinance.
- Sherie Munroe: Stated that the ordinance should be brought back with additional updates to the Development Association Group for further review with specialists.

Action: After discussion, staff was directed by consensus to bring back objective Citywide standards. It was requested that the City Council visit other hillside locations.

RECESS 4:29 p.m.

4:45 PM CLOSED SESSION

CALL TO ORDER 4:45 p.m.

ROLL CALL

Present: Council Member Lisa DeForest
Council Member Lori Stone
Council Member Ron Holliday
Mayor Pro Tem Jon Levell
Mayor Cindy Warren

Absent: None

PUBLIC COMMENTS - CLOSED SESSION ITEMS ONLY None**ANNOUNCEMENT OF CLOSED SESSION ITEMS**

City Clerk Cristal McDonald announced the following Closed Session items:

CLOSED SESSION**CS1.** Conference with Real Property Negotiators

The City Council will conduct a closed session, pursuant to Government Code Section 54956.8, to enable the City Council to consider negotiations and to give direction to its negotiators regarding that certain real property, at the intersection of Kalmia Street and Jefferson Avenue, APN 903-080-041, 906-080-042, and 906-080-033 with Bold Communities and Fidelis Advisors. The City's real property negotiators, the City Manager, Assistant City Manager, Development Services Director, Economic Development Director, and City Attorney, will seek direction from the City Council regarding the price and terms for this property.

CS2. Conference with Legal Counsel – Existing Litigation

The City Council will conduct a closed session, pursuant to Government Code Section 54956.9(d)(1), to confer with the City Manager and legal counsel regarding 1 litigation case: Hock v. City of Murrieta; Case No. CVME2501856; Riverside County Superior Court.

CS3. Conference with Legal Counsel - Existing Litigation

The City Council will conduct a closed session, pursuant to Government Code section 54956.9(d)(1), to confer with legal counsel regarding litigation to which the City is a party. The title of such litigation is as follows: City of Dublin, et al. vs. Cephalon, Inc., et al.; Case Number 1:20-op-45255-DAP; US District Court for Northern Ohio.

CS4. Conference with Legal Counsel - Anticipated Litigation

The City Council will conduct a closed session, pursuant to Government Code sections 54956.9(d)(2), because there is a significant exposure to litigation in one case.

RECESS TO CLOSED SESSION 4:47 p.m.

6:00 PM REGULAR MEETING

CALL TO ORDER 6:01 p.m.

ANNOUNCEMENT OF CLOSED SESSION ACTION

City Attorney Tiffany Israel reported the following Closed Session Action: No reportable action for Closed Session Item Nos. CS1 – CS4.

ROLL CALL

Present: Council Member Lisa DeForest
Council Member Lori Stone
Council Member Ron Holliday
Mayor Pro Tem Jon Levell
Mayor Cindy Warren

Absent: None

PLEDGE OF ALLEGIANCE Fire Chief Bernie Molloy

INVOCATION Pastor Mark Brunette, Promise Christian Church

APPROVAL OF AGENDA

Action: It was moved by Council Member Holliday, seconded by Council Member DeForest, to approve the Agenda for June 17, 2025.

The motion carried by the following vote:

Ayes: DeForest, Stone, Holliday, Levell, Warren
Noes: None

CITY MANAGER - ADMINISTRATIVE UPDATE

Community Update: Public Information Officer Cristina Davies

Citywide Accomplishments 2024-2025: City Manager Justin Clifton

GOVERNING BODY COMMISSION/COMMITTEE/BOARD REPORTS/ANNOUNCEMENTS

Council Member DeForest: Deferred to the next City Council Meeting.

Council Member Stone: Provided attendance/reported the following:

- Southwest Riverside County Elected Leaders Collaborative
- Western Riverside Council of Governments (WRCOG)

Provided Announcements to be made part of the City's record.

Council Member Holliday: Provided attendance/reported the following:

- Western Riverside Regional Conservation Authority (RCA)

Provided Announcements to be made part of the City's record.

Mayor Pro Tem Levell: Provided verbal Announcements.

Mayor Warren: Provided attendance/reported the following:

- Riverside County Transportation Commission (RCTC)
- Southwest Riverside County Elected Leaders Collaborative

Provided Announcements to be made part of the City's record.

PUBLIC COMMENTS (NON-AGENDA)

Aimee Edgeworth: Spoke on the Murrieta train project.

Greg Langworthy: Spoke on concerns regarding the 2024 election conducted by the Riverside County Registrar of Voters.

Jim Niederrecker: Spoke on concerns regarding the 2024 election conducted by the Riverside County Registrar of Voters.

CONSENT CALENDAR - APPROVAL OF ITEMS 1 – 15

Action: It was moved by Council Member DeForest, seconded by Council Member Holliday to approve Consent Calendar Item Nos. 1-15.

The motion carried by the following vote:

Ayes: DeForest, Stone, Holliday, Levell, Warren

Noes: None

1. Waive Reading of All Ordinance Adoptions on the Agenda and Read by Title Only

2. MinutesRecommended Action:

Approve the minutes of the June 5, 2025, Regular City Council Meeting.

3. Ratify the Consolidated Check Register April 2025Recommended Action:

Adopt Resolution No. 25-4843 entitled: *A Resolution of the City Council of the City of Murrieta, California, Ratifying the Consolidated Check Register for April 2025.*

4. Monthly Investment Transaction Report for April 2025Recommended Action:

Receive and file the Monthly Investment Transaction Report for April 2025.

5. Approval of Comprehensive Pay Schedule for Fiscal Year 2025/26Recommended Action:

Adopt Resolution No. 25-4844 entitled: *A Resolution of the City Council of the City of Murrieta, California, Approving the Comprehensive Pay Schedule for Fiscal Year 2025/26.*

6. Approve a Third Amendment to the Agreement with RMG Communications for Design and Graphic ServicesRecommended Action:

Approve the third amendment to the agreement with RMG Communications for design and graphics services, increase the not-to-exceed amount to \$110,000, and extend the term to June 30, 2027; and

Authorize the City Manager to execute the agreement.

7. Approval of Gann Appropriations Limit for Fiscal Year 2025/26Recommended Action:

Adopt Resolution No. 25-4845 entitled: *A Resolution of the City Council of the City of Murrieta, California, Approving the Gann Appropriations Limit for Fiscal Year 2025/26.*

8. Approve a Contract with Capital Construction, Inc. for the Replacement of the Emergency Generator at Fire Station 3Recommended Action:

Approve a Public Works Contract with Capital Construction, Inc. in the amount of \$112,115, for the replacement of the emergency generator at Fire Station 3.

9. Fiscal Year 2024 Emergency Management Performance Grant Program Award

Recommended Action:

Adopt Resolution No. 25-4846 entitled: *A Resolution of the City Council of the City of Murrieta, California, Accepting the Fiscal Year 2024 Emergency Management Performance Grant Program Award and Amending the Fiscal Year 2024/25 Operating Budget to Allocate and Appropriate the Grant Funds.*

Accept the Fiscal Year 2024 Emergency Management Performance Grant program award;

Amend the Fiscal Year 2024/25 Operating Budget to allocate and appropriate the grant funds for \$15,503; and carry over any unused grant budget to Fiscal Year 2025/26; and

Authorize the City Manager, or their designee, to sign and submit all necessary grant-related documents and take actions required to accept and implement the grant.

10. Approve Agreement with Alarm Program Systems, LLC (APS) for False Alarm Billing for the Police and Fire Departments

Recommended Action:

Approve an agreement with Alarm Program Systems, LLC for false alarm billing for the Police and Fire departments.

11. Approve Agreement with UKG Kronos Systems, LLC to Upgrade the Telestaff Scheduling Software for both Police and Fire Departments and Migrate to a Cloud-Hosted Environment

Recommended Action:

Approve a three year agreement with UKG Kronos Systems, LLC for a total not to exceed \$86,400 to upgrade the TeleStaff scheduling software for both Police and Fire departments and migrate to a cloud-hosted environment.

12. Approve Public Safety Enterprise Communication (PSEC) Use Agreement with Riverside County for Full Time and Emergency Radio Use

Recommended Action:

Approve the five-year Public Safety Enterprise Communication Use Agreement with Riverside County for full time and emergency radio use.

13. Approval of Purchase Orders with Michael Baker International, Inc.; HR Green Pacific Inc.; Accenture Infrastructure and Capital Projects, LLC; and Rick Engineering Company

Recommended Action:

Approve a purchase order with Michael Baker International, Inc for On-Call Plan Check services for Fiscal Year 2025/26 for an amount not to exceed \$440,000 from the Engineering General Fund;

Approve a purchase order with Michael Baker International, Inc for On-Call Land Development Review services for Fiscal Year 2025/26 for an amount not to exceed \$90,000 from the Engineering General Fund;

Approve a purchase order with HR Green Pacific, Inc. for On-Call Plan Check services for Fiscal Year 2025/26 for an amount not to exceed \$330,000 from the Engineering General Fund;

Approve a purchase order with Accenture Infrastructure and Capital Projects, LLC for On-Call Storm Water Pollution Prevention Program (SWPPP) and Inspection services for Fiscal Year 2025/26 for an amount not to exceed \$525,000 from the Engineering General Fund;

Approve a purchase order with Accenture Infrastructure and Capital Projects, LLC for On-Call National Pollutant Discharge Elimination System services for Fiscal Year 2025/26 for an amount not to exceed \$150,000 from the National Pollutant Discharge Elimination System Fund;

Approve a purchase order with Rick Engineering Company for On-Call Traffic Engineering services for Fiscal Year 2025/26 for an amount not to exceed \$144,150 from the Engineering General Fund;

Approve a purchase order with Rick Engineering Company for On-Call Traffic Engineering consultant services for Fiscal Year 2025/26, for an amount not to exceed \$237,570 with \$73,465 from Capital Improvement Plan project No. 13074, \$73,465 from Capital Improvement Plan project No. 13077, \$73,465 from Capital Improvement Plan project No. 13078, and \$17,175 from Capital Improvement Plan project 13079;

Approve the First Amendment to the Agreement with Anser Advisory Management, LLC; and

Authorize the City Manager to execute the purchase orders and Assignment Agreement.

14. Construction Management Services for the Murrieta Hot Springs Road Widening Project, CIP No. 8079

Recommended Action:

Approve a Purchase Order for Construction Management Services for the Murrieta Hot Springs Road Widening Project, Capital Improvement Plan (CIP) No. 8079, to TKE Engineering, Inc. in the amount of \$617,083; and

Authorize a 10% construction management service contingency of \$61,708.30.

15. Finding that Emergency Conditions Persist in Connection with the Hayes Avenue Bridge at Miller Canyon Creek

Recommended Action:

Adopt Resolution No. 25-4847 entitled: *A Resolution of the City Council of the City of Murrieta, California, Declaring that Emergency Conditions Persist in Connection with the Hayes Avenue Bridge at Miller Canyon Creek.*

PULLED CONSENT CALENDAR ITEMS None

PUBLIC HEARINGS

16. Adoption of the Fiscal Year 2025/26 Murrieta Fire District Operating Budget

Staff report and PowerPoint presentation provided by Finance Manager Jennifer Terry and Financial Analyst Tanner Benson.

The following topics were discussed:

- Fire District preliminary budget adoption process; and
- Fire District operating budget summary.

The public hearing was opened at 6:52 p.m.

Public Testimony: None

The public hearing was closed at 6:52 p.m.

Action: It was moved by Council Member Holliday, seconded by Council Member DeForest to conduct the public hearing and adopt Resolution No. MFD25-225 entitled: *A Resolution of the Board of Directors of the Murrieta Fire District, Approving the Fiscal Year 2025/26 Fire District Operating Budget.*

The motion carried by the following vote:

Ayes: DeForest, Stone, Holliday, Levell, Warren

Noes: None

17. Transient Occupancy Tax Revenue Sharing Agreement

Staff report and PowerPoint presentation provided by Economic Development Director Scott Agajanian.

The following topics were discussed:

- WoodSpring Suites - Choice Hotels overview;
- Impact of the hotel to the City;
- Proposed transient occupancy tax revenue sharing agreement; and
- Comparison with other Cities' hotel subsidies.

The public hearing was opened at 6:57 p.m.

Public Testimony:

Patrick Ellis: Spoke in support of hotels and the benefit of the transient occupancy taxes.

The public hearing was closed at 6:59 p.m.

Action: After discussion, it was moved by Council Member Stone, seconded by Mayor Pro Tem Levell to conduct the public hearing and approve a Transient Occupancy Tax Revenue Sharing Agreement with Safar & Safar Brothers, Inc. for the property located just north of Joan Dunn Lane and East of Antelope Road at Assessor's Parcel Numbers (APN) 384-240-003 and 384-240-004.

The motion carried by the following vote:

Ayes: DeForest, Stone, Holliday, Levell, Warren
Noes: None

DISCUSSION**18. Fiscal Year 2024/25 Third Quarter Financial Status Report and Proposed Budget Adjustments**

Staff report and PowerPoint presentation provided by Finance Director Javier Carcamo and Finance Manager Jennifer Terry.

Public Comments: None

Action: After discussion, it was moved by Council Member DeForest, seconded by Mayor Pro Tem Levell to receive and file the report;

Approve the adjustments to the Fiscal Year 2024/25 Operating Budget as

referenced in the Fiscal Impact section of this report;

Approve the use of Sustainability Reserves and establish appropriations for previously approved Capital Improvement Projects; and

Approve the Updated Schedule of Authorized Positions List.

The motion carried by the following vote:

Ayes: DeForest, Stone, Holliday, Levell, Warren
Noes: None

19. Construction Contract for the Murrieta Hot Springs Road Widening Project, CIP No. 8079

Staff report and PowerPoint presentation provided by City Engineer Jeff Hitch, Senior Civil Engineer James Ozouf, and Public Information Officer Cristina Davies.

Public Comments: None

Action: After discussion, it was moved by Council Member Stone, seconded by Council Member DeForest to Amend the CIP Budget for Fiscal Year (FY) 2024/25 and appropriate \$3,500,000, from the Measure A Fund Unassigned Fund Balance to CIP No. 8079;

Amend the CIP Budget for FY2024/25 and appropriate \$700,000, from the Street Development Impact Fee Fund to CIP No. 8079;

Amend the CIP Budget for FY2024/25 and appropriate \$600,000, from Highway and Street Development Impact Fee Fund to CIP No. 8079.;

Award the construction Contract for the Murrieta Hot Springs Road Widening Project, CIP No. 8079, to Rove Engineering, Inc. in the amount of \$15,009,456.55;

Authorize a fifteen (15%) percent construction contingency of \$2,251,418.48; and

Authorize the City Engineer to approve contract change orders not to exceed fifteen (15%) percent of the contract amount.

The motion carried by the following vote:

Ayes: DeForest, Stone, Holliday, Levell, Warren
Noes: None

RECONSIDERATION None

COUNCIL MEMBER REQUESTS TO ADD OR WITHDRAW ITEMS TO FUTURE AGENDAS

None

ADJOURNMENT 7:47 p.m.

Cristal McDonald, City Clerk



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 3.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Javier Carcamo, Finance Director

PREPARED BY: Evan Crockett, Management Analyst - Finance

SUBJECT: Fiscal Year 2025/26 Tax Rates for the Community Facilities Districts

RECOMMENDATION

Adopt the Resolutions approving the Fiscal Year 2025/26 Tax Rates for the Community Facilities Districts:

Resolution No. 25-4848 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2000-1 (Greer Ranch) for Fiscal Year 2025/26;*

Resolution No. 25-4849 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2000-2 (The Oaks) for Fiscal Year 2025/26;*

Resolution No. 25-4850 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2001-1 (Bluestone Communities/Murrieta Highlands) for Fiscal Year 2025/26;*

Resolution No. 25-4851 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-1 (Murrieta Springs) For Fiscal Year 2025/26;*

Resolution No. 25-4852 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-2 (Blackmore Ranch) for Fiscal Year 2025/26;*

Resolution No. 25-4853 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-3 (Creekside Village) for Fiscal Year 2025/26;*

Resolution No. 25-4854 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2003-4 (Bluestone Communities II/Mapleton) for Fiscal Year 2025/26;*

Resolution No. 25-4855 entitled: *A Resolution of the City Council of the City of Murrieta, California,*

Determining and Levying the Special Tax in Community Facilities District No. 2004-1 (Bremerton) for Fiscal Year 2025/26;

Resolution No. 25-4856 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2004-2 (Murrieta Fields) for Fiscal Year 2025/26;*

Resolution No. 25-4857 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Taxes in Community Facilities District No. 2004-3 (Meadowlane/Amberwalk I & II) for Fiscal Year 2025/26;*

Resolution No. 25-4858 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2005-1 (Springbrook) for Fiscal Year 2025/26;*

Resolution No. 25-4859 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2005-5 IA A (Golden City) for Fiscal Year 2025/26; and*

Resolution No. 25-4860 entitled: *A Resolution of the City Council of the City of Murrieta, California, Determining and Levying the Special Tax in Community Facilities District No. 2005-5 IA B (Golden City) for Fiscal Year 2025/26.*

PRIOR ACTION/VOTE

On June 18, 2024, the City Council approved the levy for Fiscal Year 2024/25 for the districts contained herein.

CITY COUNCIL GOAL

Maintain a high performing organization that values fiscal sustainability, transparency, accountability and organizational efficiency.

BACKGROUND

From 2000 to 2005, the City of Murrieta (City) formed and issued bonds for thirteen Community Facilities Districts (CFD) to provide funding for improvements related to the development of residential subdivisions. Additionally, in Fiscal Year (FY) 2016/17, the City issued bonds for a fourteenth district CFD 2005-5 Improvement A, formed in 2006, that had been dormant for ten years.

In 2012 and 2016, the City completed refunding all outstanding bonds for the thirteen districts that previously issued bonds to take advantage of lower interest rates than when the districts were formed. On October 2, 2018, on behalf of the CFD, the City issued bonds for the fifteenth district for CFD 2005-5 Improvement Area B (Golden City) Special Tax Bonds Series 2018, for \$11,505,000.

In June 2022, the City took advantage of historic low-interest rates to refund five CFDs that were previously refunded (2012 Reassessment District). This refunding reduced the annual levy for the property owners within the five (5) districts and changed the debt service schedule for one of the districts from annually increasing to

a level debt service payment while maintaining the original pay-off dates for each district (2022 Local Agency Revenue Refunding).

Generally, bonds are issued for a period of 30 years, and the annual debt service payments and cost to administer the districts are the responsibility of the owners of property within each CFD. While the City facilitates the formation and administration of the districts, ultimately, the City of Murrieta has no financial responsibility for the repayment of the debt. The actual tax amount levied per property will vary per district and usually depends on the size of the home, the number of homes within the district, and the total cost of the facilities acquired by the bond proceeds.

The City contracts with Willdan Financial Services to administer the districts and determine the tax rates based on the Rate and Method of Apportionment adopted for each district. The tax rate applied to the property tax bill may not exceed the rate approved by the qualified electors in each district and should generate enough revenue to cover debt service payments and administrative costs. As required by the County of Riverside, the City Council adopts Resolutions each year to set the tax rates for each district and to approve the levy to be applied on the property tax bill.

The table below reflects the average levy change per parcel, by district, for FY 2025/26.

City of Murrieta Community Facilities Districts FY 2025/26 Proposed Levy						
District	Proposed FY25/26 Levy	FY24/25 Levy	\$ Change	% Change	Est. # Parcels Levied	Avg. \$ Levy Change per Parcel
CFD 2000-1 (Greer Ranch)	\$1,004,416.71	\$1,003,291.88	\$1,124.83	0.11%	687	\$1.64
CFD 2000-2A (The Oaks)	1,520,495.40	1,517,701.89	2,793.51	0.18%	538	5.19
CFD 2000-2B (The Oaks)	697,224.31	703,615.88	(6,391.57)	-0.91%	331	(19.31)
CFD 2001-1A (Bluestone/Highlands)	573,733.37	577,041.40	(3,308.03)	-0.57%	526	(6.29)
CFD 2001-1B (Bluestone/Highlands)	437,473.77	435,870.35	1,603.42	0.37%	416	3.85
CFD 2003-1 (Murrieta Springs)	1,318,841.12	1,313,614.72	5,226.40	0.40%	765	6.83
CFD 2003-2 (Blackmore Ranch)	343,542.62	347,591.78	(4,049.16)	-1.16%	171	(23.68)
CFD 2003-3 (Creeside Village)	1,090,354.57	1,091,062.76	(708.19)	-0.06%	289	(2.45)
CFD 2003-4 (Bluestone/Mapleton)	159,085.18	162,753.39	(3,668.21)	-2.25%	155	(23.67)
CFD 2004-1 (Bremerton)	248,286.67	246,955.40	1,331.27	0.54%	149	8.93
CFD 2004-2 (Murrieta Fields)	140,730.58	142,905.01	(2,174.43)	-1.52%	96	(22.65)
CFD 2004-3 (Meadowlane/Amberwalk)	293,187.55	292,095.41	1,092.14	0.37%	362	3.02
CFD 2005-1 (Springbrook)	275,560.05	277,069.81	(1,509.76)	-0.54%	111	(13.60)
CFD 2005-5A (Golden City)	576,129.25	574,496.64	1,632.61	0.28%	254	6.43
CFD 2005-5B (Golden City)	645,233.85	648,973.83	(3,739.98)	-0.58%	241	(15.52)
Total	\$9,324,295.00	\$9,335,040.15	(\$10,745.15)		5,091	

The total levy for all fifteen districts for FY 2025/26 is \$9,324,295.

FISCAL IMPACT

The special tax revenue and offsetting debt service and administration expenditure budgets for these districts are included in the FY 2025/26 Operating Budget.

ATTACHMENTS

1. Resolution No. 25-4848
2. Resolution No. 25-4849
3. Resolution No. 25-4850

4. Resolution No. 25-4851
5. Resolution No. 25-4852
6. Resolution No. 25-4853
7. Resolution No. 25-4854
8. Resolution No. 25-4855
9. Resolution No. 25-4856
10. Resolution No. 25-4857
11. Resolution No. 25-4858
12. Resolution No. 25-4859
13. Resolution No. 25-4860

RESOLUTION NO. 25-4848

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2000-1 (GREER RANCH) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta (City) is the legislative body of Community Facilities District No. 2000-1 (Greer Ranch) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on November 30, 1999, the City Council adopted a Resolution of Intention to establish the District, and provide for the special tax; and

WHEREAS, on April 18, 2000, the City Council enacted Ordinance No. 218-00, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct and incorporated herein by this reference.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;

C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4848 was duly adopted at a regular meeting of the City Council on the 1st day of July 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4849

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE
SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2000-2
(THE OAKS) FOR FISCAL YEAR 2025/26**

WHEREAS, the City Council (City Council) of the City of Murrieta (City) is the legislative body of Community Facilities District No. 2000-2 (The Oaks) Improvement Areas “A” and “B” (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on November 21, 2000, the City Council adopted Resolution No. 00-803, a Resolution of Formation establishing the District, and providing for the special tax; and

WHEREAS, on July 6, 2004, the City Council enacted Ordinance No. 305-04, revising the existing rate and method of apportionment in the District, annexing additional territory and authorizing the levy and collection of special taxes on the properties within Improvement Area “A” and Improvement Area “B” of the District, in accordance with Sections 53339-53339.5 and 53340 of the Act (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. That the preceding recitals are true and correct.

Section 2. That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.

Section 3. That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.

Section 4. That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District’s Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):

A. The Administrative costs and other incidental expenses of the District;

B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;

- C. The principal scheduled for collection on the outstanding bonds of the District;
- D. The sinking payments scheduled for collection on the outstanding bonds of the District;
- E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and
- F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4849 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4850

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2001-1 (BLUESTONE COMMUNITIES/MURRIETA HIGHLANDS) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta (City) is the legislative body of Community Facilities District No. 2001-1 (Bluestone Communities/Murrieta Highlands Improvement Areas “A” and “B”) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on August 7, 2001, the City Council adopted Resolution No. 01-906 establishing the District and providing for the special tax; and

WHEREAS, on August 7, 2007, the City Council enacted Ordinance No. 396-07, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for the Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special tax shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District’s Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

- D. The sinking payments scheduled for collection on the outstanding bonds of the District;
- E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and
- F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the Special Tax due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this resolution.

Section 6. That all Special Taxes collected will be paid to the Fiscal Agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4850 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4851

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2003-1 (MURRIETA SPRINGS) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2003-1 (Murrieta Springs) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (“Act”); and

WHEREAS, on January 21, 2003, the City Council adopted a Resolution of Intention to establish the District and provide for the special tax; and

WHEREAS, on March 4, 2003, the City Council enacted Ordinance 278-03, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for the Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special tax shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District’s Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

- D. The sinking payments scheduled for collection on the outstanding bonds of the District;
- E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and
- F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special tax due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the Special Tax installments, penalties, interest, and fees collected, and from which properties collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4851 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4852

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2003-2 (BLACKMORE RANCH) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2003-2 (Blackmore Ranch) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (“Act”); and

WHEREAS, on April 1, 2003, the City Council adopted a Resolution of Intention to establish the District, and provide for the special tax; and

WHEREAS, on June 17, 2003, the City Council enacted Ordinance No. 283-03, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District’s Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4852 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4853

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2003-3 (CREEKSIDE VILLAGE) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2003-3 (Creekside Village) Improvement Area No. 1 (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on August 19, 2003, the City Council adopted a Resolution of Intention to establish the District and provide for the special tax; and

WHEREAS, on March 2, 2004, the City Council enacted Ordinance No. 298-04, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4853 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4854

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2003-4 (BLUESTONE COMMUNITIES II/MAPLETON) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2003-4 (Bluestone Communities II/Mapleton) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on September 16, 2003, the City Council adopted a Resolution of Intention to establish the District and provide for the special tax; and

WHEREAS, on October 21, 2003, the City Council enacted Ordinance No. 290-03, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4854 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4855

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE
SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2004-1
(BREMERTON) FOR FISCAL YEAR 2025/26**

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2004-1 (Bremerton) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on March 16, 2004, the City Council adopted a resolution of intention to establish the District, and providing for the special tax; and

WHEREAS, on July 20, 2004, the City Council enacted Ordinance No. 308-04, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4855 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4856

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE
SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2004-2
(MURRIETA FIELDS) FOR FISCAL YEAR 2025/26**

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2004-2 (Murrieta Fields) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on December 7, 2004, the City Council adopted a Resolution of Intention to establish the District, and provide for the special tax; and

WHEREAS, on January 18, 2005, the City Council enacted Ordinance No. 320-05, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated "CFD Special Tax," or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4856 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4857

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAXES IN COMMUNITY FACILITIES DISTRICT NO. 2004-3 (MEADOWLANE/AMBERWALK I & II) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta (City) is the legislative body of Community Facilities District No. 2004-3 (Meadowlane/Amberwalk I & II) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on February 1, 2005, the City Council adopted a Resolution of Intention to establish the District and provide for the special tax; and

WHEREAS, on March 15, 2005, the City Council enacted Ordinance No. 323-05, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor/Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special Taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4857 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4858

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2005-1 (SPRINGBROOK) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2005-1 (Springbrook) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on March 1, 2005, the City Council adopted a Resolution of Intention to establish the District, and provide for the special tax; and

WHEREAS, on April 5, 2005, the City Council enacted Ordinance No. 325-05, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for the Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. That the preceding recitals are true and correct.

Section 2. That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.

Section 3. That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.

Section 4. That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):

A. The Administrative costs and other incidental expenses of the District;

B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;

C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated "CFD Special Tax," or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4858 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4859

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2005-5 IA A (GOLDEN CITY) FOR FISCAL YEAR 2025/26

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2005-5 (Golden City) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on September 6, 2005, the City Council adopted a Resolution of Intention to establish the District, and provide for the special tax; and

WHEREAS, on February 21, 2006, the City Council enacted Ordinance No. 350-06, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for the Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated “CFD Special Tax,” or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4859 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk

RESOLUTION NO. 25-4860

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
MURRIETA, CALIFORNIA, DETERMINING AND LEVYING THE
SPECIAL TAX IN COMMUNITY FACILITIES DISTRICT NO. 2005-5 IA
B (GOLDEN CITY) FOR FISCAL YEAR 2025/26**

WHEREAS, the City Council (City Council) of the City of Murrieta is the legislative body of Community Facilities District No. 2005-5 (Golden City) (District), which District was established pursuant to the provisions of the Mello-Roos Community Facilities Act of 1982, as amended, being Title 5, Division 2, Part 1, Chapter 2.5 of the Government Code of the State of California (Act); and

WHEREAS, on September 6, 2005, the City Council adopted a Resolution of Intention to establish the District, and provide for the special tax; and

WHEREAS, on February 21, 2006, the City Council enacted Ordinance No. 350-06, in accordance with Section 53340 of the Act authorizing the levy of special taxes on the properties located within the District (Ordinance); and

WHEREAS, it is necessary and appropriate that the City Council levy and collect the special taxes for the Fiscal Year 2025/26 by the adoption of a Resolution as specified by the Act and the Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

- Section 1.** That the preceding recitals are true and correct.
- Section 2.** That the City hereby determines to levy the special taxes in the District for Fiscal Year 2025/26, on each parcel therein.
- Section 3.** That the rate for each special tax does not exceed the amount previously authorized by Ordinance and is not in excess of that approved by the qualified electors of the District.
- Section 4.** That the proceeds of the special taxes shall be used to pay, in whole or in part, the approved costs for the subject fiscal year as provided in the District's Fiscal Agent Agreement with the fiscal agent for the bondholders (the Fiscal Agent Agreement):
- A. The Administrative costs and other incidental expenses of the District;
 - B. The interest scheduled for collection on the outstanding bonded indebtedness related to the District;
 - C. The principal scheduled for collection on the outstanding bonds of the District;

D. The sinking payments scheduled for collection on the outstanding bonds of the District;

E. Amounts, if any, needed to replenish the applicable Reserve Account of the Bond Fund to the level of the Reserve Requirement; and

F. Amounts, if any, required to bring the amount on deposit in the Rebate Fund to the required level.

Section 5. That the Auditor-Controller of the County of Riverside (Auditor-Controller) is hereby directed to apply the real property statement for each parcel in the District for the current fiscal year listing the special taxes due opposite each parcel of land affected, in a line item designated "CFD Special Tax," or any other suitable designation, in accordance with this Resolution.

Section 6. That all special taxes collected will be paid to the fiscal agent for deposit in the applicable Special Tax Fund upon receipt by the City from the Auditor-Controller pursuant to the terms of the Fiscal Agent Agreement.

Section 7. That the Auditor-Controller shall, at the close of the tax collection period, promptly render to the Director a detailed report showing the amounts of the special tax installments, penalties, interest, and fees collected, and from which properties were collected. Any expenses to be paid to the Auditor-Controller for carrying out the foregoing responsibilities shall be in accordance with a contract, if any, entered into between the District and Auditor-Controller, pursuant to Section 29304 of the Government Code of the State of California or as otherwise provided by law.

Section 8. That this Resolution shall take effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4860 was duly adopted at a regular meeting of the City Council on the 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT

Cristal McDonald, City Clerk



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 4.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Bernard Molloy, Fire Chief

PREPARED BY: Crystallee Miller, Management Analyst - Fire

SUBJECT: Fiscal Year 2024 State Homeland Security Program Grant Award

RECOMMENDATION

Adopt Resolution No. 25-4861 entitled: *A Resolution of the City Council of the City of Murrieta, California, Accepting the Fiscal Year 2024 State Homeland Security Program Grant Award and Amending the Fiscal Year 2024/25 Operating Budget to Allocate and Appropriate the Grant Funds;*

Accept the Fiscal Year (FY) 2024 State Homeland Security Program Grant award;

Amend the FY 2024/25 Operating Budget to allocate and appropriate the grant funds for \$15,978; and carry over any unused grant budget to Fiscal Year 2025/26; and

Authorize the City Manager, and/or Designee, to sign and submit all necessary grant-related documents and take actions required to accept and implement the grant.

PRIOR ACTION/VOTE

On June 6, 2023, the City Council of the City of Murrieta adopted Resolution No. 23-219, approving the Operating Budget for FY 2023/24 and 2024/25 (Operating Budget) (Vote: 4-0-1).

CITY COUNCIL GOAL

Maintain a high performing organization that values fiscal sustainability, transparency, accountability and organizational efficiency.

BACKGROUND

Murrieta Fire & Rescue (MFR) submitted a sub-grantee application for the FY 2024 State Homeland Security Program Grant (SHSP) to continue working with the California Office of Emergency Services. The grant is part of the federal Homeland Security fund that, in part, provides supplies, training, and equipment for emergency personnel and disaster preparedness at the state and local levels. The County of Riverside Emergency Management Department received its annual SHSP grant award from the California Office of Emergency

Services (Cal OES) and has been authorized to allocate awards to the approved sub-grantee applicants. On April 23, 2025, MFR received the SHSP grant award letter via email from the granting agency for \$15,978.

The grant performance period for the SHSP grant commenced on April 23, 2025, and ends on May 31, 2026. The purpose of the grant is to provide supplies and equipment to the public, covering disaster preparedness for medical operations, disaster response, fire safety, light search and rescue, and team organization. The FY 2024 SHSP grant funds will be allocated in the Homeland Security Grant Fund 376 for Community Emergency Response Team (CERT) supplies, equipment, and a field-based CERT training course to support the grant program activities.

FISCAL IMPACT

A new budget appropriation is needed to establish the revenue and expenditure budgets for the acceptance of the grant. This action establishes a revenue budget in the amount of \$15,978 in the Homeland Security Grant SHSP (Fund 376) as Intergovernmental Revenues-Federal (42222) and establishes the appropriation in the amount of \$15,978 between the operating accounts for safety supplies in Object Code 64200, equipment in Object Code 60800, and training services in Object Code 60480.

ATTACHMENTS

1. FY 2024 SHSP Grant Award Letter from the County of Riverside Emergency Management Department
2. Resolution No. 25-4861



Bruce Barton
Director

April 23, 2025

City of Murrieta
Bernie Molloy, Fire Chief

SUBJECT: FY 2024 State Homeland Security Program Grant (SHSP) Award Notice
Period of Performance: 4/23/2025 – 5/31/2026
Grant #: 2024-0088 CFDA #: 97.067

This letter is being provided to notify you that your FY 2024 SHSP subaward has been approved in the amount of \$15,978.

This subaward is subject to requirements in 2 CFR, Part 200, including the Notice of Funding Opportunity (NOFO), Preparedness Grants Manual, California Supplement to the NOFO, Riverside County Supplement to the NOFO, Grant Assurances, and all applicable federal, state, and local requirements. All activities funded with this subaward must be completed within the period of performance.

The Riverside County Operational Area (OA) may suspend or terminate grant funding, in whole or in part, or other measures may be imposed for any of the following reasons:

- Failure to submit required performance reports.
- Failure to expend a minimum of 90% of awarded funding.
- Failure to expend funds in a timely manner consistent with the grant milestones, guidance, and assurances.
- Failure to comply with the requirements or statutory progress toward the goals or objectives of federal or state law.
- Failure to make satisfactory progress toward the goals or objectives set forth in the Subrecipient application.
- Failure to follow Grant Subaward requirements or special conditions.
- Proposing or implementing substantial plan changes to the extent that, if originally submitted, the application would not have been selected for funding.
- False certification in the application or document.
- Failure to adequately manage, monitor, or direct the grant funding activities of the organization.

Subrecipients must obtain additional written approval prior to incurring costs for activities such as aviation, watercraft, noncompetitive procurement, and projects requiring Environmental Planning and Historic Preservation (EHP) review. Any changes to the Financial Management Forms Workbook (FMFW) requires approval from the OA prior to conducting activities and incurring costs.



Bruce Barton
Director

The following documents must be submitted with signatures to finalize the acceptance of this subaward. The documents should be submitted in a single PDF to EMD_OAGrants@rivco.org by **July 23, 2025**:

- Financial Management Forms Workbook
 - Grant Subaward Face Sheet
 - Authorized Agent and Contact Tab
 - Project Ledger Tab
 - Planning Tab
 - Organization Tab
 - Equipment Tab
 - Training Tab
 - Exercise Tab
 - Consultant-Contractor Tab
 - Personnel Tab
 - Match Tab
 - Authorized Agent Sheet
- Governing Body Resolution
- FY24 Standard Assurances
- FY24 Grants Management Assessment
- EHP Screening Form (if projects are marked with an EHP hold)

Reimbursement requests will not be processed without the acceptance documents on file.

This subaward is subject to all provisions of 2 CFR Part 200, Subpart F – Audit Requirements. Any funds received in excess of current needs, approved amounts, or those found owed as a result of a final review or audit, must be refunded to the OA within 30 days upon receipt of an invoice from the County of Riverside Emergency Management Department.

For further assistance, please contact EMD_OAGrants@rivco.org. We look forward to working with you and appreciate your cooperation and support.

Sincerely,

Louis Le
Emergency Management Program Supervisor
County of Riverside Emergency Management Department

RESOLUTION NO. 25-4861

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, ACCEPTING THE FISCAL YEAR 2024 STATE HOMELAND SECURITY PROGRAM GRANT AWARD AND AMENDING THE FISCAL YEAR 2024/25 OPERATING BUDGET TO ALLOCATE AND APPROPRIATE THE GRANT FUNDS

WHEREAS, on June 6, 2023, the City Council of the City of Murrieta adopted Resolution No. 23-219, approving the operating budget for fiscal years 2023/24 and 2024/25 (Operating Budget); and

WHEREAS, the City of Murrieta Fire Department submitted a grant application to the County of Riverside Office of Emergency Services under the U.S. Department of Homeland Security; and

WHEREAS, on April 23, 2025, the City of Murrieta received a grant award for the Fiscal Year 2024 State Homeland Security Program Grant Program in the amount of \$15,978 (the “Grant”) for fiscal year 2024-25; and

WHEREAS, the City Council has determined that it is necessary for the efficient management and operation of the Fire Department that the Grant funds be appropriated to the Homeland Security Grand Fund, fund 376, to help cover costs to support the community emergency response team (CERT) program.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA DOES HEREBY RESOLVE AS FOLLOWS

Section 1. That the recitals above are true and correct and incorporated herein by this reference.

Section 2. That the City of Murrieta accepts the grant award of the Fiscal Year 2024-25 State Homeland Security Program grant in the amount of \$15,978, and that the terms of the grant are hereby accepted.

Section 3. That the Fiscal Year 2024/25 Operating Budget is amended by establishing a revenue budget in the amount of \$15,978 in the State Homeland Security Program grant (Fund 376) as intergovernmental Revenues-Federal (42222) and establishing the combined appropriation in the amount of \$15,978 between the operating accounts for safety supplies in object code 64200, equipment in object code 60800 and contract services in object code 60480.

Section 4. That the City Manager, or his designee, is authorized to sign and submit all necessary grant-related documents and take actions required to accept and implement the grant.

PASSED AND ADOPTED this 1st day of July, 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE)§
CITY OF MURRIETA)

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify that the foregoing Resolution No. 25-4861 was duly passed and adopted by the City Council of the City of Murrieta at the regular meeting thereof, held on the 1st day of July, 2025, and was signed by the Mayor of the said City, and that the same was passed and adopted by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, City Clerk



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 5.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Justin Clifton, City Manager

PREPARED BY: Bryce Wilson, Management Analyst

SUBJECT: Architectural Design Services for Fire Station 1 Remodel

RECOMMENDATION

Approve a purchase order with TR Design Group, Inc., in the amount of \$174,129, plus a 15% contingency, for a total amount of \$200,248 to perform architectural and consultant services related to the remodel of Fire Station 1.

PRIOR ACTION/VOTE

On June 20, 2023, the City Council authorized agreements for Miscellaneous On-Call Consulting Services with several design and engineering firms, including TR Design Group, Inc. (Vote: 4-0-1).

On November 25, 2024, the City Manager authorized a Professional Services Agreement with TR Design Group, Inc., for architectural design services with a scope of work valued at less than \$74,999.

CITY COUNCIL GOAL

Provide a high level of innovative public safety.

BACKGROUND

Fire Station No. 1, now over 35 years old, is due for renovation to address aging infrastructure and deferred maintenance affecting the facility's interior and exterior. Mold remediation was recently completed following the detection of a leak in the kitchen wall, caused by aging plumbing. Additionally, the station's layout no longer fully supports the size of modern apparatus or current staffing needs, making a comprehensive overhaul of the living quarters imperative.

The proposed remodel will address critical needs, including spatial constraints, co-ed living accommodations, outdated mechanical systems, safety concerns, accessibility, and overall livability.

In November 2024, the City of Murrieta (City) entered into a Professional Services Agreement with TR Design Group (TR) to conduct a facility needs assessment, develop concept plans, and prepare a Statement of

Probable Construction Costs for the remodel of Fire Station 1. This specific scope of work is commonly referred to as 30% plans, and those plans have been completed. The City is ready to proceed with the remainder of the design process.

The City currently maintains several as-needed, on-call agreements for architectural, engineering, and construction-related services in support of various Capital Improvement Plan (CIP) projects. One such agreement, executed in June 2023, is with TR. Based on TR's project history and experience, City staff determined the firm is well-suited to complete the remaining design work efficiently and in alignment with the project's scope.

The on-call agreement will govern the remainder of the design process. The scope of work includes preparing detailed construction drawings to 100% and developing bid technical specifications. TR will also provide bidding and construction support through the construction process.

FISCAL IMPACT

The total fiscal impact of this contract for Architectural and Consultant services is \$200,248. Budget of \$200,248 is available in Project No. 21037. The amount quoted from TR Design Group Inc., to perform Architectural and Consultant services for the remodel of Fire Station 1, including Contract documents, Bidding Assistance, and Construction Administration, is \$200,248 (\$174,129 + \$26,119), including a 15% contingency.

ATTACHMENTS

1. Proposal from TR Design Group

Additional Services Proposal #01

Page 1 of 5

April 9, 2025

Revision #1

TRD 23-050.01

ARCHITECT:



TR Design Group, Inc.

Thomas Riggle, Architect, License #: C24877
2900 Adams Street, Studio A-400
Riverside, CA 92504
951 – 742 – 7179

CLIENT:

City of Murrieta

Bryce Wilson, Management Analyst
1 Town Square
Murrieta, CA 92562
951 – 461 – 6429

**PROJECT: RENOVATION OF FIRE STATION NO. 1 BUILDING ON THE SITE LOCATED:
41825 JUNIPER ST., MURRIETA, CA**

SCOPE: PREPARATION OF CONSTRUCTION DRAWINGS WITH PERMITTING, BIDDING ASSISTANCE, LIMITED CONSTRUCTION ADMINISTRATION SERVICES INCLUDING THE FOLLOWING DISCIPLINES:

- ARCHITECTURAL
- STRUCTURAL ENGINEERING
- MECHANICAL, PLUMBING AND ELECTRICAL ENGINEERING
- SPECIFICATIONS

SCOPE / INTENT AND EXTENT OF ARCHITECT'S BASIC SERVICES:

Phase 01	Conceptual Design
Phase 04	Contract Documents - 30% to Completion Prepare Detailed Construction Drawings. Coordinate with Consultants. Coordinate with City and Agencies. Coordinate with Client. Back check plans for Quality Assurance. Minor* revisions to the plans per the Client's requirements. Permit Submittals and plan check comments. Revise plans per Plan Check submittal requirements. * Major changes will require Additional Services. ** The required time to complete this Phase is approximately 8 weeks depending on the Consultants' preparation times. This Phase is complete upon the Construction Documents package being ready for submittal to the Agency. † Available reference drawings and data are anticipated to be Preliminary. Revisions to the plan will be required as more accurate and engineered drawings and data become available.
Phase 05	Bidding Assistance Bidding Assistance up to 26 hours included. Typical tasks include: Prepare Bid Plans and Documents for printing. Prepare and issue Bid Sets. Attend up to (1) one meeting during Bid Phase. (Bid Forms and information to Contractors by Client). Receive and respond to RFI's.

Additional Services Proposal #01

Page 2 of 5

April 9, 2025

Revision #1

TRD 23-050.01

Phase 06 Construction Administration

Construction Administration up to 210 hours included. Typical tasks include: Reviewing progress payments, reviewing and responding to RFI's and up to 25 submittals, clarifications, up to 14 Site Progress, Client and/or Contractor meetings. Meetings shall be at key interval points for the project. Additional meetings above the amount listed shall be compensated as Additional Services.

The Construction Administration phase of the services shall be required as part of the Architectural Services if the project is constructed. The anticipated construction timeline for this project is approximately 6 months. If the construction timeline exceeds 7 months it will require Additional Services for the A&E team to provide CA support.

* Changes during Construction will require Additional Services.

** This proposal anticipates that a licensed, insured and bonded General Contractor will be constructing the project.

Phase 09 Project Management Services (Optional)

Project Management During the Bidding and Construction phases.

Includes up to 300 hours which is 43 hours / month for 7 months.

Coordination with Client.

Coordination of Client-direct vendors / suppliers.

Coordination with the GC and Client.

Advisory Project Management on behalf of the Client as Owner's Rep.

Reviewing deliverables and time constraints.

Tracking GC's adherence to the schedule.

Reviewing progress payments.

Coordinating suppliers and equipment orders.

Coordination with the City if issues arise.

Reporting to the Client.

Coordinating RFI's and Clarifications with GC.

Up to 47 progress, Client and/or GC meetings (or conferences). Meetings during construction shall be up to, but not more than an average of, 1.5 times per week and not more than 3 hours / meeting.

Additional meetings above the amount listed shall be compensated as Additional Services.

* Changes during Construction will require Additional Services.

Additional Services Proposal #01

Page 3 of 5

April 9, 2025

Revision #1

TRD 23-050.01

Please note, the following items are NOT included in this proposal:

General: Any additional plans or drawing beyond those listed above. Unusual or project specific requests which the City may require. BIM or Revit. CAD files of our drawings. LEED. ADA work outside of the immediate area of work. Signage or Sign Permits. Additional meetings beyond what is noted above (additional meetings up to (2) hours shall be \$ 350 if at our office and \$500 if not at our office. Meeting times in excess of (2) hours will be billed as an Additional Service at the hourly rates herein).

Architectural: Additional Concepts more than what is listed above. Perspectives, renderings, or other exhibits not listed above. Planning Dept. processing of any application. EIR. Variances. Initial Assessment. TIA. Environmental Assessment. Special Studies.

Property Information: Title Report, Grant Deed, or other Title Information. Soils Reports or Testing. Hazardous Materials Removal, Testing or Inspections.

Engineering: Civil Engineering. ALTA, Boundary, or Topographic Survey services. Parcel Map, Lot Line Adjustment. Street Improvement Plans. WQMP. SWIPP. Traffic Study. Traffic Signal Plans.

Landscape: Landscape or Irrigation Plans.

MEP: Fire Alarm or Fire Sprinkler Drawings. Commissioning.

Permitting: AQMD, Haz Mats, or other unusual permit submittals or assistance (this can be done as an Additional Service). Utility Coordination other than noted. Will serve letters or coordination. Cable TV service Coordination. Internet Service Coordination.

Bidding: Value Engineering to bring the project in "under budget". Bid Forms.

Construction: Unforeseen issues during construction. Project Management of the Construction (if not selected). Construction Management. Verification of the contractor's qualifications. Overseeing the Contractor. Inspections. More than 25 submittals (submittals shall be complete and grouped per trade, if found incomplete they will be rejected). More than 75 RFI's.

Post Construction: Revised construction plans to conform or reflect the "As-Built Drawings" from the Contractor.

Reimbursables: Application fees, plan check fees, City Review Submittal fees, permit fees, or any other fees. Ownership listing notices, or the fee for the consultant to prepare them.

*** Services beyond the SCOPE/INTENT AND EXTENT OF ARCHITECT'S BASIC SERVICES will be billed as Time and Materials per the attached Rate Schedule.

Additional Services Proposal #01

Page 4 of 5

April 9, 2025

Revision #1

TRD 23-050.01

COMPENSATION FOR BASIC SERVICES OF THE ARCHITECT:

Shall be FIXED FEE in the amount as follows:

Architectural & Consultant Services		Phase Total
Phase 04	Contract Documents - 30% to Completion	\$ 119,330.52
Architecture	TR Design Group	
Structural Engineering	DCSE - Misc. Structural Design calculations	
MEP Engineering	RPM - Mechanical, Plumbing and Electrical Design and T-24 calculations	
Specifications	InSpec - Project Specifications	
Phase 05	Bidding Assistance	\$ 4,981.68
Phase 06	Construction Administration	\$ 49,816.80
Architecture	TR Design Group	
Civil Engineering	Not included.	
Landscaping	Not included.	
Structural Engineering	DCSE - up to 8 hours of CA	
MEP Engineering	Up to 12 hours of CA	
Other:	Not included.	
TOTAL		\$ 174,129.00
Phase 09	Project Management Services (Optional)	\$ 70,000.00
TOTAL WITH PROJECT MANAGEMENT SERVICES		\$ 244,129.00

Services on a Time and Materials basis will periodically be billed at the hourly rate schedule within.

BASIS OF COMPENSATION:

FOR BASIC SERVICES, as described above, Basic Compensation shall be computed as follows:

FIXED FEE IN THE AMOUNT OF:

FOR PHASES 01 – 08 WITH SCOPE IN THEM AS NOTED ABOVE:

One Hundred Seventy Four Thousand One Hundred Twenty Nine Dollars and No Cents, \$174,129.00,
plus reimbursable expenses.

FOR PHASE 09 – PROJECT MANAGEMENT SERVICES ONLY:

Seventy Thousand Dollars and No Cents, \$70,000.00,
plus reimbursable expenses.

FOR THE PHASES WITH SCOPE IN THEM NOTED ABOVE INCLUDING THE REIMBURSABLES BUDGET:

Two Hundred Forty Five Thousand Six Hundred Twenty Nine Dollars and No Cents, \$245,629.00,
including the reimbursable expenses budget.

Additional Services Proposal #01

Page 5 of 5

April 9, 2025

Revision #1

TRD 23-050.01

PAYMENT SCHEDULE:

\$	119,330.52	plus Reimbursables due during the Contract Documents - 30% to Completion
\$	4,981.68	plus Reimbursables due during Bidding Assistance
\$	49,816.80	plus Reimbursables due during Construction Administration
\$	174,129.00	TOTAL plus Reimbursables

\$	70,000.00	plus Reimbursables due during Project Management Services (Optional)
\$	244,129.00	TOTAL including Project Management Services (Optional) plus Reimbursables

\$	1,500.00	Reimbursables Budget
\$	245,629.00	TOTAL with Reimbursables Budget

COMPENSATION FOR ADDITIONAL SERVICES beyond those listed in the basic services will be billed on an hourly basis at the following rates:

Position	Rate
Principal	\$ 275.00
Senior Architect / Project Architect / Senior Project Manager	\$ 225.00
Architect / Project Manager	\$ 195.00
Permit Specialist / Project Coordinator	\$ 180.00
Job Captain / Senior Draftsman	\$ 165.00
Draftsman	\$ 135.00
Project Assistant	\$ 75.00

COMPENSATION FOR SERVICES OF THE ARCHITECTS CONSULTANTS: All Consultants (if engaged as part of the Scope) including, but not limited to, civil, landscape, structural, mechanical, plumbing and electrical engineering shall be a multiple of one and twenty-five one hundredths (1.25) times the amounts billed to the Architect for such services.

REIMBURSABLE EXPENSES:

FOR REIMBURSABLE EXPENSES, a multiple of one and fifteen one hundredths (1.15) times the expenses incurred by the Architect, the Architect's employees and consultants in the interest of the project. Reimbursable will periodically be billed.

Reimbursables Budget \$ 1,500.00



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 6.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Bob Moehling, Public Works Director

PREPARED BY: Jeff Lyall, Senior Development Services Technician

SUBJECT: Lee Lane and Greenberg Place Right of Way Acceptance

RECOMMENDATION

Adopt Resolution No. 25-4862 entitled: *A Resolution of the City Council of the City of Murrieta, California, Accepting the Dedications of Lot B made on Parcel Map 8590, Lot F Made on Parcel Map 11076, and Lot F Made on Parcel Map 15203, All Subject to Improvements.*

PRIOR ACTION/VOTE

None.

CITY COUNCIL GOAL

Plan, program and create infrastructure development.

BACKGROUND

On May 24, 1977, Riverside County recorded Parcel Map (PM) 8590 which included a public street dedication for a portion of the south half of Lee Lane, otherwise called "Lot B". This offer of dedication was not accepted by Riverside County at the time of PM recordation.

On August 7, 1978, Riverside County recorded PM 11076 which included a public street dedication for a portion of the north half of Lee Lane, otherwise called "Lot F". This offer of dedication was not accepted by Riverside County at the time of PM recordation.

On July 31, 1980, Riverside County recorded PM 15203 which included a public street dedication for a portion of the south half of Greenberg Place, otherwise called "Lot F". This offer of dedication was not accepted by Riverside County at the time of PM recordation.

The Villas project is a 324 apartment; multi-family development located on Whitewood Road between Lee Lane and Greenberg Place. The project was conditioned to construct improvements on both Lee Lane and Greenberg Place, which now requires the acceptance of the above-mentioned dedications on PMs 8590,

11076, and 15203. Pursuant to California Government Code 66477.2, prior rejected offers of dedication shall remain open. In order to accommodate this new development, staff recommends rescinding the above-referenced prior rejections of the offers of dedication and now accept them subject to improvements.

FISCAL IMPACT

The City will be responsible for the ongoing maintenance of the improvements once they are constructed and accepted by the City Engineer. Funding is available in the FY 2025/26 Operating Budget for maintenance.

ATTACHMENTS

1. Resolution No. 25-4862
2. Certificate of Acceptance
3. Parcel Map 8590
4. Parcel Map 11076
5. Parcel Map 15203
6. Vicinity Map

RESOLUTION NO. 25-4862

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, ACCEPTING THE DEDICATIONS OF LOT B MADE ON PARCEL MAP 8590, LOT F MADE ON PARCEL MAP 11076, AND LOT F MADE ON PARCEL MAP 15203, ALL SUBJECT TO IMPROVEMENTS

WHEREAS, in order to complete the street improvements of a portion of Lee Lane and Greenberg Place, for The Villas project, a 324 unit multi-family apartment project, the City must secure all of the required right-of-way (ROW); and

WHEREAS, on March 24, 1977, Riverside County recorded Parcel Map 8590 which included a public street dedication for a portion of the south half of Lee Lane, otherwise called “Lot B”; and

WHEREAS, on August 7, 1978, Riverside County recorded Parcel Map 11076 which included a public street dedication for a portion of the north half of Lee Lane, otherwise called “Lot F”; and

WHEREAS, on July 31, 1980, Riverside County recorded Parcel Map 15203 which included a public street dedication for a portion of the south half of Greenberg Place, otherwise called “Lot F”; and

WHEREAS, the dedications of Lot B on Parcel Map 8590, Lot F on Parcel Map 11076, and Lot F on Parcel Map 15203 were all rejected by Riverside County and time of each parcel map recordation; and

WHEREAS, pursuant to California Government Code, Section 66477.2, prior rejected offers of dedication shall remain open; and

WHEREAS, the City Engineer recommends acceptance of Lot B on Parcel Map 8590, Lot F on Parcel Map 11076, and Lot F on Parcel Map 15203; and

WHEREAS, the original documents are on file with the City Clerk.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA DOES HEREBY RESOLVE AS FOLLOWS

Section 1. That the City Council rescinds the prior dedication rejections of Lot B on Parcel Map 8590, Lot F on Parcel Map 11076, and Lot F on Parcel Map 15203.

Section 2. That the City Council accepts the dedications of Lot B on Parcel Map 8590, Lot F on Parcel Map 11076, and Lot F on Parcel Map 15203, subject to improvements.

Section 2. That the City Clerk is directed to record the Certificate of Acceptance for the said dedications with the County Recorder.

PASSED AND ADOPTED this 1st day of July, 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE)§
CITY OF MURRIETA)

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify that the foregoing Resolution No. 25-4862 was duly passed and adopted by the City Council of the City of Murrieta at the regular meeting thereof, held on the 1st day of July, 2025, and was signed by the Mayor of the said City, and that the same was passed and adopted by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, City Clerk

CITY OF MURRIETA

CERTIFICATE OF ACCEPTANCE

THIS IS TO CERTIFY that the interest in real property conveyed as described as follows:

PARCEL MAP 8590 – IN THE CITY OF MURRIETA, ALL THAT PORTION OF LEE LANE AS SHOWN AS LOT 'B' ON SAID PARCEL MAP FILED IN BOOK 35, PAGE 57, RIVERSIDE COUNTY RECORDS STATE OF CALIFORNIA.

PARCEL MAP 11076 – IN THE CITY OF MURRIETA, ALL THAT PORTION OF LEE LANE AS SHOWN AS LOT 'F' ON SAID PARCEL MAP FILED IN BOOK 53, PAGE 39, RIVERSIDE COUNTY RECORDS STATE OF CALIFORNIA.

PARCEL MAP 15203 – IN THE CITY OF MURRIETA, ALL THAT PORTION OF GREENBERG PLACE AS SHOWN AS LOT 'F' ON SAID PARCEL MAP FILED IN BOOK 80, PAGE 100, RIVERSIDE COUNTY RECORDS STATE OF CALIFORNIA.

To the County of Riverside, a political corporation is hereby accepted by the undersigned of said City on behalf of the City Council of said City and in accordance with City Council Resolution No. 93-185, and the grantee consents to recordation thereof by its duly authorized officer.

Recommended:
Approval _____
Jeff Hitch, City Engineer

Approval: _____
Justin Clifton, City Manager

CITY OF MURRIETA

Attested:

Date: _____

By: _____
Cristal McDonald, City Clerk

IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PARCEL MAP NO. 8590

BASIS OF BEARINGS
The East line of Sec. 35, T6S, R3W,
S.B.M. was used as the basis of bearings
for this survey. (N 0° 14' 25" W.) per P.M. 27/23

SHEET 1 OF 1 SHEET

RECORDER'S CERTIFICATE
Filed this 24 day of May,
1977, at 2:50 P.M. in Book 35
of Parcel Maps, at page 57,
at the request of the County Clerk.
No. 94193
Fee \$5.00
W.D. BALOGH County Recorder
By: Hamed C. Beale Deputy
Subdivision Guarantee First Amer Title Ins. Co.

OWNERS CERTIFICATE
We hereby certify that we are the owners of the land included within the subdivision shown hereon; that we are the only persons whose consent is necessary to pass a clear title to said land and that we consent to the making and recording of this parcel map as shown within the colored border line. We hereby dedicate to public use for street & utility purposes Lots "A" through "F", inclusive.

Darwin W. Patterson Barbara Patterson
Darwin W. Patterson Barbara Patterson

BEING A DIVISION OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF SECTION 35, T. 6 S., R. 3 W., S. B. M.

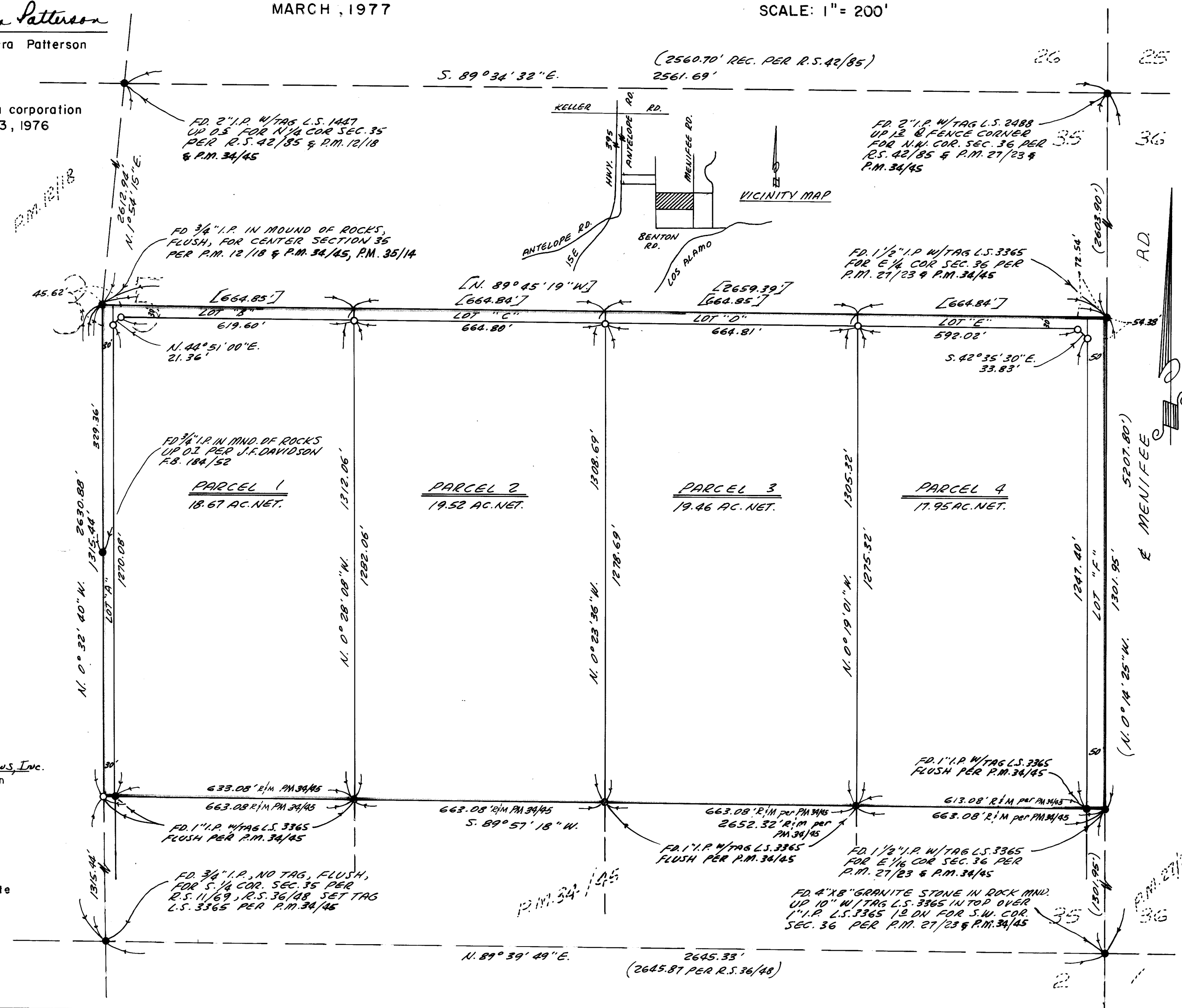
DENNIS J. BENNETT
MARCH, 1977

LICENSED LAND SURVEYOR
SCALE: 1" = 200'

John J. Pearce Escrows Inc., a California corporation
Trustee per Inst No. 1192 rec. Aug. 13, 1976

NOTARY ACKNOWLEDGEMENT
State of California } s.s.
County of Riverside }
On this 25 day of FEBRUARY, 1977,
before me MARC MANDEL
a Notary Public in and for said County and State, personally appeared:
DARWIN PATTERSON
BARBARA PATTERSON
known to me to be the persons whose names
are subscribed to the within instrument,
and acknowledged to me that they executed
the same.
Witness my hand and official seal,
M. Mandel
Notary Public in and for said County and State
My Commission Expires Nov. 3, 1979

NOTARY ACKNOWLEDGEMENT
State of California } s.s.
County of Riverside }
On this 9th day of MARCH, 1977,
before me GLORIA D. HOWARD a
Notary Public in and for said County and State personally appeared JOHN J. PEARCE
PEARCE known to be the
PRESIDENT and
known to be the
of JOHN J. PEARCE ESCROWS, INC.
Co., the Corporation that executed the within instrument and acknowledged to me that said Corporation executed the within instrument pursuant to its bylaws or a resolution of its board of directors.
Witness my hand and official seal,
Gloria D. Howard
Notary Public in and for said County and State
My Commission Expires 11-9-80



SURVEYOR'S CERTIFICATE
This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act at the request of Darwin W. Patterson in Sept, 1976. I hereby certify that it conforms to the approved Tentative Map and the conditions of approval thereof; that all provisions of applicable state law and local ordinances have been complied with.

Dennis J. Bennett
DENNIS J. BENNETT L.S. 3365

COUNTY SURVEYOR'S CERTIFICATE
This map has been examined this 12th day of MAY, 1977, for conformance with the requirements of the Subdivision Map Act and local ordinance.

B. DOUGLAS POWELL, County Surveyor
B. Douglas Powell

BOARD OF SUPERVISOR'S CERTIFICATE
The County of Riverside, State of California, by and through its duly authorized officers hereby approves said parcel map.
The offers of dedication made hereon are hereby not accepted.

Dated May 17, 1977
County of Riverside, State of California
By: Donald D. Sullivan
Chairman of the Board of Supervisors

ATTEST:
DONALD D. SULLIVAN
County Clerk and Ex-Officio
Clerk of the Board of Supervisors
By: Nancy Romero Deputy

OWNERS' CERTIFICATE

We hereby certify that we are the owners of the land included within the subdivision shown hereon; that we are the only persons whose consent is necessary to pass a clear title to said land and that we consent to the making and recording of this parcel map as shown within the colored border line. We hereby dedicate to public use for street and public utility purposes, Lots "A" through "F" inclusive.

John E. Hachten, Jr. Elaine S. Hachten
JOHN E. HACHTEN, JR. ELAINE S. HACHTEN

S-KRO ENTERPRISES, INC., a California corporation as Trustee per Inst. No. 125535 recorded July 6, 1977.

Notary Public PROS.

NOTARY ACKNOWLEDGEMENT

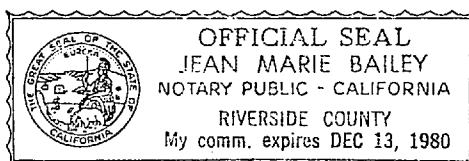
State of California }
County of Riverside } s.s.

On this 24th day of JUNE, 1978,
before me JEAN MARIE BAILEY
a Notary Public in and for said County and
State, personally appeared:

JOHN E. HACHTEN, JR. ELAINE S. HACHTEN

known to me to be the person(s) whose name(s)
is/are subscribed to the within instrument
and acknowledged to me that they executed
the same.

Witness my hand and official seal
Jeannie Bailey
Notary Public in and for said County and State
My Commission Expires 12-13-80



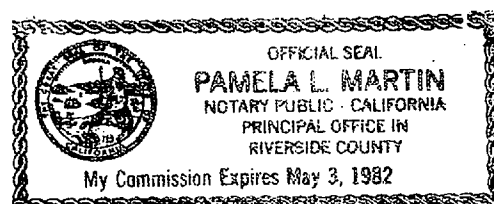
NOTARY ACKNOWLEDGEMENT

State of California }
County of Riverside } s.s.

On this 29 day of JUNE, 1978,
before me PAMELA L. MARTIN
Notary Public in and for said County and
State personally appeared Mrs. E. TOWERS

PROS. known to be the
and
known to be the
of
a corporation, the corporation that executed
the within instrument, and known to me to be
the persons who executed the within instrument
on behalf of said corporation and acknowledged
to me that such corporation executed the
same.

Witness my hand and official seal
Pamela L. Martin
Notary Public in and for said County and State
My Commission Expires May 3, 1982



IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

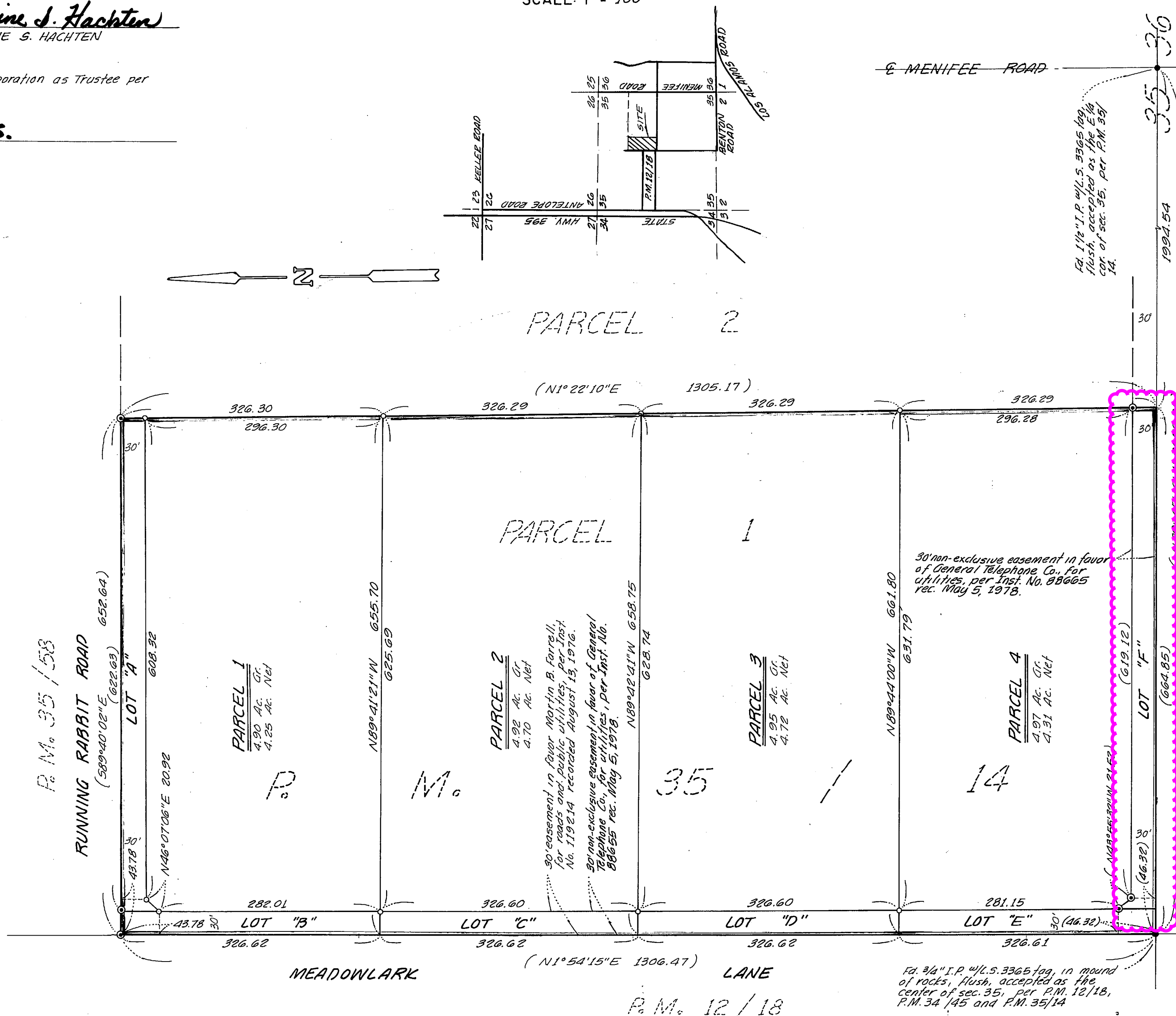
PARCEL MAP NO. 11,076

BEING A DIVISION OF PARCEL 1 OF PARCEL MAP NO. 8523 AS SHOWN BY MAP ON
FILE IN BOOK 35, PAGE 14 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY,
LYING WITHIN SECTION 35, T.6S., R.3W., S.B.M.

DENNIS J. BENNETT, LICENSED LAND SURVEYOR

SCALE: 1" = 100'

MARCH, 1978



SHEET 1 OF 1 SHEET

RECORDER'S CERTIFICATE

Filed this 7 day of August,
1978, at 4:30 P.M. in Book 53
of Parcel Maps, at page 39,
at the request of the County Clerk.

No. 165267

Fee \$5.00

W.D. BALOGH, County Recorder

By: Samara S. Nellis, Deputy

Subdivision Guarantee First American Title Ins. Co.

SURVEYOR'S CERTIFICATE

This map was prepared by me or under my
direction and is based upon a field survey in con-
formance with the requirements of the Subdivision
Map Act at the request of

John E. Hachten in Aug., 1977.

I hereby state that the parcel map procedures
of the local agency have been complied with
and that this parcel map conforms
to the approved tentative map and the
conditions of approval thereof which were
required to be fulfilled prior to the filing
of the parcel map.

Signed: Dennis J. Bennett
DENNIS J. BENNETT, L. S. 3365

COUNTY SURVEYOR'S CERTIFICATE

This map conforms with the requirements of
the Subdivision Map Act and local ordinance.
Dated: 7-13-78

Signed: A. E. Newcomb
A. E. NEWCOMB, County Surveyor

BOARD OF SUPERVISOR'S CERTIFICATE

The County of Riverside, State of California,
by and through its duly authorized officers
hereby approves said parcel map.
The offers of dedication made
hereon are hereby not accepted.

Dated: July 18, 1978

County of Riverside, State of California

By: Walt Chel
Chairman of the Board of Supervisors

ATTEST:
DONALD D. SULLIVAN
County Clerk and Ex-Officio
Clerk of the Board of Supervisors

By: Nancy Pomeroy Deputy

BASIS OF BEARINGS:

The basis of bearings for this survey is the
south line of the northwest quarter of
section 35, being (N89°45'13"W) per P.M. 35/
14.

LEGEND:

o --- Set 1" I.D. galv. I.P. flush, with L.S.
3365 tag.

• --- Found monuments as noted.

o --- Fd. 1" I.P. w/L.S. 3365 tag, flush, per
P.M. 35/14.

() --- Record and measured per P.M. 35/14.

OWNERS CERTIFICATE

We hereby certify that we are the owners of the land included within the subdivision shown hereon; that we are the only persons whose consent is necessary to pass a clear title to said land and that we consent to the making and recording of this Parcel Map as shown within the colored border line. We hereby

dedicate to public use for street and public utility purposes, Lots "A" through "F", inclusive. As a Condition of Lot "A" Clinton Keith Road, the owners of Parcel 1, abutting this highway and during such time will have no rights of access whatever as such except the general easement of travel.

Donald L. Scales Nellie Grace Scales
Donald L. Scales Nellie Grace Scales
Richard D. Scales Marilyn Rye Scales
Richard D. Scales Marilyn Rye Scales

Alert Escrow Co., a California Corporation; as Trustee

Teri J. Herring Glen Schnablegger
Vice-President Secretary

NOTARY ACKNOWLEDGEMENT

State of California }
County of RIVERSIDE S.S.

On this 3RD day of JUNE, 1980, before me,
Cheryl A. LAURIDSEN, a Notary Public in and for
said County and State, personally appeared Donald L. Scales,
Nellie Grace Scales, Richard D. Scales and Marilyn Rye Scales,

known to me to be the persons described in, and whose names
are subscribed to the within instrument, and they acknowledged
to me that they executed the same.

WITNESS my hand and official seal.

My commission expires JUNE 28, 1982.

Cheryl A. Lauridsen
Notary Public in and for said
County and State

NOTARY ACKNOWLEDGEMENT

State of California }
County of Los Angeles S.S.

On this 18th day of JUNE, 1980, before me,
JANICE J. LOWERY, a Notary Public in and for said
County and State, personally appeared Teri J. Herring,

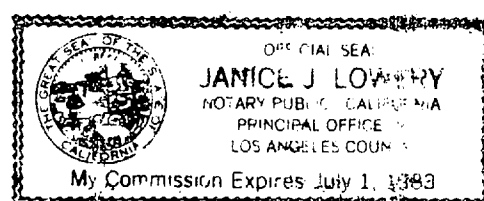
known to me to be the Vice-President, and
Glen Schnablegger, known to me to be the SECRETARY
of Alert Escrow Company, a

California corporation, the corporation that executed the within
instrument, and known to me to be the persons who executed the
within instrument on behalf of said corporation, and acknowledged to
me that such corporation executed the same.

WITNESS my hand and official seal.

My commission expires 7-1-83

Janice J. Lowery
Notary Public in and for said
County and State

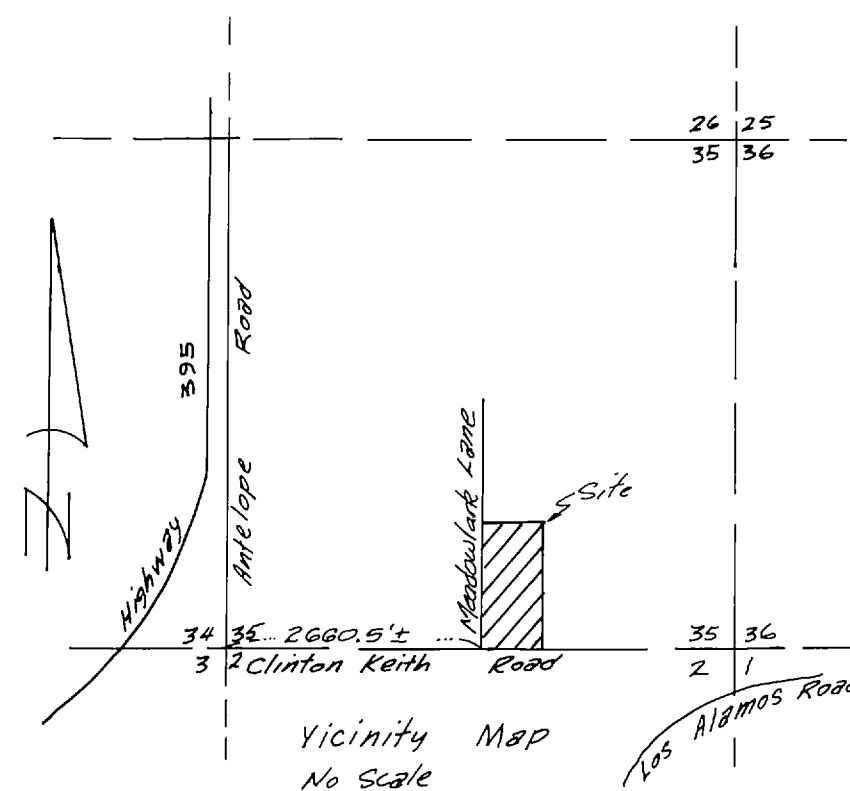


IN THE COUNTY OF RIVERSIDE, CALIFORNIA

PARCEL MAP 15,203

Showing the division of Parcel 1 of Parcel Map 8550
As shown By Map on file in Book 34 of Parcel Maps
at Page 45 Records of Riverside County, California;
Lying in Section 35, T.6 S., R. 3 W., S.B.M.

MAY 1980 ACTION SURVEYS'



RECORDER'S CERTIFICATE

Filed this 31 day of JULY, 1980, at 9:00 A.M. in
Book 80 of Parcel Maps, at Pages 99+100, at the request of
the County Clerk.

No. 137909
Fee \$7.00

Donald D. Sullivan, County Recorder

By: Dellie Ann Stogey Deputy

Sub G'tee Title Insurance and Trust Co.

SURVEYOR'S CERTIFICATE

This map was prepared by me or under my direction and is
based upon a field survey in conformance with the requirements
of the Subdivision Map Act and local ordinance at the request of
Don Scales on July 12, 1979. I hereby
state that this parcel map substantially conforms to the
approved or conditionally approved tentative map, if any.

Gabriel D. Ybarra
Gabriel D. Ybarra L.S. 4343

COUNTY SURVEYOR'S CERTIFICATE

This map conforms with the requirements of the Subdivision
Map Act and local ordinance.

Dated: 7-23-80

A.E. Newcomb
A.E. Newcomb, County Surveyor

BOARD OF SUPERVISOR'S CERTIFICATE

The County of Riverside, State of California, by and through
its duly authorized officers hereby approves said Parcel Map.
The offers of dedication made hereon are hereby
not accepted.

Dated: 7-29, 1980

County of Riverside, State of California

By: A. D. Imbandler
Chairman of the Board of Supervisors

ATTEST:

DONALD D. SULLIVAN

County Clerk and Ex-Officio

Clerk of the Board of Supervisors

By: Nancy Brown Deputy

SURVEYOR'S NOTES

- Denotes found 1" I.P. Tagged L.S. 3365 dmo' per P.M. 34/45, unless otherwise noted.
- Denotes set 1" iron pipe tagged L.S. 4343 flush, unless otherwise noted.

Basis of Bearings is taken from the center line
of CLINTON KEITH ROAD per P.M. 34/45 being
N 89° 39' 49" E.

() Denotes Record data per P.M. 34/45.
/// Denotes Access Rights Restricted
Total Area = 19.97 Ac. Gross

Showing the division of Parcel 1 of Parcel Map 8550
As shown By Map on file in Book 34 of Parcel Maps
at Page 45 Records of Riverside County, California;
Lying in Section 35, T6S., R.3W., S.B.M.

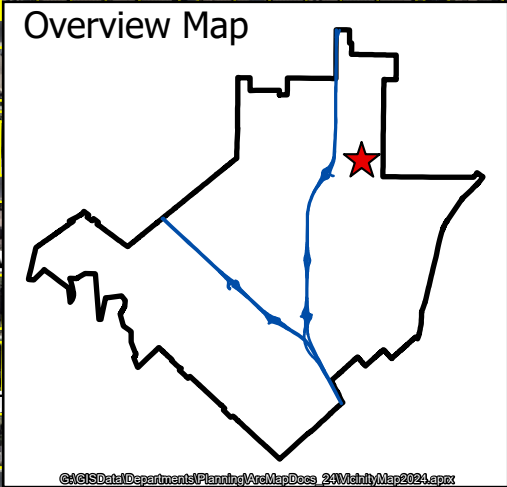
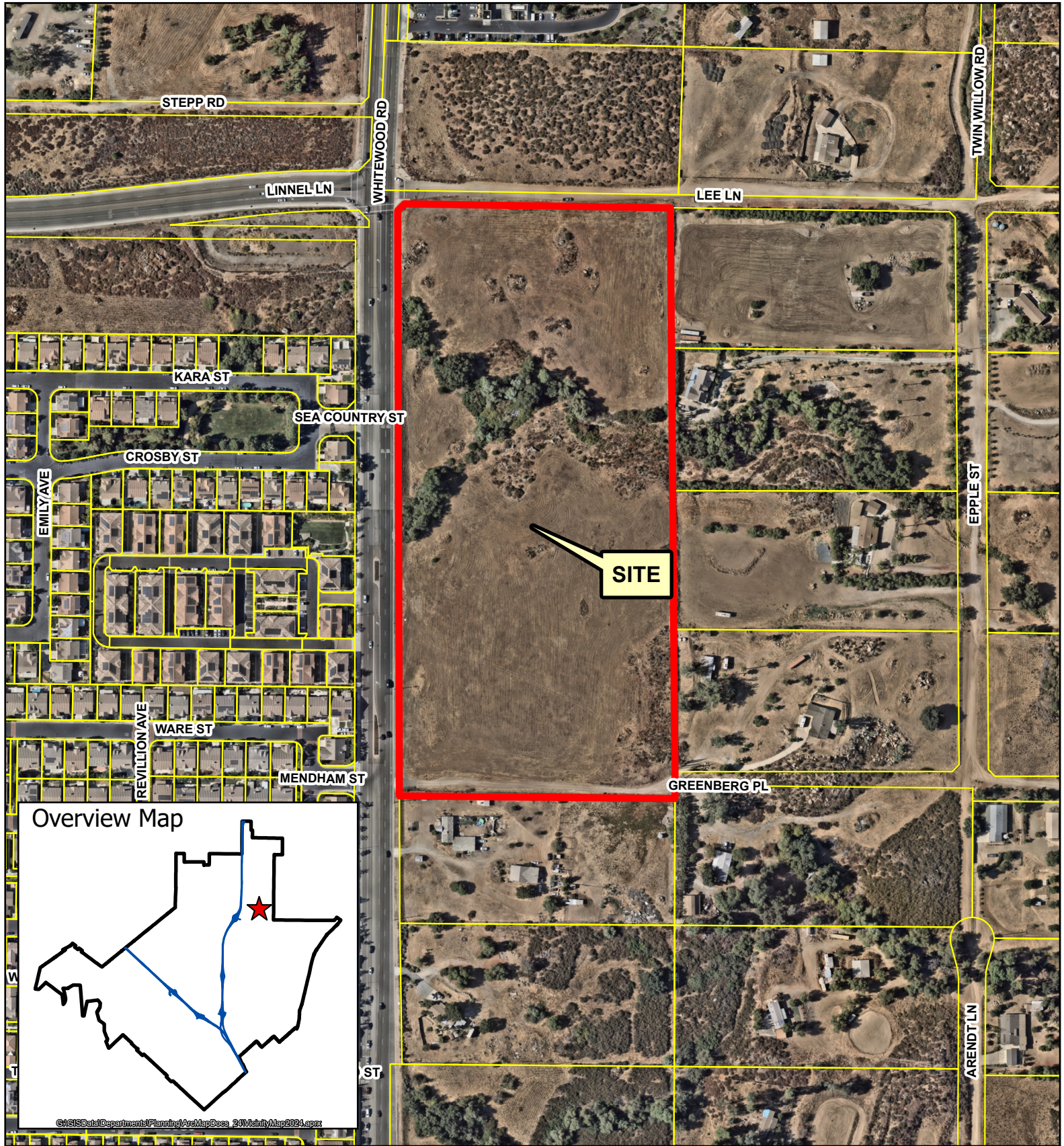
May 1980 ACTION SURVEYS' scale: 1"=100'

⚠ An Easement for Road and public utilities, and incidental purposes, in favor of Lisle C. Miller and Marian Miller, husband and wife, as contained in an instrument Recorded April 26, 1977 as Instrument No. 72231



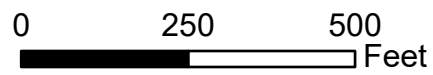
Fd. 4"x8" Granite Stone in Rock
MND. up 10" w/Tag L.S. 3365 in
Top over 1" I.P. Tagged L.S. 3365
Dn 12' for S.W. Cor. Sec. 36 per
P.M. 27/23 and P.M. 34/45.

W. O. No 79-66



Greenburg Place

5/29/25



Vicinity Map

**APN:
392-320-014**



CITY OF MURRIETA

City Council Meeting Agenda Report

7/1/2025
Agenda Item No. 7.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Bob Moehling, Public Works Director

PREPARED BY: Jeff Hitch, City Engineer

SUBJECT: Continuation of the Emergency Declaration, Appropriation of Funding, and Award of Construction Contract for Hayes Avenue Bridge at Miller Canyon Creek

RECOMMENDATION

Amend the Capital Improvement Plan (CIP) Budget for Fiscal Year 2025/26 and establish appropriation of \$200,000, using Unassigned Fund Balance from the Drainage Area Fee fund to CIP No. 11004; and

Adopt Resolution No. 25-4863 entitled: *A Resolution of the City Council of the City of Murrieta, California, Declaring that Emergency Conditions Persist, Appropriating Funding, and Approving the Execution of a Contract for Reconstruction of the Hayes Avenue Bridge at Miller Canyon Creek without Notice for Bids Pursuant to California Public Contract Code Section 1102, 20168, and 22050.*

PRIOR ACTION/VOTE

On June 20, 2023, the City Council authorized an on-call consulting services Agreement with Michael Baker Internation, Inc. for civil engineering services (Vote: 4-0).

On June 4, 2024, the City Council approved Resolution No. 24-4745, approving the Capital Improvement Plan Budget for Fiscal Year 2024/25, and the Fiscal Year 2024/25 to 2028/29 Capital Improvement Plan (Vote: 5-0).

On March 18, 2025, the City Council adopted Resolution No. 25-4816, declaring an emergency condition for the Hayes Avenue Bridge at Miller Canyon Creek, authorizing a purchase order for Michael Baker International in the amount of \$89,580.92, and amending the Capital Improvement Plan budget to create the Hayes Avenue Bridge at Miller Canyon Creek Project CIP No. 11004 and appropriate \$725,000 of Area Drainage Fees (Vote: 5-0).

On June 17, 2025, the City Council adopted Resolution No. 25-4847, declaring that emergency conditions persist in connection with the Hayes Avenue Bridge at Miller Canyon Creek (Vote: 5-0).

CITY COUNCIL GOAL

Plan, program and create infrastructure development.

BACKGROUND

On February 6, 2025, staff encountered a pothole in the deck of the Hayes Avenue Bridge crossing Miller Canyon Creek, located generally between Ivy Street and B Street. Upon this discovery, Engineering staff believed the bridge could be unsafe and closed the bridge until further evaluation could be completed.

Michael Baker International (MBI) was contracted using the City's existing on-call agreement to perform a structural evaluation of the bridge. The evaluation was performed, and a report was generated and provided to the City. The report concluded that the bridge is structurally deficient for fire truck access and needs to be replaced. The bridge has a span that is 15-feet long, is 24-feet wide, and has concrete abutments with wooden girders and decking covered with asphalt concrete. MBI subsequently provided the City with a proposal to provide environmental and engineering services for engineering plans and emergency environmental permits necessary to replace the bridge with an alternate reinforced concrete box culvert. Environmental and engineering design has since been completed, and the permit documents are ready to be submitted once a contractor is ready to commence work.

The adoption of an emergency declaration on March 18, 2025, allowed for emergency permitting as well as foregoing the normal public works bidding requirements pursuant to the Public Contract Code. Staff has negotiated a scope and fee with a local contractor, Murrieta Development Company, Inc. (MDC), to perform the construction. Staff also coordinated with another contractor, Mark Company, but found MDC's pricing to be more favorable. MDC last completed emergency work for the City on the Alta Murrieta Drive Sinkhole Repair in 2019. The scope of work to be performed by MDC will consist of removing the existing bridge structure, minor grading, and construction of a cast-in-place reinforced concrete box (RCB), concrete wingwalls, rip rap energy dissipators, new pavement section over the RCB, and guardrail. Construction is anticipated to commence within two weeks of the award and take three to four weeks to complete.

The emergency conditions will remain until the bridge has been repaired. Under the California Public Contract Code, the City Council is required to periodically review whether the emergency conditions have abated and/or continued and to adopt a resolution by a four-fifths vote to confirm the continuation of the emergency or to declare the emergency to be concluded.

Upon completion of scope and fee negotiations with MDC, staff found the proposal to be consistent with current market values. Staff recommends awarding the construction contract to Murrieta Development Company, Inc. in the amount of \$567,802, plus a 25% contingency of \$141,950.50, for a total of \$709,752.50.

The CIP 11004 project was funded with \$725,000 of Area Drainage Fees during the March 18, 2025, emergency declaration. The construction pricing was found to be higher than anticipated. to cover design, construction, and construction inspection. Therefore, an additional \$200,000, of Area Drainage Fees are necessary to fully fund this construction with a small remaining balance in case of unforeseen expenses.

FISCAL IMPACT

The proposed contract amount to be awarded is \$567,802, plus an additional 25% contingency amount of \$141,950.50, for a total of \$709,752.50. Funding is available in CIP 11004.

Amend the Capital Improvement Plan budget to appropriate an additional \$200,000 of Area Drainage Fees into CIP 11004.

ATTACHMENTS

1. Resolution No. 25-4863
2. Contract between the City of Murrieta and Murrieta Development Company, Inc.
3. Proposal from Murrieta Development Company, Inc.
4. Vicinity Map

RESOLUTION NO. 25-4863

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA DECLARING THAT EMERGENCY CONDITIONS PERSIST, APPROPRIATING FUNDING, AND APPROVING THE EXECUTION OF A CONTRACT FOR RECONSTRUCTION OF THE HAYES AVENUE BRIDGE AT MILLER CANYON CREEK WITHOUT NOTICE FOR BIDS PURSUANT TO CALIFORNIA PUBLIC CONTRACT CODE SECTIONS 1102, 20168, AND 22050

WHEREAS, after strong winter storms, on February 6, 2025, City of Murrieta (“City”) staff encountered a pothole in the deck of the Hayes Avenue Bridge crossing Miller Canyon Creek located generally between Ivy Street and B Street (“Bridge”), requiring the City to close the Bridge until further evaluation could be completed; and

WHEREAS, on February 11, 2025, a contractor retained by the City conducted a structural evaluation of the Bridge and determined that the Bridge is structurally deficient for fire truck access and needs to be replaced. This unexpected occurrence, which has not yet been remedied, poses a clear and imminent danger requiring immediate action to allow the City to continue providing fire truck access to all of its residents, which is an essential public service, and the closure of the Bridge constitutes an “emergency” as defined in Public Contract Code § 1102; and

WHEREAS, pursuant to Public Contract Code §§ 20168 and 22050, contracts for emergency expenditures may be approved by the adoption, by a four-fifths vote, of a resolution declaring that the public interest and necessity demand the immediate expenditure of public money to safeguard life, health, or property such that the City is authorized to procure the necessary equipment, services, and supplies for those purposes, without giving notice for bids to let contracts; and

WHEREAS, the unexpected occurrence poses City desires to use the process authorized by Public Contract Code § 22050 to immediately investigate and replace the Bridge; and

WHEREAS, on March 18, 2025, the City Council adopted Resolution No. 25-4816 by a 5-0 vote to authorize investigations and emergency repair work to the Bridge (CIP 11004) pursuant to California Public Contract Code Sections 1102, 20168, and 22050 and amended the Capital Improvement Plan Budget to appropriate \$725,000 of Area Drainage Fees to the fund for CIP 11004; and

WHEREAS, the ongoing structural deficiency continues to constitute an “emergency” as that term is defined in Public Contract Code § 1102; and

WHEREAS, this item will be reviewed until the repair work has been completed, to ensure that the need to continue the emergency action continues to exist.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. The recitals above are true and correct and incorporated herein by this reference.

Section 2. The City Council finds that the facts set forth above constitute facts demonstrating that an emergency condition exists, has not abated, and that such emergency condition does not permit the delays which would result from a competitive solicitation for bids. The City Council further finds that the immediate replacement of the Bridge is necessary to respond to the emergency conditions.

Section 3. Amend the Capital Improvement Plan budget to appropriate an additional \$200,000 of Area Drainage Fees into CIP 11004.

Section 4. The City Council hereby approves an agreement between the City and Murrieta Development Company, Inc. in an amount of \$567,802 for the construction of the bridge replacement for the Bridge. The Mayor or his designee is hereby authorized to sign this contract.

Section 5. The City Council hereby authorizes a twenty-five percent (25%) construction contingency in an amount of \$141,950.50. The City's City Engineer is authorized to approve contract change orders not to exceed twenty-five percent (25%) of the contract amount.

Section 6. The City Engineer shall cause a report on the status of the emergency circumstances to be agendized at a City Council meeting every sixty days until either the City Council finds that the repair work has been completed or that the emergency conditions have ceased to be present.

Section 7. The City Clerk shall certify to the adoption of this Resolution

PASSED AND ADOPTED this 1st day of July, 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany J. Israel, City Attorney

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE)§
CITY OF MURRIETA)

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify that the foregoing Resolution No. 25-4863 was duly passed and adopted by the City Council of the City of Murrieta at the regular meeting thereof, held on the 1st day of July, 2025, and was signed by the Mayor of the said City, and that the same was passed and adopted by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, City Clerk

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

CONTRACT

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

THIS CONTRACT, made and entered into the _____ day of _____, 2025, by and between the **City of Murrieta**, a municipal corporation, hereinafter referred to as "CITY," and **Murrieta Development Company, Inc.**, hereinafter referred to as "CONTRACTOR."

WITNESSETH:

That CITY and CONTRACTOR, for the consideration hereinafter named, mutually agree as follows:

1. **CONTRACT DOCUMENTS.** The complete Contract includes all of the Contract Documents, to wit:

<input checked="" type="checkbox"/> Included <input type="checkbox"/> N/A	Quote
<input checked="" type="checkbox"/> Included <input type="checkbox"/> N/A	Performance Bond
<input checked="" type="checkbox"/> Included <input type="checkbox"/> N/A	Labor and Materials Bond
<input checked="" type="checkbox"/> Included <input type="checkbox"/> N/A	Scope of Work, Plans and Specifications entitled Hayes Ave. at Miller Canyon Creek Bridge Replacement, City Project No. 25-490, CIP No. 11004
<input checked="" type="checkbox"/> Included <input type="checkbox"/> N/A	Insurance Forms
<input checked="" type="checkbox"/> Included <input type="checkbox"/> N/A	This Contract, and all modifications and amendments thereto, and the latest version of the Standard Specifications for Public Works construction, Parts 1 through 6.

**The Hayes Ave. at Miller Canyon Creek Bridge Replacement Plans consist of:
Sheets 1 – 4: Title Sheet, Details Sheet, RCB Plan and Profile, and Street Plan and Profile**

Copies of the Standard Specifications for Public Works Construction are available from the publisher:

Building News, Inc. (BNi)
990 Park Center Drive, Suite E
Vista, CA 92081
(760) 734-1113
www.bnibooks.com

The aforementioned Standard Specifications will control the general provisions, construction materials, and construction methods for this Contract except as amended by the Plans and Technical Specifications of this Contract.

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

In case of conflict between the Standard Specifications for Public Works Construction and the remaining Contract Documents, the remaining Contract Documents shall take precedence over and be used in lieu of such conflicting portions.

Where the Plans or Technical Specifications describe portions of the work in general terms, but not in complete detail, it is understood that the item is to be furnished and installed completed and in place and that only the best general practice is to be used. Unless otherwise specified, CONTRACTOR shall furnish all labor, materials, tools, equipment, and incidentals, and do all the work involved in executing the Contract.

The Contract Documents are complementary, and what is called for by any one document shall be as binding as if called for by all. Any conflict between this Contract and any other Contract Document shall be resolved in favor of this Contract.

2. **SCOPE OF WORK.** CONTRACTOR shall perform the work shown in the Scope of Work or Plans and Technical Specifications attached hereto as Appendix A and incorporated by reference; shall furnish all the labor, materials, necessary tools, expendable equipment, and all utility and transportation services required for the completion of the following project:

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

All of said work to be performed and materials to be furnished shall be in strict accordance with the Scope of Work or Technical Specifications and the provisions of the Contract Documents hereinabove enumerated and adopted by CITY.

To the extent the provisions of Appendix A are ambiguous in relation to the provisions of this Contract, inconsistent with the provisions of this Contract, or expand upon the provisions of this Contract, the provisions of this Contract shall take precedence and the provisions of Appendix A shall not apply.

3. **CITY APPROVAL.** All labor, materials, tools, equipment, and services shall be furnished and work performed and completed under the direction and supervision and subject to the approval of CITY or its authorized representatives.
4. **CONTRACT AMOUNT AND SCHEDULE.** CITY agrees to pay and CONTRACTOR agrees to receive and accept the prices set forth in the Quote attached hereto as Appendix B and incorporated by reference as full compensation for furnishing all materials, performing all work, and fulfilling all obligations hereunder. Said compensation shall cover all expenses, losses, damages, and consequences arising out of the nature of the work during its progress or prior to its acceptance, including those for well and faithfully completing the work and the whole thereof in the manner and time specified in the aforesaid contract documents and also including those arising from actions of the elements, unforeseen difficulties or obstructions encountered in the prosecution of the work, suspension or discontinuance of the work, and all other unknowns or risks of any description connected with the work.

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

CONTRACTOR agrees to complete the work on **HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT** in a period not to exceed **TWENTY-FIVE (25)** working days per Section 6-7 of the Standard Specifications for Public Works Construction, commencing upon the date stated in the Notice to Proceed by CITY. Construction shall not commence until CITY has approved bonds and insurance.

5. CHANGE ORDERS. All change orders shall be approved by the City Council, except that the City Manager or his designee is hereby authorized by the City Council to make, by written order, changes or additions to the work in an amount not to exceed twenty-five (25) percent of this Contract amount and the City Manager or his designee shall notify City Council in a public meeting if changes or additions to the work exceed ten (10) percent of this Contract amount.
6. PAYMENTS/ACCEPTANCE OF WORK. The text of Subsection 9-3.2 of the Standard Specifications for Public Works Construction is hereby deleted and replaced with the following:

The closure date for the purpose of making partial progress payments will be the last day of each month. CONTRACTOR shall prepare the approximate measurement of the work performed through the closure date and submit it to CITY for approval by the tenth (10th) day of the following month. Payments will be withheld pending receipt of any outstanding reports required by the Contract Documents. A full five percent (5%) retention will be deducted from all progress payments. Partial payments on the Contract price shall not be considered as an acceptance of any part of the work.

Upon completion of the work, CONTRACTOR shall so notify Engineer, in writing, submit satisfactory evidence of payment for equipment, materials and labor, submit "CONTRACTOR'S AFFIDAVIT." Upon receipt of the notification, Engineer shall promptly, by personal inspection, determine the actual status of the work in accordance with the terms of the Contract. If he finds materials, equipment, or workmanship that do not meet the terms of the Contract, he shall prepare a preliminary punch list of such items and submit it to CONTRACTOR. Final determination of acceptability shall be made by CITY. Upon acceptance of the work, CITY shall file a Notice of Completion. The conditions of the guarantee shall commence on the date that CITY files a Notice of Completion. CITY shall make final payment to CONTRACTOR in the manner provided by law following the expiration of thirty-five (35) days after filing the Notice of Completion.

The final payment shall include the entire sum found to be due hereunder after deducting all previous payments and such other lawful amounts as the terms of this Contract describe.

7. LIQUIDATED DAMAGES; EXTENSION OF TIME. In accordance with Government Code Section 53069.85, CONTRACTOR agrees to forfeit and pay to CITY the sum of **five hundred dollars (\$500)** per day for each calendar day completion is delayed beyond the time allowed pursuant to paragraph 4 of this Contract. Such sum shall be deducted from any payments due to or to become due to CONTRACTOR. CONTRACTOR will be granted an extension of time and will not be assessed liquidated

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damages for unforeseeable delays beyond the control of and without the fault or negligence of CONTRACTOR, including delays caused by CITY. CONTRACTOR is required to promptly notify CITY of any such delay.

8. WAIVER OF CLAIMS. Unless a shorter time is specified elsewhere in this Contract, on or before making final request for payment under paragraph 6 above, CONTRACTOR shall submit to CITY, in writing, all claims for compensation under or arising out of this Contract; the acceptance by CONTRACTOR of the final payment shall constitute a waiver of all claims against CITY under or arising out of this Contract except those previously made in writing and request for payment. CONTRACTOR shall be required to execute an affidavit, release, and indemnify agreement with each claim for payment.
9. PREVAILING WAGES. Contractor is hereby notified that this project is a public works and is subject to State prevailing wages. Pursuant to provisions of Section 1773 of the Labor Code of the State of California, the City Council has obtained the general prevailing rate of per diem wages and the general rate for holiday and overtime work in this locality for each craft, classification, or type of workman needed to execute this Contract, from Director of the Department of Industrial Relations. These rates are on file with the City Clerk or online with the California Department of Industrial Relations (www.dir.ca.gov). Copies may be obtained at cost at the City Clerk's office of Murrieta. CONTRACTOR shall post a copy of such rates at the job site and shall pay the adopted prevailing wage rates as a minimum. CONTRACTOR shall comply with the provisions of Sections 1725.5, 1771, 1773.8, 1774, 1775, 1776, 1777.5, 1777.6, 1813, and 1815 of the Labor Code.

Pursuant to the provisions of 1775 of the Labor Code, CONTRACTOR shall forfeit to CITY, as a penalty, the sum of fifty dollars (\$50.00) for each calendar day, or portion thereof, for each laborer, worker, or mechanic employed, paid less than the stipulated prevailing rates for any work done under this Contract, by it or by any subcontractor under it, in violation of the provisions of the Contract.

All contractors and subcontractors must be registered with the Department of Industrial Relations, State of California (DIR) prior to submitting a bid on any public works project, pursuant to Labor Code section 1725.5. Quotes from contractors or subcontractors that are not currently registered as required will be deemed nonresponsive and will not be considered. This project is subject to compliance monitoring and enforcement by the DIR.

10. WORKERS' COMPENSATION LIABILITY INSURANCE. CONTRACTOR, by executing this Agreement, hereby certifies:

"I am aware of the provision of Section 3700 of the Labor Code that requires every employer to be insured against liability for Workers' Compensation or undertake self-insurance in accordance with the provisions of that Code, and I will comply with such provisions before commencing the performance of the work of this Contract."

11. INSURANCE. CONTRACTOR shall procure and maintain for the duration of the Contract insurance against claims for injuries to persons or damages to property that

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

may arise from or in connection with the performance of the project by CONTRACTOR, its agents, representatives, employees, or subcontractors. The cost of such insurance shall be borne by CONTRACTOR and, where applicable, included in CONTRACTOR's Quote.

A. Liability Insurance. Before the Contract is executed on behalf of CITY, a bidder to whom the Contract has been awarded shall furnish to CITY original certificates and amendatory endorsements, or copies of the applicable insurance language, effecting coverage required by this contract as listed below. All certificates and endorsements are to be received and approved by CITY before work commences. However, failure to obtain the required documents prior to the work beginning shall not waive CONTRACTOR's obligation to provide them. CITY reserves the right to require complete, certified copies of all required insurance policies, including endorsements, required by these specifications, at any time.

1. Commercial General Liability Insurance: Insurance Services Office Form CG 00 01, including products and completed operations, with limits of no less than **\$2,000,000** per occurrence for bodily injury, personal injury, and property damage. If a general aggregate limit applies, either the general aggregate limit shall apply separately to this project/location or the general aggregate limit shall be twice the required occurrence limit.
2. Worker's Compensation insurance as required by the State of California, with Statutory Limits, and Employers' Liability insurance with a limit of no less than \$1,000,000 per accident for bodily injury or disease.
3. Automobile Liability: Insurance Services Office Form Number CA 0001 covering Code 1 (any auto), with limits no less than **\$1,000,000** per accident for bodily injury and property damage.
4. Excess or Umbrella Liability Insurance (Over Primary) if used to meet limit requirements, shall provide coverage at least as broad as specified for the underlying coverages. Such policy or policies shall include as insureds those covered by the underlying policies, including additional insureds. Coverage shall be "pay on behalf", with defense costs payable in addition to policy limits. There shall be no cross liability exclusion precluding coverage for claims or suits by one insured against another. Coverage shall be applicable to CITY for injury to employees of CONTRACTOR, subcontractors or others involved in the Work. The scope of coverage provided is subject to approval of CITY following receipt of proof of insurance as required herein.

B. Deductibles and Self-Insured Retentions. Any deductibles or self-insured retentions must be declared to and approved by CITY. At the option of CITY, either: CONTRACTOR shall cause the insurer to reduce or eliminate such deductibles or self-insured retentions as respects CITY, its officers, officials, employees, and volunteers; or CONTRACTOR shall provide a financial guarantee satisfactory to CITY guaranteeing payment of losses and related investigations, claim administration,

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and defense expenses. The insurance policies are to contain, or be endorsed to contain, the following provisions:

1. **CITY, its officers, officials, employees, and volunteers are to be covered as additional insureds** on the CGL and automobile liability policies with respect to liability arising out of work or operations performed by or on behalf of CONTRACTOR including materials, parts, or equipment furnished in connection with such work or operations and automobiles owned, leased, hired, or borrowed by or on behalf of CONTRACTOR. General liability coverage can be provided in the form of an endorsement to CONTRACTOR's insurance (at least as broad as ISO Form CG 20 10, 11 85 or both CG 20 10 and CG 23 37 forms if later revisions used).
 2. For any claims related to this project, **CONTRACTOR's insurance coverage shall be primary** insurance as respects CITY, its officers, officials, employees, and volunteers. Any insurance or self-insurance maintained by CITY, its officers, officials, employees, or volunteers shall be in excess of CONTRACTOR's insurance and shall not contribute with it.
 3. Each insurance policy required by this clause shall provide that coverage shall not be canceled, except with notice to CITY.
- C. Acceptability of Insurers. Insurance is to be placed with insurers with a Bests' rating of no less than A:VII.
- D. Waiver of Subrogation. **CONTRACTOR hereby agrees to waive rights of subrogation which any insurer of CONTRACTOR may acquire** from CONTRACTOR by virtue of the payment of any loss. CONTRACTOR agrees to obtain any endorsement that may be necessary to effect this waiver of subrogation. **The Workers' Compensation policy shall be endorsed with a waiver of subrogation** in favor of CITY for all work performed by CONTRACTOR, its employees, agents and subcontractors.
- E. Subcontractors. CONTRACTOR shall include all subcontractors or shall furnish separate endorsements for each subcontractor. All coverage for subcontractors shall be subject to all the requirements stated herein.
12. TIME OF THE ESSENCE. Time is of the essence in this Contract.
13. INDEMNIFICATION. All work covered by this Contract done at the site of construction or in preparing or delivering materials to the site shall be at the risk of CONTRACTOR alone. CONTRACTOR agrees to save, indemnify, hold harmless, and defend CITY, its officers, employees, and agents against any and all liability, injuries, or death of persons (CONTRACTOR's employees included) and damage to property, arising directly or indirectly out of the obligations herein undertaken or out of the operations conducted by CONTRACTOR, save and except claims or litigations arising through the sole active negligence or sole willful misconduct of CITY.
14. CONTRACTOR'S INDEPENDENT INVESTIGATION. No plea of ignorance of conditions that exist or that may hereafter exist or of conditions of difficulties that may

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be encountered in the execution of the work under this Contract, as a result of failure to make the necessary independent examinations and investigations, and no plea of reliance on initial investigations or reports prepared by CITY for purposes of letting this Contract will be accepted as an excuse for any failure or omission on the part of CONTRACTOR to fulfill in every detail all requirements of this Contract. Nor will such reasons be accepted as a basis for any claims whatsoever for extra compensation or for an extension of time.

15. GRATUITIES. CONTRACTOR warrants that neither it nor any of its employees, agents, or representatives has offered or given any gratuities or promises to CITY's employees, agents, or representatives with a view toward securing this Contract or securing favorable treatment with respect thereto.
16. CONFLICT OF INTEREST. CONTRACTOR warrants that he has no blood or marriage relationship, and that he is not in any way associated with any CITY officer or employee, or any architect, engineer, or other preparer of the Plans and Technical Specifications for this project. CONTRACTOR further warrants that no person in its employ has been employed by CITY within one (1) year of the date of this Contract.
17. CONTRACTOR'S AFFIDAVIT AND FINAL RELEASE. After completion of the work contemplated by this Contract, CONTRACTOR shall file with the City Manager an affidavit stating that all workers and persons employed, all firms supplying materials, and all subcontractors upon the project have been paid in full, and that there are no claims outstanding against the project for either labor or materials, except certain items, if any, to be set forth in an affidavit covering disputed claims or items in connection with a Stop Notice that has been filed under the provisions of the laws of the State of California. The Contractor's Affidavit and Final Release shall be in substantially the form provided in Appendix C herein.
18. SIGNATURE OF CONTRACTOR.

Corporations:

The signature must contain the name of the corporation, must be signed by the President and Secretary or Assistant Secretary, and the corporate seal must be affixed. Other persons may sign for the corporation in lieu of the above if a certified copy of a resolution of the corporate board of directors so authorizing them to do so is on file in the City Clerk's office.

Partnerships:

Names of all persons comprising the partnership or co-partnership must be stated. Bid must be signed by all partners comprising the partnership unless proof in the form of a certified copy of a certificate of partnership acknowledging signer to be a general partner is presented to the City Clerk, in which case the general partner may sign.

Joint Ventures:

Bids submitted as joint ventures must so state and be signed by each joint venturer.

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Individuals:

Bids submitted by individuals must be signed by the bidder, unless an up-to-date power of attorney is on file in the City Clerk's office, in which case said person may sign for the individual.

The above rules also apply in the case of the use of a fictitious firm name. In addition, however, where the fictitious name is used, it must be so indicated in the signature.

19. SUBSTITUTED SECURITY. In accordance with Section 22300 of the Public Contracts Code, CONTRACTOR may substitute securities for any monies withheld by CITY to ensure performance under the Contract. At the request and expense of CONTRACTOR, securities equivalent to the amount withheld shall be deposited with CITY or with a State or Federally chartered bank or an escrow agent who shall pay such monies to CONTRACTOR upon notification by CITY of CONTRACTOR's satisfactory completion of the Contract. The type of securities deposited and the method of release shall be approved by the City Attorney's office.
20. RESOLUTION OF CLAIMS. Any dispute or claim arising out of this Contract shall be arbitrated pursuant to Article 7.1 (commencing with Section 10240) of Chapter 1 of Part 2 of the California Public Contracts Code.
21. NOTICE TO CITY OF LABOR DISPUTES. Whenever CONTRACTOR has knowledge that any actual or potential labor dispute is delaying or threatens to delay the timely performance of the Contract, CONTRACTOR shall immediately give notice thereof, including all relevant information with respect thereto, to CITY.
22. BOOKS AND RECORDS. CONTRACTOR's books, records, and plans or such part thereof as may be engaged in the performance of this Contract, shall at all reasonable times be subject to inspection and audit by any authorized representative of CITY.
23. UTILITY LOCATION. CITY acknowledges its responsibilities with respect to locating utility facilities pursuant to California Government Code Section 4215.
24. REGIONAL NOTIFICATION CENTERS. CONTRACTOR agrees to contact the appropriate regional notification center in accordance with Government Code Section 4216.2.
25. TRENCH PROTECTION AND EXCAVATION. CONTRACTOR shall submit its detailed plan for worker protection during the excavation of trenches required by the scope of the work in accordance with Labor Code Section 6705.
26. HAZARDOUS CONDITIONS
 - A. CONTRACTOR shall, without disturbing the condition, notify CITY, in writing, as soon as CONTRACTOR, or any of CONTRACTOR's subcontractors, agents, or employees have knowledge and reporting is possible, of the discovery of any of the following conditions:
 1. The presence of any material that CONTRACTOR believes is hazardous waste, as defined in Section 25117 of the Health and Safety Code;

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2. Subsurface or latent physical conditions at the site differing from those indicated in the specifications; or
 3. Unknown physical conditions at the site of any unusual nature, different materially for those ordinarily encountered and generally recognized as inherent in work of the character provided for in this Contract.
- B. Pending a determination by CITY of appropriate action to be taken, CONTRACTOR shall provide security measures (e.g., fences) adequate to prevent the hazardous waste or physical conditions from causing bodily injury to any person.
- C. CITY shall promptly investigate the reported conditions. If CITY, through and in the exercise of its sole discretion, determines that the conditions do materially differ or do involve hazardous waste, and will cause a decrease or increase in CONTRACTOR's cost of, or time required for, performance of any part of the work, then CITY shall issue a change order.
- D. In the event of a dispute between CITY and CONTRACTOR as to whether the conditions materially differ, or involve hazardous waste, or cause a decrease or increase in CONTRACTOR's cost of, or time required for, performance of any part of the work, CONTRACTOR shall not be excused from any scheduled completion date, and shall proceed with all work to be performed under the contract. CONTRACTOR shall retain any and all rights that pertain to the resolution of disputes and protests between the parties.
27. INSPECTION. The work shall be subject to inspection and testing by CITY and its authorized representatives during manufacture and construction and all other times and places, including, without limitation, the plans of CONTRACTOR and any of its suppliers. CONTRACTOR shall provide all reasonable facilities and assistance for the safety and convenience of inspectors. All inspections and tests shall be performed in such manner as to not unduly delay the work. The work shall be subject to final inspection and acceptance notwithstanding any payments or other prior inspections. Such final inspection shall be made within a reasonable time after completion of the work.
28. DISCRIMINATION. CONTRACTOR represents that it has not, and agrees that it will not, discriminate in its employment practices on the basis of race, creed, religion, national origin, color, sex, age, or handicap.
29. GOVERNING LAW. This Contract and any dispute arising hereunder shall be governed by the law of the State of California.
30. WRITTEN NOTICE. Any written notice required to be given in any part of the Contract Documents shall be performed by depositing the same in the U.S. Mail, postage prepaid, directed to the address of CONTRACTOR as set forth in the Contract Documents, and to CITY addressed as follows:

*Robert K. Moehling
Director of Public Works
City of Murrieta*

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

*1 Town Square
Murrieta, CA 92562*

31. The Contractor's license required in the performance of this Contract is **Class A**.
32. Contractor shall obtain and pay for all licenses required by City.
33. Contractor's activities shall be confined to the hours between 7:00 a.m. and 4:30 p.m., Monday through Friday, excluding City designated holidays. Deviation from these hours will not be permitted without the prior consent of Engineer, except in emergencies involving immediate hazard to persons or property.

In the event of either a requested or emergency deviation, inspection service fees will be charged against Contractor. The service fees will be calculated at overtime rates, including benefits, overhead, and travel time. The service fees will be deducted from any amounts due Contractor.

34. GUARANTY

All work shall be guaranteed for a period of one (1) year from the date of acceptance by City. Contractor shall promptly make all needed repairs arising out of defective materials, workmanship, and equipment.

City is hereby authorized to make such repairs if within ten (10) days after giving written notice to Contractor, or its agent, Contractor should fail to make or undertake with due diligence the aforesaid repairs; provided, however, that in case of an emergency, where, in the opinion of City, delay would cause serious loss or damage, repairs may be made without notice being sent to Contractor, and Contractor shall pay the costs thereof.

Contractor shall, upon completion of the Contract and prior to filing of the Notice of Completion, post a Maintenance Bond in the amount of ten percent (10%) of the Contract value. The Maintenance Bond shall remain in full force and effect through the guaranty period of one (1) year.

35. CONTRACT BONDS

- A. General. Before execution of the Contract by City, Contractor shall file with the City Engineer surety bonds satisfactory to City in the amounts and for the purposes noted below. Bonds shall be duly executed and notarized by a responsible corporate surety, authorized to issue such bonds in the State of California and secured through an authorized agent with an office in California. Contractor shall pay all bond premiums, costs, and incidentals.
- B. Payment Bond. The Payment Bond (material and labor) shall be for not less than one hundred percent (100%) of the Contract price to satisfy claims of material suppliers and of mechanics and laborers employed by CONTRACTOR on the work. The bond shall be maintained by Contractor in full force and effect until the completed work is accepted by City and until all claims for materials and labor are paid.
- C. Faithful Performance Bond. The Faithful Performance Bond shall be for one hundred percent (100%) of the Contract price to guaranty faithful performance

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

of all work, within the time prescribed in a manner satisfactory to City, and that all materials and workmanship will be free from original or developed defects.

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IN WITNESS WHEREOF, the parties hereto have caused this Contract to be executed on the date first above written.

DATED: _____

CONTRACTOR:

By: _____

Print or type NAME

Print or type TITLE

Phone Number

By: _____

Print or type NAME

Print or type TITLE

Phone Number

DATED: _____

CITY OF MURRIETA

By: _____

Cindy Warren, Mayor

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

ATTEST:

Cristal McDonald , City Clerk

APPENDIX A

SCOPE OF WORK / PLANS & TECHNICAL SPECIFICATIONS

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS
GENERAL SPECIFICATIONS

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490
CIP NO. 11004

SCOPE OF WORK

The scope of work will consist of demolition (remove existing bridge structure, debris, vegetation, and minor grading), survey, regrading/compaction, construct a Cast-In-Place reinforced concrete box (RCB), concrete wingwall, riprap energy dissipator, concrete barrier and posts, guardrail, full depth pavement structural section, and other ancillary work necessary to complete the scope of the project as shown on the plans, these special provisions, or as directed by the City Engineer.

All material and equipment shall be delivered by Contractor to the site, or to the City yard if removal and salvage is specified on plans.

LOCATION OF WORK

The project is located on Hayes Avenue at Miller Canyon Creek, approximately 500' NW of Ivy Street.

TIME OF COMPLETION

Contractor shall complete all work in every detail within the time limits specified in the Instructions to Bidders, Section 18, herein.

UTILITY REQUIREMENTS

Contractor is advised of the existence of the utility notification service provided by Underground Service Alert (USA). USA member utilities will provide Contractor with the precise locations of their substructures in the construction area when Contractor gives at least two (2) working days' notice to USA by calling 1-800-422-4133.

Contractor shall notify the agencies listed in Attachment A (of this Appendix) at least two (2) working days in advance of excavating around any of their structures. The utility companies listed can be contacted as applicable.

The California Public Utilities Commission mandates that, in the interest of public safety, mainline gas valves be maintained in a manner to be readily accessible and in good operating condition. Contractor shall notify the Southern California Gas Company's Headquarters Planning Office at (951) 634-3258 at least two (2) working days prior to the start of construction.

FLOW AND ACCEPTANCE OF WATER

It is anticipated that storm, surface, or other waters will be encountered at various times during the work herein contemplated. Contractor, by submitting a bid, acknowledges that he has investigated the risk arising from such waters and has prepared his bid accordingly; and Contractor submitting a bid assumes all said risk.

Contractor shall conduct his operations in such a manner that storm or other existing waters may proceed uninterrupted along their existing street or drainage courses. Diversions of water for short reaches to

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

protect construction in progress will be permitted if public and/or private properties, in the opinion of the Engineer, are not subject to probability of damage. Contractor shall obtain written permission from the applicable public agency or property owner before any diversion of water outside of public right-of-way will be permitted.

REMOVAL OF WATER

Contractor shall provide and maintain at all times during construction ample means and devices to promptly remove and properly dispose of all water entering the excavations or other parts of the work. No concrete footing or floor shall be laid in water, nor shall water be allowed to rise over them until the concrete or mortar has set. De-watering for the structures and pipelines shall commence when ground water is first encountered and shall be continuous until such time as water can be allowed to rise in accordance with the above paragraph. De-watering shall be accomplished by well points or some other method that will ensure a dry hole and preservation of final lines and grade of the bottoms of excavation, all subject to the approval of Engineer.

Disposal of water from de-watering operations shall be the sole responsibility of Contractor. Disposal methods shall conform to the Porter-Cologne Water Quality Control Act of 1974, the Federal Water Pollution Control Act Amendments of 1972 & the California Administrative Code, Title 23, Chapter 3.

Full compensation of de-watering shall be considered as included in the Contract prices paid for the related items of work, and no additional compensation will be allowed therefor.

TRENCH SAFETY AND SHORING EXCAVATION

In accordance with Section 6500 of the Labor Code, Contractor is required to obtain a permit from the Division of Industrial Safety for any trench or excavation that is five (5) feet or more in depth and into which a person is required to descend.

Contractor shall furnish all labor, equipment, and materials required to design, construct, and remove all sheeting, shoring, and bracing or other equivalent method of support of this project.

Excavation for any trench five (5) feet or more in depth shall not begin until Contractor has received approval from Engineer of Contractor's detailed plan for worker protection from hazards of caving ground. Such plan shall be submitted at least five (5) days before Contractor intends to begin excavation and shall show the details of the design of shoring, bracing, sloping, or other provisions to be made for worker protection during excavation. No such plan shall allow the use of shoring, sloping, or a protective system less effective than required by Construction Safety Orders of the Division of Industrial Safety; and if such plan varies from the shoring system standards established by the Construction Safety Orders, the plan shall be prepared and signed by Engineer who is registered as a Civil or Structural Engineer in the State of California.

Prior to the beginning of excavations requiring shoring, Contractor shall designate, in writing, to Engineer someone whose responsibility it is to supervise the project safety measures and someone whose responsibility it is to supervise the installation and removal of sheeting, shoring, and bracing.

In addition to shoring the excavations in accordance with the minimum requirements of Industrial Safety Orders, it shall be the Contractor's responsibility to provide any and all additional shoring required to support the sides of the excavation against the effects of load which may exceed those desired by using the criteria set forth in the Industrial Safety Orders. The Contractor shall be solely

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

responsible for any damages which may result from his failure to provide adequate shoring of the excavation under any and all of the conditions of loading which may exist or which may arise during construction of the project.

Contractor shall include in his bid all costs for the above requirements. Full compensation for sheeting, shoring, bracing, and all other things necessary shall be considered as included in the appropriate bid items of work, and no additional allowance will be made therefor.

STANDARD SPECIFICATIONS

The Standard Specifications are contained in the 2015 edition of the **Standard Specifications for Public Works Construction** (Greenbook), including all supplements as written and promulgated by Public Works Standards, Inc. Copies of those Standard Specifications are available from the publisher:

Building News, Inc. (BNi)
990 Park Center Drive, Suite E
Vista, CA 92081
(760) 734-1113
www.bnibooks.com

The Standard Specifications set forth above will control the general provisions for this Contract except as amended by the Plans, Special Provisions, or other Contract Documents, and the deletion of Part 7: Street lighting and Traffic Signal Systems.

The 2024 edition of Standard Specifications for Public Works Construction (Greenbook) shall be used for the cast-in-place reinforced concrete box as indicated in the Technical Provisions herein.

The 2018 State of California Department of Transportation Standard Specifications will control the installation of signs and striping for this Contract, except as amended by the Plans, Special Provisions, or other Contract Documents. Only those sections requiring amendment or elaboration, or specifying options, are called out.

In case of conflict between the Standard Specifications or State Standard Specifications and the Special Provisions, the Special Provisions shall take precedence over and be used in lieu of such conflicting portions.

Where the Plans or Specifications describe portions of the work in general terms, but not in complete detail, it is understood that the item is to be furnished and installed complete and in place and that only the best general practice is to be used. Unless otherwise specified, Contractor shall furnish all labor, materials, tools, equipment, and incidentals, and do all the work involved in executing the Contract.

WAGE RATES AND LABOR CODE REQUIREMENTS

Wage Rates

Contractor and all subcontractors shall be required to adhere to the general prevailing rate of per diem wages as determined and published by the State Director of the Department of Industrial Relations, pursuant to Section 1770, 1773, and 1773.2 of the California Labor Code. Copies of these rates and the latest revisions thereto are on file in the Office of the City Clerk and are available for review upon request.

Apprentices

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

Section 1777.5 requires Contractor or subcontractor employing tradesmen in any apprenticeable occupation to apply to the Joint Apprenticeship Committee nearest the site of the public works project that administers the apprenticeship program in that trade for a certificate of approval. The certificate will also fix the ratio of apprentices to journeymen to be used in the performance of the Contract.

Contractor is required to make contributions to funds established for the administration of apprenticeship programs if he employs registered apprentices or journeymen in any apprenticeable trade and if other contractors on the public works site are making such contributions.

Information relative to apprenticeship standards, contributions, wage schedules, and other requirements may be obtained from the State Director of Industrial Relations or from the Division of Apprenticeship Standards.

Clayton Act and Cartwright Act

Section 4551 of the State Government Code specifies that in executing a public works contract with City to supply goods, services, or materials, Contractor or subcontractors offer and agree to assign to City all rights, title, and interest in and to all causes of action it may have under Section 4 of the Clayton Act (15 U.S.C. Sec. 15) or under the Cartwright Act (Chapter 2 commencing with Section 16700) of Part 2 of Division 7 of the Business and Professional Code arising from purchase of goods, services, or materials pursuant to the Contract or subcontract. This assignment shall become effective when City tenders final payment to Contractor without further acknowledgment by the parties.

SUBSTITUTION OF SECURITIES

In conformance with the State of California Public Contract Code, Section 22300, Contractor may substitute securities for any monies withheld by City to ensure performance under the Contract.

At the request and expense of Contractor, securities equivalent to the amount withheld shall be deposited with City or with a State or Federally chartered bank as the escrow agent who shall pay such monies to Contractor upon notification by City of Contractor's satisfactory completion of the Contract.

The type of securities deposited and the method of release shall be approved by the City Attorney's office.

WEEKLY CONSTRUCTION UPDATE MEETINGS

Upon the start of construction, the contractor shall schedule a reoccurring virtual weekly meeting at an agreed upon time with the City. The contractor shall be responsible for providing a meeting agenda as well as an updated **construction schedule** listing construction activities and any subcontractors that will be present on site. The contractor shall have both an office and field representative present at the meeting. Any subcontractors listed on the 3 week look ahead shall have a representative present at the meeting.

SPECIAL PROVISIONS

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

THE FOLLOWING SPECIAL PROVISIONS ARE TO BE USED IN CONJUNCTION WITH THE “STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK)” UNLESS OTHERWISE NOTED.

SECTION 1 — TERMS, DEFINITIONS, ABBREVIATIONS, UNITS OF MEASURE, AND SYMBOLS

1-2 DEFINITIONS

[Add or replace with the following]:

Agency	- City of Murrieta (City)
Board	- City Council of the City
Caltrans	- California Department of Transportation
City	- City of Murrieta
County	- County of Riverside
Director	- Director of the Public Works Department, City of Murrieta, acting either directly or through his properly authorized agents, each agent acting only within the scope of authority designated to him.
EMWD	Eastern Municipal Water District
Engineer	- Director of the Public Works Department/City Engineer, City of Murrieta, acting either directly or through his properly authorized agents, each agent acting only within the scope of authority designated to him.
EVMWD	Elsinore Valley Municipal Water District
Final Acceptance	- That stage of construction and plant establishment that allows City to accept the project as completed (no punch list items remaining unresolved). When Contractor believes the project is ready for final acceptance, he shall call for a final acceptance inspection. Director will inspect the project to verify its completion. Should there be elements that are not completed, Director will record same (final acceptance punch list) and bring them to the attention of Contractor. All punch list items must be resolved prior to final acceptance. When, in Director's judgment, the work has been completed in accordance with the Plans and Specifications

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and is ready for final acceptance, he will so certify to the Board, which may accept the completed work. Upon acceptance of the work by the Board, the City Clerk will file the Notice of Completion with the County Recorder.

- | | | |
|-------------------------------|---|---|
| Federal | - | United States of America |
| Standard Specifications | - | <u>Standard Specifications for Public Works Construction</u> , 2015 edition (Greenbook) |
| State Standard Specifications | | <u>State of California, Department of Transportation, Standard Specifications</u> , dated 2010 |
| R.C.W.D. | - | Rancho California Water District |
| R.C.F.C.D. & W.C.D. | - | Riverside County Flood Control and Water Conservation District |
| Substantial Completion | - | That stage of construction that allows Director to occupy or use the project for its intended purpose. When a project includes a plant establishment period, the date of the start of the plant establishment period may, at the discretion of Director, be used as the basis for determining the substantial completion date, provided that all elements of the project, other than the landscape, are substantially completed as defined above. |

The substantial completion date will be determined by Director in cooperation with Contractor and establish the termination of the time period for construction, and this date is used as a basis for determining whether liquidated damages are assessable. In no case shall the plant establishment period end prior to the final acceptance of the project.

When Contractor believes that construction of the project is substantially complete, he shall call for an inspection. Director will inspect the total project to verify its completion by Contractor. Should there be elements of the project that are not yet completed, Director will record same (substantial completion punch list) and bring them to the attention of Contractor. All such items must be completed prior to acceptance of the project substantially complete.

In the event re-inspection of any project element results in additional cost to City for consultant or staff time, Director retains the right to withhold sufficient funds from payments due Contractor to cover the cost to City of such re-inspection.

- | | | |
|--------------|---|---|
| Traveled Way | - | That portion of the roadway reserved for the movement of vehicles for the general public, exclusive of shoulders and auxiliary lanes. When traffic has been diverted or restricted to certain lanes, with the approval of Engineer, these diversions or restricted lanes become the traveled way. |
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W.M.W.D.

- Western Municipal Water District

PART 1 – GENERAL PROVISIONS

1-4 UNITS OF MEASURE

1-4.1 GENERAL

[Replace with the following]:

U.S. Standard Measure is the principal measurement system in these contract documents and shall be used for construction.

SECTION 2 — SCOPE AND CONTROL OF WORK

2-1 AWARD AND EXECUTION OF CONTRACT

[Add the following]

Within five (5) working days after the date of the Notice of Award, Contractor shall execute and return the following Contract Documents to City:

- Labor and Materials Bond
- Performance Bond
- Insurance Forms in Appendix B
- Vendor Application
- W-9 form
- Business License Application

Failure to comply with the above can result in annulment of the award and forfeiture of the Proposal Guarantee.

The Contract shall not be considered binding upon City until executed by the authorized City officials.

A corporation to which an award is made may be required, before the Contract Agreement is executed by City, to furnish evidence of its corporate existence, of its right to enter into contracts in California, and that the officers signing the Contract and Bonds for the corporation have the authority to do so.

2-5 PLANS AND SPECIFICATIONS

2-5.1 GENERAL

[Replace the first paragraph with the following]:

Contractor shall maintain a control set of Plans and Specifications on the project site at all times. All final locations determined in the field, and any deviations from the Plans and Specifications, shall be marked in red on this control set to show the as-built conditions. Upon completion of all work, Contractor shall return the control set to Engineer. Final payment will not be made until this requirement is met.

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Adjustments to the layout of this Plan may be necessary due to the unknown existing conditions. It is Contractor's responsibility to retain the design intent. If a layout discrepancy should occur, Contractor is to contact City's representative.

2-5.3 SUBMITTALS

[Add the following]:

Contractor shall anticipate submitting the following submittals in addition to those identified in the Special Provisions:

No.	Submittal	Section Reference
1	Construction Schedule	6-1.1 Schedule
2	Project Information Sign	7-12.1 Project Information Sign
3	CAB or CMB	200-2 Untreated Base Material
4	PCC Mix design	201-1 Portland Cement Concrete
5	Asphalt Concrete Mix design	203-6 Asphalt Concrete
6	Hand Rails	
7	Formwork	410 Formwork
8	Riprap/Energy Dissipator System	
9	Guardrail	

2-6 WORK TO BE DONE

2-6.1 CITY-FURNISHED MATERIALS

[Add the following]:

Materials will not be furnished by the City on this project.

Note: All materials and equipment shall be furnished by the Contractor.

2-7 SUBSURFACE DATA

[Add the following]:

The City has performed a geotechnical investigation and commissioned the preparation of a report for this project, which has been included in Attachment B. The City takes no responsibility for the interpretations made by the Contractor in his review of this information. Should the Contractor obtain any additional geotechnical information for this project, it shall be at no additional cost to the City.

2-9 SURVEYING

2-9.1 PERMANENT SURVEY MARKERS

[Replace the entire section with the following]:

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The Contractor shall take all necessary measures to ensure the preservation of survey monuments, ties and benchmarks. The Contractor shall not disturb permanent survey monuments, ties or benchmarks without the consent of the Engineer. The Contractor will bear the expense for replacing any monumentation that may be disturbed without permission.

When a change is made in the finished elevation of the pavement of any roadway in which a permanent survey monument is located, the Contractor shall adjust the monument cover to the new grade or remove and replace the monument and/or ties per the City of Murrieta Standard No. 's 616, 617b, and 617c, unless otherwise specified. All new monuments and ties shall conform to the Professional Land Surveyors' Act of the Business and Professions Code, Section 8700 et seq. When a monument or tie is to be re-set, the Contractor will be required to record a map, field notes, and/or other pertinent record, with the County of Riverside and shall submit a copy to the City Engineer.

2-9.2 SURVEY SERVICE

[Replace the entire section with the following]:

The Contractor shall provide all surveying and construction services. All work shall be performed under the supervision of a Licensed Surveyor or a pre-1982 Registered Civil Engineer, pursuant to the California Business and Professions Code 8729, and shall conform to the quality and practice required by the Engineer.

Construction staking shall be performed as necessary to control the work. Construction stakes and marks shall be furnished and set with accuracy adequate to assure that the completed work conforms to the lines, grades, and sections shown on the plans.

All horizontal and vertical survey control monuments shown on the layout plans shall be checked by the contractor for description, location and accuracy, prior to their use.

The Contractor shall be responsible for protecting all existing horizontal and vertical survey controls, monuments, ties and bench marks located within the limits of the project. If any of the above requires removal, relocating or resetting, the Contractor shall, prior to any construction work and under the supervision of a California-licensed land surveyor or pre-1982 licensed civil engineer, establish sufficient temporary ties and bench marks to enable the points to be reset after completion of construction.

Any ties, monuments and bench marks disturbed during construction shall be reset per Caltrans standards after construction and the tie notes submitted to the Engineer on 8-1/2" x 11" note paper. The Contractor and its sureties shall be liable for, at his expense, any resurvey required due to his negligence in protecting existing ties, monuments, bench marks or any such horizontal and vertical controls.

The Contractor shall comply with The Land Surveyors Acts//9771 (Record of Surveys - Monumentation) and//8773 (Corner Records - Records of Survey for "Lost Corners").

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Survey monuments and ties shall be established, marked, identified and referenced in accordance with the Riverside County Road Improvement Standards and Specifications, Specification Section 21. Survey notes, drawings, calculations and other survey documents/materials shall be completed and delivered to the Engineer on survey note sheets.

Field surveys for control of construction shall be the responsibility of the Contractor.

The Contractor shall be wholly responsible for the lines and grades and for the stakes and marks for the construction of all improvements shown on the plans.

All computations necessary to establish the exact position of the work from control points shall be made by the Contractor. All computations, survey notes, and other records necessary to accomplish work shall be neat, legible and accurate. Copies of such computations, notes and other records shall be furnished to the Engineer prior to beginning work that requires their use. Construction stakes shall be removed from the site of the work when no longer needed.

Upon completion of construction staking and prior to acceptance of the contract, all computations, survey notes, and other data used to accomplish the work shall be furnished to the Engineer. All computations and final survey notes shall be reviewed and accepted by the Engineer. Prior to completion of contract, and shall become the property of the City before the acceptance of the contract.

The Contractor shall provide one set of line and grade stakes referring to ultimate centerline immediately prior to the beginning of the period of utility relocation by others (immediately after pavement removal). This set of stakes is for utility owner use to control the relocation of their utilities. Stakes shall be a minimum of 100-foot on center and shall be at an offset or offsets suitable for the stated purpose, or as directed by the Engineer. Contractor shall provide survey notes to each utility owner.

Grade certifications shall be provided by a Licensed Surveyor or a pre-1982 Registered Civil Engineer for each grade plane for the project including, but not limited to, subgrade, base grade, and finished surface.

The Contractor shall be responsible for providing sufficient topographical surveying necessary for determining earthwork calculations. The Contractor shall verify the accuracy of the existing topography as identified on the plans and provide sufficient survey shots during excavation to establish a full topography of the finish grade surface. Copies of the survey notes shall be submitted to the City Engineer.

The Contractor shall submit to the Engineer a minimum of 7 days prior to the start of work a list of controlling survey monuments which may be disturbed, or installed per plan. The Registered Land Surveyor shall:

- a) set survey points outside the affected work area that reference and locate each controlling survey monument that may be disturbed,
- b) file a Corner Record or Record of Survey with the County Surveyor after setting the survey points to be used for re-establishment of the disturbed controlling survey monuments, and

c) file a Corner Record or Record of Survey with the County Surveyor after re-establishment of the disturbed controlling survey monuments, or establishment of a new survey monument.

All cost associated with Surveying Services and Construction staking shall be considered included in the cost of various bid items and no additional compensation will be allowed thereafter and shall include full compensation for furnishing all labor, materials, tools, equipment, and incidentals, and for doing all the work involved in performing all surveying services for construction staking, tying out existing survey monuments if in conflict with the plan, and resetting conflicting existing monuments, all as shown on the plans, as specified in these special provisions, and as directed by the Engineer.

SECTION 3 — CHANGES IN WORK

3-3 EXTRA WORK

3-3.2.3 MARKUP

[Add the following as the first paragraph]:

The markups mentioned hereinafter shall include, but are not limited to, all costs for the services of superintendents, project managers, timekeepers, and other personnel not working directly on the change order and pickups or yard trucks used by the above personnel. These costs shall not be reported as labor or equipment elsewhere except when actually performing work directly on the change order and then shall only be reported at the labor classification of the work performed.

3-3.2.3.1 WORK BY CONTRACTOR

[Add the following]:

The Contractor's markup to the Contractor's costs as determined under 3-3.2.2 shall not exceed 20% for labor and 15% for materials and equipment and shall constitute the markup for all overhead and profit on work by the Contractor.

3-3.2.3.2 WORK BY SUBCONTRACTOR

[Add the following]:

The Contractor's markup to the Subcontractor's costs and markup shall not exceed 5% and shall constitute the markup for all overhead and profit for the Contractor on work by the Subcontractor.

SECTION 5 – UTILITIES

5-1 LOCATION

5-1.1 GENERAL

[Add the following]:

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Contractor shall understand that the existing underground/overhead facilities as shown on the Drawings are from record only, and NO FIELD CHECK was made to establish their exact location. Also, other underground facilities may exist. Therefore, it shall be Contractor's responsibility to locate, protect, and preserve, etc., all existing underground or overhead facilities.

In order to provide sufficient lead time to resolve unforeseen conflicts, order materials and take other appropriate measures to ensure that there is no delay in work, the Contractor shall expose ("pothole") all utility mains that must be crossed or closely paralleled as well as the existing pipelines at all connection points at least fifteen (15) working days in advance of commencing construction. Location of existing pipeline shall include determination of its existing slope at the points of connection. Contractor shall then immediately provide the location and elevations of the "potholed" utilities to the City. In the event information received from potholing indicates a conflict or discrepancy, the City will make recommendations to remedy the conflict or discrepancy.

All costs incurred in exposing utilities shall be included in the cost associated with the respective bid item listed on the Bid Sheet. All pothole information shall be added to "as built" drawings. It shall be the Contractor's responsibility to determine the type, material, and condition of any utility which may be affected by or affect the work. The Contractor shall call Dig Alert and have all utility companies field locate all underground lines before start of construction.

The City reserves the right to make minor adjustments in pipeline alignment and grade, all at no additional cost to the City. Failure of the Contractor to comply with these provisions will result in an order to suspend work until these provisions are complied with, and no additional compensation will be allowed as a result of such suspension.

5-6.1 UTILITY COORDINATION

[Add the following section]:

If necessary, the Contractor shall ensure that the various utility companies relocate their facilities that are in conflict with the Project. The Contractor shall provide sufficient time in the construction schedule to allow for the completion of all utility relocations and manhole adjustments that are necessary to avoid conflicts with the construction of the contract work.

Full compensation for coordinating efforts with Utility Companies and their contractors, labor, equipment and materials, down time, and any other activity that may pertain to coordinating utility relocations shall be considered included in the cost of various bid items and no additional compensation will be allowed therefor. Extra time may be allowed to the contractor in the event of Utility Companies delaying relocation.

SECTION 6 — PROSECUTION, PROGRESS, AND ACCEPTANCE OF THE WORK

6-1 CONSTRUCTION SCHEDULE AND COMMENCEMENT OF WORK

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[Replace with the following]:

Contractor's proposed Construction Schedule shall be submitted to Engineer within five (5) working days after the date of the Notice of Award of Contract. The schedule shall be supported by written statements from each supplier of materials or equipment indicating that all orders have been placed and acknowledged and setting forth the dates that each item will be delivered.

Prior to issuing the Notice to Proceed, Engineer will schedule a pre-construction meeting with Contractor to review the proposed Construction Schedule and delivery dates, arrange for utility construction surveying and utility coordination, discuss construction methods, and clarify inspection procedures.

Contractor shall submit periodic Progress Reports to Engineer by the tenth (10th) day of each month. The report shall include an updated Construction Schedule. Any deviations from the original schedule shall be explained. Progress payments will be withheld pending receipt of any outstanding reports.

6-7 TIME OF COMPLETION

6-7.1 GENERAL

[Add the following]:

The time for completion shall be as set forth in the Instructions to Bidders herein, if not identified in the contract.

The Contractor shall comply with the following schedule:

- **City Council Award/Notice of Award: July 1, 2025**
- **Expected Notice to Proceed: July 7, 2025 (Subject to environmental permits)**

The Notice to Proceed date shall be considered the first day of work.

6-7.2 WORKING DAY

[Replace with the following]:

Contractor's activities shall be confined to the hours between 7:00 a.m. and 4:30 p.m., Monday through Friday, excluding City designated holidays except as modified below. Deviation from these hours will not be permitted without the prior consent of Engineer, except in emergencies involving immediate hazard to persons or property.

In the event of either a requested or emergency deviation, inspection service fees will be charged against Contractor. The service fees will be calculated at overtime rates, including benefits, overhead, and travel time. The service fees will be deducted from any amounts due Contractor.

6-9 LIQUIDATED DAMAGES

[Replace the last sentence of the first paragraph with the following]:

Liquidated damages shall be as set forth in the Contract.

[Delete the second paragraph in its entirety]

SECTION 7—RESPONSIBILITIES OF CONTRACTOR

7-2 LABOR

7-2.1 PREVAILING WAGES

[Add the following]:

Contractor, and all subcontractors, suppliers, and vendors shall comply with applicable City, State, and Federal orders regarding affirmative action to ensure equal employment opportunities and fair employment practices. Failure to file any report due under said orders will result in suspension of periodic progress payments.

Contractor shall ensure unlimited access to the job site for all equal employment opportunity compliance officers.

7-5 PERMITS

[Add the following]:

Prior to the start of any work, Contractor shall take out the applicable City permits and make arrangements for City inspections. Contractor and all subcontractors shall each obtain any and all other permits, licenses, inspections, certificates, or authorizations required by any governing body or public utility.

7-8 WORK SITE MAINTENANCE

7-8.3 NOISE CONTROL

[Add the following]:

A noise level limit of 86-dba at a distance of fifty (50) feet shall apply to all construction equipment on or related to the job, whether owned by Contractor or not. The use of excessively loud warning signals shall be avoided except in those cases required for the protection of personnel.

7-8.4.2 STORAGE IN PUBLIC STREETS

[Replace the first paragraph with the following]:

Construction materials and equipment shall not be stored in streets, roads, or highways unless otherwise specified in the Special Provisions or approved by the Engineer. All materials or equipment shall be stored at a location approved by the Engineer.

7-8.6 WATER POLLUTION CONTROL

[Add the following]:

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This project is subject to the requirements of the National Pollutant Discharge Elimination System (NPDES) and the associated Construction General Permit (CGP) No. 2009-0009-DWQ as amended by No. 2010-0014-DWQ and No. 2012-006-DWQ issued by the California State Water Resources Control Board (SWRCB). This permit regulates storm water discharges associated with construction activities. Copies of the permit can be obtained from the SWRCB website at www.waterboards.ca.gov. The Contractor shall fully inform itself of the conditions of the CGP which govern its operations and shall conduct its construction operations accordingly. Specifically, the Contractor shall comply with the CGP's discharge prohibitions and receiving water limitations.

The Contractor shall allow authorized agents of the City, SWRCB, Regional Water Quality Control Board (RWQCB), United States Environmental Protection Agency (EPA), local storm water management agency, and other applicable state or federal agencies upon the presentation of credentials and other documents as may be required by law, to:

1. Enter, at reasonable times, upon the construction site and the Contractor's facilities pertinent to the work.
2. Have access to and copy, at reasonable times, any records that must be kept as specified in the CGP and these Special Provisions.
3. Inspect, at reasonable times, the construction site and related erosion and sediment control measures.
4. Sample or monitor, at reasonable times, for the purpose of ensuring compliance with the CGP and these Special Provisions.

Conformance with the requirements of this section shall in no way relieve the Contractor from its responsibilities, as provided in Section 5-1.36, "Property and Facility Preservation" and Section 5-1.39, "Damage Repair and Restoration," of the State Standard Specifications.

WM-8 Concrete Waste Management along with street sweeping and inlet protection will be the primary BMPs utilized on this project. Contractor's project manager, superintendent along with the job foreman shall be trained and aware of the requirements to ensure water quality protection. Asphalt materials and concrete waste will be protected from entering flow lines and curb inlets.

The Contractor shall be liable for any violations of the CGP issued to the City as a direct result of the Contractor's failure to comply with the CGP and these Special Provisions.

7-8.6.3 STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

[Add the following]:

Although a Storm Water Pollution Prevention Plan (SWPPP) is not required as part of this project, Contractor shall include erosion control measures and Best Management Practices (BMPs), for all phases of the work. The erosion control measures and Best Management Practices (BMPs) shall achieve the basic objectives of a SWPPP, and shall satisfy the requirements of the CGP related to the Contractor's operations for the period of time that the Contractor is responsible for the construction site up to the approval of the Notice of Termination.

7-8.6.4 DEWATERING

[Replace the third sentence with the following]:

Permits necessary for treatment and disposal of accumulated water shall be obtained by the Contractor.

7-8.6.5 PAYMENT

[Add the following]:

Full compensation for conforming to the requirements in Section 7-8.6 “Water Pollution Control” and these special provisions shall be considered as included in the contract unit price paid for each respective bid item and no additional compensation will be made therefore.

Payment for dewatering shall be considered as included in the Contract Unit Price for each item in the bid necessitating dewatering.

7-9 PROTECTION AND RESTORATION OF EXISTING IMPROVEMENTS

[Add the following after the second paragraph]

The Contractor shall protect existing buildings, paving, and other services or facilities on-site and adjacent to the site from damage caused by site work operations. Cost of repair and restoration of damaged items shall be at Contractor's expense.

The Contractor shall protect the existing environmental area as identified on the plans. Contractor shall place an orange construction fence at the limits of construction to ensure personnel, equipment, and construction debris do not encroach upon this area. The Contractor shall be responsible for any damages, repairs, or other mitigation assessed by a regulatory body such as US Fish and Wildlife Service, US Army Corps of Engineers, and State Water Quality Resources Board for failure to comply with these requirements.

The quality of construction is the responsibility of Contractor.

7-10 SAFETY

7-10.4.1.1 GENERAL

[Add the following]:

The Contractor shall provide for the safety of traffic and the public in accordance with the provisions in Section 7-1.04, “Public Safety,” of the State Standard Specifications and these special provisions.

All existing traffic control signs and street name signs shall be maintained in visible locations as directed by the Engineer.

All warning lights, signs, flares, barricades and other facilities for the sole convenience and direction of public traffic shall be furnished and maintained by the Contractor. All signs shall conform to and be placed in accordance with the current "Manual of Traffic Controls", issued by

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the California Department of Transportation for construction and maintenance of work zones. The Contractor shall utilize Solar Powered Equipment to maintain and control existing traffic. Battery operated equipment shall be utilized for night time operations.

All construction signs shall be either covered or removed when not required by the nature of the work, or if no present hazard to the motorists exists.

Payment for implementing traffic controls as required by these Special Provisions shall be considered included in the cost of various bid items including full compensation for all labor, materials, and equipment necessary to install and maintain traffic controls throughout the construction period.

7-10.4.2 SAFETY ORDERS

[Add the following]:

Contractor shall comply with the provisions of any City ordinances or regulations regarding requirements for the protection of excavations and the nature of such protection.

7-10.4.1.3 PUBLIC SAFETY DURING NON-WORKING HOURS

[Add the following section]:

Notwithstanding Contractor's primary responsibility for safety on the job site, when Contractor is not present, Engineer may, at his option after attempting to contact Contractor, direct City forces to perform any functions he may deem necessary to ensure public safety at or in the vicinity of the job site. If such procedure is implemented, Contractor will bear all expenses incurred by City.

7-12 ADVERTISING

7-12.1 PROJECT INFORMATION SIGN

[Add the following]:

This work shall consist of furnishing, installing, maintaining, and removing project information signs, posts, mounting, and hardware at the location designated by the Engineer.

The project information signs shall be installed prior to the beginning of construction work and removed and dropped off to the City of Murrieta Public Works yard when all construction work for the project is complete. The sign dimension and appearance should be as follows:



Full compensation for furnishing all labor, materials, including posts, equipment, tools and incidentals necessary to furnish, install, maintain, remove and salvage Project Information Sign shall be considered as included in the cost of various bid items and no additional compensation will be allowed therefore.

7-15 PAYROLL RECORDS

Payroll records, if required, shall be submitted to City by the tenth (10th) day of each month. Progress payments will be withheld pending receipt of any outstanding reports.

SECTION 8— FACILITIES FOR AGENCY PERSONNEL

8-1 GENERAL

8-1.1 FACILITIES FOR AGENCY PERSONNEL

[Replace with the following]:

Facilities for Agency personnel will not be required on this project.

SECTION 9— MOBILIZATION

9-3.4 MOBILIZATION

[Replace with the following]:

Mobilization shall be paid on the basis of a lump sum price bid for “Mobilization” and shall include full compensation for furnishing all labor, materials, tools, equipment, and incidentals for doing

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all the work involved in performing Mobilization, as shown on the exhibits, as specified in these Special Provisions and as directed by the Engineer.

Payments for mobilization will be made as follows:

- (a) When 5 percent of the original contract amount is earned, 50 percent of the amount bid for mobilization, or 5 percent of the original contract amount, whichever is lesser, may be paid.
- (b) When 10 percent of the original contract amount is earned, 75 percent of the amount bid for mobilization or 7.5 percent of the original contract amount, whichever is lesser, may be paid.
- (c) When 20 percent of the original contract amount is earned, 95 percent of the amount bid for mobilization, or 9.5 percent of the original contract amount, whichever is lesser, may be paid.
- (d) When 50 percent of the original contract amount is earned, 100 percent of the amount bid for mobilization, or 10 percent of the original contract amount, whichever is lesser, may be paid.

Upon completion of all work on the project, payment of any amount bid for mobilization in excess of 10 percent of the original contract amount will be paid.

TECHNICAL SPECIFICATIONS

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

THE FOLLOWING TECHNICAL SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE “STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK)” UNLESS OTHERWISE NOTED.

PART 2 – CONSTRUCTION MATERIALS

SECTION 200 – ROCK MATERIALS

200-2 UNTREATED BASE MATERIAL

200-2.1 GENERAL

Base material for roadway and driveway paving shall be Crushed Aggregate Base (CAB) or Crushed Miscellaneous Base (CMB).

201-1 PORTLAND CEMENT CONCRETE

201-1.1.2 CONCRETE SPECIFIED BY CLASS

[add the following]

Except for bridge construction, all Portland Cement concrete for construction in the public right of way shall be Class 560-C-3250, Type II or V unless otherwise specified in a referenced standard detail.

SECTION 203 – BITUMINOUS MATERIALS

203-6 ASPHALT CONCRETE

203-6.1 GENERAL

[Add the following]:

Asphalt Concrete for paving shall be PG-64-10. Performance graded (PG) binder shall conform to the requirements set forth in Section 92: Asphalts of the Caltrans State Standard Specifications. Reclaimed asphalt pavement (RAP) shall be permitted in the asphalt concrete mix and shall not to exceed 15%. Payment will be per ton and will include all costs to place and compact the Asphalt Concrete.

203-6.4.3 COMPOSITION AND GRADING

Asphalt concrete shall use the B gradation for the base course and the C2 gradation for the finished roadway and driveway overlay courses. When only one course is used, C2 gradation shall be used.

PART 3 – CONSTRUCTION METHODS

SECTION 300 – EARTHWORK

300-1 CLEARING AND GRUBBING

[Add the following]:

Landscape and irrigation that is disturbed by the construction of the project shall be restored to its original condition. Landscape and irrigation shall be restored consistent with Part 8 of the SSPWC. Payment shall be included in the cost for bid item “Demolition and Removal of Existing Wood Bridge & Prepare for New RCB.” And no additional compensation will be allowed thereafter.

300-1.3.2 – REQUIREMENTS

a) Bituminous Pavements [Replace the second sentence with the following]:

Sawcutting of all edges to be joined will be required.

SECTION 301 – TREATED SOIL, SUBGRADE PREPARATION, AND PLACEMENT OF BASE MATERIALS

301-1.3 RELATIVE COMPACTION

[Replace the second sentence with the following]:

When base or subbase material are to be placed on subgrade material, the top six (6) inches of such subgrade material shall be compacted to a relative compaction of 95 percent. When curb, gutter, alley pavement, driveways, or sidewalks are to be placed on subgrade material, the top six (6) inches of such subgrade material shall be compacted to a relative compaction of 90 percent.

SECTION 302 – ROADWAY SURFACING

302-1 COLD MILLING ASPHALT CONCRETE PAVEMENT AND SAWCUTTING

[Add the following sections]:

302-1.1 GENERAL

The Contractor shall locate and protect any and all existing, abandoned or undocumented utility facilities, valve covers, manhole covers and frames that may affect cold mill

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SCOPE OF WORK

SOW-2

6/13/2025

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operations. The Contractor shall take all necessary precautions to prevent damage to the above mentioned facilities and/or to the cold milling equipment that may result from said facilities. No additional compensation will be considered.

Milled widths of pavement shall be continuous except for intersections at cross streets where the milling shall be carried around the corners and through the conform lines. Following milling operations, a drop-off of more than 1" will not be allowed between adjacent lanes open to public traffic. Temporary ramps may be installed as described above in areas where this criterion cannot be maintained.

302-1.12 PAYMENT

[Replace with the following]:

Full compensation for grinding existing pavement shall be considered as included in the contract price for bid item "Demolition and Removal of Existing Wood Bridge & Prepare for New RCB" including all equipment, labor, disposal of millings and pavement fabric, construction and removal of pavement transitions, any and all incidental and necessary work, and no additional payments will be made thereafter. The equipment shall have the ability to process, grind and remove any existing pavement fabric.

302-5 ASPHALT CONCRETE PAVEMENT

[Add the following]:

Asphalt concrete materials shall conform to Section 203-6 of the Standard Specifications. Construction shall be in accordance with Section 302-5 of the Standard Specifications. The weight of asphaltic concrete used on this project will be determined as the weight as shown on the weight tickets for asphaltic concrete. Legible certified weight tickets (tons) of asphalt concrete shall be submitted to the City's inspector on the job site as the material is delivered and signed, so as to certify delivery and acceptance. Any material, for which weight tickets are not submitted as the material is delivered, will not be accepted.

All paving machines, rollers, automatic screed, laser ski, and control equipment including size, number and type, are subject to the approval of the Engineer and City inspector. A laser ski shall be utilized without exception, unless directed otherwise by City Engineer.

After the final course and/or overlay is completed and before the road surface is open to traffic, the Contractor shall place temporary striping tabs (tab spacing shall not exceed 50') delineating centerline and lane temporary reflective traffic tape arrows placed at beginning of pocket, and cross walk and limit line delineation shall be min. 12" temporary reflective traffic tape. The cost of temporary striping will be considered as included in the contract unit price for "Asphalt Concrete Pavement".

302-5.2.2 REMOVAL AND DISPOSAL OF MATERIAL

During the milling operation, the Contractor shall sweep the street with mechanical equipment and remove all loosened material from the Project site until completion of the removal work. The removal crew shall follow within fifty (50) feet of the milling machine unless otherwise directed by the Engineer or City inspector. The Contractor shall take all necessary measures to avoid dispersion of dust. All material removed shall be considered property of the Contractor and shall be disposed of by the Contractor at his expense.

302-5.5 DISTRIBUTION AND SPREADING

[Add the following]:

In addition to the requirements in Section 302-5.5, “Distribution and Spreading”, of the Standard Specifications, asphalt paving equipment shall be equipped with automatic screed controls and a sensing device or devices.

When placing asphalt concrete, the automatic controls shall control the longitudinal grade and transverse slope of the screed. A laser ski shall be utilized without exception, unless directed otherwise by City Engineer. Grade and slope references shall be furnished, installed, and maintained by the Contractor.

Should the methods and equipment furnished by the Contractor fail to produce a layer of asphalt concrete conforming to the requirements, including straight hedge tolerance, of Section 302-5.6.2, “Density and Smoothness”, of the Standard Specifications, the paving operations shall be discontinued and the Contractor shall modify his equipment or furnish substitute equipment.

Should the automatic screed controls fail to operate properly during any day’s work, the Contractor may use manual control of the spreading equipment for the remainder of the day; however, the equipment shall be corrected or replaced with alternative automatically controlled equipment conforming to the requirements in this section before starting another day’s work. Pavement surface that is not within tolerance will be subject to profile corrections.

A material transfer vehicle shall be utilized during the distribution and spreading of the asphalt concrete pavement pursuant to Caltrans Section 39-2.01C(2)(b) Material Transfer Vehicle. Payment for use of the material transfer vehicle shall be included in the Contract unit price per ton of AC Pavement.

SECTION 303 – CONCRETE AND MASONRY CONSTRUCTION

303-1 CONCRETE STRUCTURES

303-1.11 PAYMENT

[Add the following]:

Payment for bid item “Std Dwg D84 Headwalls per Detail on Sheet 2” shall be paid for on an each unit price and shall include all equipment, labor, material, concrete, steel, rebar, ties, forms, necessary grading, subgrade preparation, compaction, any and all incidental and necessary work, and no additional payments will be made thereafter. One headwall includes both wings on one side of the CIPRCB.

303-5 CONCRETE CURBS, CURB AND GUTTERS AND SIDEWALKS

303-5.1 REQUIREMENTS

303-5.1.1 GENERAL

[Add the following]:

Curbs, curb and gutters and sidewalks shall be constructed to the dimensions as specified in the each of the respective City’s Standard Drawings, but application details and other specifications not explicitly shown or stated in the City’s Standard Drawings, shall conform to Section 303-5 of the Standard Specifications.

306-11 CAST-IN-PLACE REINFORCED CONCRETE BOX (CIPRCB).

[Add the aforementioned section from the 2024 Edition Greenbook]:

306-11.1 GENERAL

[Add the following]:

PAYMENT:

Full compensation for installing the cast-in-place reinforced concrete box per specified size shall be paid per Linear Foot for bid item “Install 14’W x 7’H Cast-in-Place Reinforced Concrete Box per Caltrans D80” and shall include all equipment, labor, material, concrete, steel, rebar, dowels, ties, forms, necessary grading, subgrade preparation, aggregate base, compaction, any and all incidental and necessary work, and no additional payments will be made thereafter. The CIPRCB shall include the specified cutoff walls, concrete barrier wall, and included tubular handrail.

Full compensation for installing the CIPRCB parapet walls shall be paid per Linear Foot for bid item “Parapet Walls per Detail on Sheet 1” and shall include all equipment, labor, material, concrete, steel, rebar, dowels, ties, forms, necessary grading, subgrade preparation, aggregate base, compaction, any and all incidental and necessary work, and no additional payments will be made thereafter.

Full compensation for installing the CIPRCB cutoff walls shall be paid per Linear Foot for bid item “Cutoff Wall under RCB Assume 1’ Thk w/ #4 @18” OC” and shall include all equipment, labor, material, concrete, steel, rebar, dowels, ties, forms, necessary grading, subgrade preparation, aggregate base, compaction, any and all incidental and necessary work,

and no additional payments will be made thereafter.

Full compensation for installing the CIPRCB concrete barriers shall be paid per Linear Foot for bid item “Concrete Barrier Type 836 per Caltrans B11-80 Modified to 26” Tall” and shall include all equipment, labor, material, concrete, steel, rebar, dowels, ties, forms, necessary grading, subgrade preparation, aggregate base, compaction, any and all incidental and necessary work, and no additional payments will be made thereafter.

Full compensation for installing the CIPRCB tubular handrailings shall be paid per Linear Foot for bid item “Tubular Handrailings per Caltrans Std Plan B11-51” and shall include all equipment, labor, material, concrete, steel, rebar, dowels, ties, forms, necessary grading, subgrade preparation, aggregate base, compaction, any and all incidental and necessary work, and no additional payments will be made thereafter.

Wingwalls shall be in compliance with Section 303-1 Concrete Structures.

SECTION 314 – TRAFFIC STRIPING, CURB AND PAVEMENT MARKINGS, AND PAVEMENT MARKERS

Traffic Striping, Pavement Markings and Markers, and Curb Markings shall be installed at the locations shown on the Plans or where directed by Engineer, and shall conform to the provisions in Section 84: “Traffic Stripes and Pavement Markings” and Section 85: “Pavement Markers” of the State Standard Specifications and latest Amendments unless modified herein.

314-2 REMOVAL OF TRAFFIC STRIPING, MARKERS AND PAVEMENT MARKINGS

[Add the following]:

Traffic stripes and pavement markings to be removed will be designated by Engineer and shall be removed by sand-blast methods for painted surfaces, and polish grinder methods for thermoplastic coated surfaces. Image shadowing shall be minimized by performing removals in a rectangular block area. When removing pavement markings, the removal process shall be applied to a rectangular area around and covering the pavement marking, such that the resulting pavement does not exhibit a “shadowed” pavement marking. If, in the opinion of the City Inspector or Engineer, the removal process does not completely erase any sign of the pavement marking, the City Inspector or Engineer may require that the rectangular area be seal coated.

Full compensation for removal of traffic stripes, markers and pavement markings, including any necessary seal coating, shall be considered in the various contract bid item prices for Striping and no additional compensation will be allowed therefor.

314-4 APPLICATION OF TRAFFIC STRIPING AND CURB AND PAVEMENT MARKINGS

314-4.2 CONTROL OF ALIGNMENT AND LAYOUT

[Add the following]:

The Contractor shall furnish the necessary control points for all markings, and shall be responsible for the completeness and accuracy thereof to the satisfaction of the Engineer.

Spotting shall be completed prior to the removal of any existing markings.

Traffic stripes and pavement markings to be removed will be designated by Engineer and shall be removed by sand-blast method for painted surfaces, and surface abrasion methods for thermoplastic coated surfaces. Image shadowing shall be minimized by performing removals in a rectangular block area.

When more than 1-coat of paint is to be applied, the 2nd coat shall be applied at least 7 calendar days after the 1st coat.

Full compensation for removal of traffic stripes, markers and pavement markings, including any necessary seal coating, shall be considered in the contract unit price for "Remove Striping and RPM's" and "Remove Type IV Pavement Arrows" and no additional compensation will be allowed therefor.

314-4.3 PAINTED TRAFFIC STRIPING AND PAVEMENT MARKINGS

314-4.3.1 GENERAL

[Add the following]:

Painted traffic stripes (traffic lines) shall be applied in conformance with the provisions in Section 84, "Traffic Stripes and Pavement Markings," of the State Standard Specifications and these special provisions.

Traffic stripe paint shall conform to the requirements in State Specification No. PTWB-01.

Traffic stripe paint shall be full width for both coats.

The color of the painted traffic stripes shall conform to the requirements in ASTM Designation: D 6628-01.

Retroreflectivity of the painted traffic stripes shall conform to the requirements in ASTM Designation: D 6359-99. White painted traffic stripes and pavement markings shall have a minimum initial retroreflectivity of 250 mcd m-2 lx-1. Yellow painted traffic stripes and shall have a minimum initial retroreflectivity of 150 mcd m-2 lx-1.

314-4.3.2 PAYMENT

[Add the following]:

Full compensation for furnishing paint shall be considered as included in the Contract prices paid for Pavement Striping (all detail numbers), and no additional compensation will be allowed therefor.

PART 6 - TEMPORARY TRAFFIC CONTROL

SECTION 600 - ACCESS

[Add the following]:

At no point in time shall the Contractor block access to the residential home owners along Hayes Ave.

600-2 VEHICULAR ACCESS

[Add the following paragraphs]:

The Contractor shall provide for the safety of traffic and the public in accordance with the provisions in Section 7-1.09, "Public Safety," of the State Standard Specifications and these special provisions.

The subject project location along Hayes Ave. is currently closed to vehicular access and will remain closed for the duration of construction. The Contractor will be responsible for maintaining restricted access from the project site for all vehicles, pedestrians, and bicyclist for the duration of the project.

The Contractor's work force shall not park their vehicles or stage their equipment in a way which blocks access to a residential home.

600-3 PEDESTRIAN ACCESS

[Add the following]:

The subject project location along Hayes Ave. is currently closed to vehicular access and will remain closed for the duration of construction. The Contractor will be responsible for maintaining restricted access from the project site for all vehicles, pedestrians, and bicyclist for the duration of the project.

Bicyclist and pedestrian access shall be in accordance with the Manual on Uniform Traffic Control (MUTCD), 2014 edition and Work Area Traffic Control Handbook (WATCH), 2018 edition.

Attention is directed to Section 6G.05, "Work Affecting Pedestrian and Bicycle Facilities," Section 6D.01, "Pedestrian Considerations," and Section 6D.101(CA), "Bicycle Considerations" of the MUTCD.

Bicyclists and pedestrians should not be exposed to unprotected excavations, open utility access, overhanging equipment, or other such conditions.

Payment for conforming to these provisions shall be considered as included in the contract lump sum price paid for "Traffic Control based on WATCH manual and assuming existing road closure.". Payment shall include full compensation for all labor, materials, and equipment necessary to prepare plans, install, maintain, store, and relocate pavement, traffic control devices, and construction signing during the construction period, for all pedestrian and bicycle traffic. Payment will be made on a basis of the percentage of work completed on the entire project.

SECTION 601 – WORK AREA TRAFFIC CONTROL

601-1 GENERAL

[Add the following]:

Attention is directed to Section 12, "Temporary Traffic Control," of the State Standard Specifications and to these Special Provisions.

The Contractor shall install temporary railing (Type K) as necessary for construction, or between any lanes carrying public traffic and any excavation, obstacle or storage area when the following conditions exist:

(1) Excavation -- Any excavation, the near edge of which is 12 feet or less from the edge of the lane, except:

- (a) Excavation covered with sheet steel or concrete covers of adequate thickness to prevent accidental entry by traffic or the public.
- (b) Excavations less than one foot deep.
- (c) Trenches less than one foot wide for irrigation pipe or electrical conduit, or excavations less than one foot in diameter.
- (d) Excavations parallel to the lane for the purpose of pavement widening or reconstruction.
- (e) Excavations in side slopes, where the slope is steeper than 4:1 (horizontal:vertical).
- (f) Excavations protected by existing barrier or railing.

(2) Temporarily Unprotected Permanent Obstacles -- Whenever the work includes the installation of a fixed obstacle together with a protective system, such as a sign structure together with protective railing, and the Contractor elects to install the obstacle prior to installing the protective system; or whenever the Contractor, for his convenience and with permission of the Engineer, removes a portion of an existing protective railing at an obstacle and does not replace such railing complete in place during the same day.

(3) Storage Areas -- Whenever material or equipment is stored within 12 feet of the lane and such storage is not otherwise prohibited by the specifications.

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SCOPE OF WORK

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The approach end of temporary railing (Type K), installed in accordance with the requirements in this section “Work Area Traffic Control” and in Section 7-1.09, “Public Safety,” of the State Standard Specifications shall be offset a minimum of 15 feet from the edge of the traffic lane open to public traffic. The temporary railing shall be installed on a skew toward the edge of the traffic lane of not more than one foot transversely to 10 feet longitudinally with respect to the edge of the traffic lane. If the 15-foot minimum offset cannot be achieved, the temporary railing shall be installed on the 10 to 1 skew to obtain the maximum available offset between the approach end of the railing and the edge of the traffic lane, and an array of temporary crash cushion modules shall be installed at the approach end of the temporary railing.

Temporary railing (Type K) shall conform to the provisions in Section 12-3.08, “Type K Temporary Railing” of the State Standard Specifications, except temporary railing (Type K) fabricated prior to January 1, 1993, with one longitudinal No. 5 reinforcing steel bar near the top in lieu of the 2 longitudinal No. 5 reinforcing steel bars near the top, as shown on the plans, may be used.

Temporary crash cushion modules shall conform to the provisions in “Temporary Crash Cushion Module” elsewhere in these special provisions.

Except for installing, maintaining and removing traffic control devices, whenever work is performed or equipment is operated in the following work areas the Contractor shall close the adjacent traffic lane unless otherwise provided in the plans and specifications:

Approach speed of public traffic (Posted Limit) (Miles per Hour)	Work Areas
Over 45	Within 6 feet of a traffic lane but not on a traffic lane.
35 to 45	Within 3 feet of a traffic lane but not on a traffic lane.

The lane closure provisions of this section shall not apply if the work area is protected by permanent or temporary railing or barrier.

When traffic cone or delineators are used to delineate a temporary edge of traffic lane, the line of cones or delineators shall be considered to be the edge of traffic lane, however, the Contractor shall not reduce the width of an existing lane to less than 11 feet without written approval from the Engineer.

When work is not in progress on a trench or other excavation that required closure of an adjacent lane, the traffic cones or portable delineators used for the lane closure shall be placed off of and adjacent to the edge of the traveled way. The spacing of the cones or delineators shall be not more than the spacing used for the lane closure.

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Suspended loads or equipment shall not be moved nor positioned over public traffic or pedestrians.

When entering or leaving roadways carrying public traffic, Contractor's equipment, whether empty or loaded, shall in all cases yield to public traffic.

Maintaining traffic shall conform to the provisions in 5-1.37B , "Load Limits"; 7-1.02K(6), "Occupational Safety and Health Standards"; 7-1.03, "Public Convenience"; 7-1.04, "Public Safety"; and Section 12-3.04, "Portable Delineators," of the State Standard Specifications, and these Special Provisions.

All existing traffic control signs and street name signs shall be maintained in visible locations as directed by the Engineer or City Inspector.

The contractor shall conduct his operation in such a manner that traffic will be able to pass through the work and access existing businesses with as little delay as possible.

Contractor shall erect changeable message signs (CMS) in accordance with MUTCD requirements a minimum of five (5) calendar days prior to the start of construction, notifying the general public of the upcoming construction event. The CMS shall indicate start and completion dates (the expected duration of the construction). Contractor to coordinate with the Engineer and City Inspector(s) for the desired language to be displayed on the CMS. After the five (5) day notification period, Contractor may elect to remove the CMS's. Should the Contractor elect to maintain the CMS's beyond the required five (5) day period, no additional compensation will be allowed. All costs shall be included in the unit price bid for "Changeable Message Signs", and no additional compensation will be made therefore. Payment shall include full compensation for all labor, materials, coordination, and equipment to deliver, install, maintain, store, and relocate the CMS as required.

All warning lights, signs, flares, barricades, and other facilities for the sole convenience and direction of public traffic shall be furnished and maintained by Contractor.

All signs shall conform to and be placed in accordance with the current Manual on Uniform Traffic Control Devices (MUTCD) and associated California Supplements as issued by Caltrans. Traffic control devices shall be new or like-new condition. Traffic control devices that are bent, faded, illegible or otherwise damaged as determined by the City Inspector shall be promptly replaced. All construction signs shall be either covered or removed when not required by the nature of the work, or if no present hazard to the motorists exists.

No payment for extra work will be allowed for work performed as specified in Section 12-1.03, "Flagging Costs," of the State Standard Specifications.

Personal vehicles of Contractor's employees may not be parked on the shoulders of any section closed to public traffic. Whenever vehicles or equipment are parked on the shoulder

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SCOPE OF WORK

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within six (6) feet of a traffic lane, the shoulder area shall be closed. Contractor shall cooperate with local authorities relative to handling traffic through the area and shall make his own arrangements relative to keeping the working area clear of parked vehicles.

The Contractor shall notify local authorities of the Contractor's intent to begin work or rerouting of traffic at least ten (10) calendar days before work is begun.

In the event the City Inspector determines that the Contractor is not complying with the requirements of the MUTCD and/or the Work Area Traffic Control Handbook (WATCH), the Contractor will be required to cease work and provide a Traffic Control Plan prepared, signed, and stamped by a Civil Engineer to accommodate each phase of traffic control. The Civil Engineer preparing the Traffic Control Plans shall be a Professional Engineer registered with the State of California. The Contractor shall submit Traffic Control Plans to the City and allow two (2) working days for City review and approval. Once approved, Contractor may start work again.

Contractor shall adhere to the requirements set forth in the Work Area Traffic Control Handbook (WATCH), 2018 edition except as otherwise provided for in these specifications.

If any component in the traffic control system is displaced, or ceases to operate or function as specified, from any cause, during the progress of the work, Contractor shall immediately repair said component to its original condition or replace said component and shall restore the component to its original location.

Minor deviations from the requirements of this section which do not significantly change the cost of the work may be permitted upon the written request of the Contractor if in the opinion of the Engineer, public traffic will be better served and the work expedited. These deviations shall not be adopted by the Contractor until the Engineer has approved them in writing. All other modifications will be made by contract change order.

Payment for conforming to these provisions shall be considered as included in the contract lump sum price paid for "Traffic Control based on WATCH manual and assuming existing road closure". Payment shall include full compensation for all labor, materials, and equipment necessary to prepare plans, install, maintain, store, and relocate pavement, traffic control devices, and construction signing during the construction period.

APPENDIX B

QUOTE

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

BID SHEET

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

BID ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT	UNIT PRICE	TOTAL ITEM PRICE
1	Mobilization	1	LS	\$5,300.00	\$5,300.00
2	Bond Costs for Project	1	LS	\$7,330.00	\$7,330.00
3	Pothole Existing Utilities Prior to Demo of Existing Bridge	1	LS	\$8,205.00	\$8,205.00
4	Develop Construction Water	1	LS	\$5,220.00	\$5,220.00
5	Demolition & Removal Existing Wood Bridge & Prepare for New RCB	1	LS	\$21,940.00	\$21,940.00
6	Install 14'W x 7'H Cast-in-Place Reinforced Concrete Box per Caltrans D80	27.5	LF	\$4,860.00	\$133,650.00
7	Std Dwg D84 Headwalls per Detail on Sheet 2	2	EA	\$50,625.00	\$101,250.00
8	Parapet Walls per Detail on Sheet 1	32	LF	\$987.00	\$31,584.00
9	Cutoff Wall under RCB Assume 1' Thk w/#4 @18" OC	32	LF	\$308.00	\$9,856.00
10	Concrete Barrier Type 836 per Caltrans B11-80 Modified to 26" Tall	32	LF	\$1,045.00	\$33,440.00
11	Tubular Handrailings per Caltrans Std Plan B11-51	30	LF	\$506.00	\$15,180.00
12	Std Dwg A77L1 Midwest Guardrail Section	132	LF	\$284.00	\$37,488.00
13	Std Dwg 446 A Rip Rap Pad per City of Murrieta	374	TON	\$243.00	\$90,882.00
14	Construct Full Depth Pavement Section per Detail on Sheet 2	1450	SF	\$23.50	\$34,075.00
15	2" Mill & Overlay per Details on Plans	3014	SF	\$8.00	\$24,112.00
16	Re-stripe Center Line per Plans	1	LS	\$3,820.00	\$3,820.00
17	Traffic Control - Excludes Engineered Traffic Control Plan. Based off existing road closure for entire duration. Only providing flaggers for access to existing home owners.	1	LS	\$4,470.00	\$4,470.00
Total Base Bid:				567,802.00	
Total Base Bid in Words:		Five Hundred Sixty Seven Thousand Eight Hundred Two Dollars			

The unit price or lump sum prices to be paid for the items listed in the Proposal Bid Sheet shall include full compensation for furnishing all labor, materials, tools, and equipment, and doing all work involved in furnishing and installing the materials complete and in place, in accordance with the details as shown on the plans and as specified herein. Any items shown on the plans, but not included in the bid items, shall be considered as appurtenant items. All costs shall be included within the appropriate item of the Contractor's bid.

APPENDIX C

CONTRACTOR'S AFFIDAVIT AND FINAL RELEASE

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

CONTRACTOR'S AFFIDAVIT AND FINAL RELEASE

This is to certify that

FILL IN CONTRACTOR'S NAME

(hereinafter the "undersigned") declares to the City of Murrieta, hereinafter referred to as "City," under oath, that it has paid in full for all materials, supplies, labor, services, tools, equipment, and all other bills contracted for by the undersigned or by any of the undersigned's agents, employees, or subcontractors used or in contribution to the execution of its contract with City with regard to the building, erection, construction, or repair of that certain work of improvement known as **CITY PROJECT NO. 25-490 (CIP No. 11004**, situated in the City of Murrieta, State of California, more particularly described as follows:

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

The undersigned declares that it knows of no unpaid debts or claims arising out of said Contract that would constitute grounds for any third party to claim a stop notice of any unpaid sums owing to the undersigned.

Further, for valuable consideration, the receipt of which is hereby acknowledged, the undersigned does hereby fully release and acquit City and all agents and employees of City, and each of them, from any and all claims, debts, demands, or causes of action that exist or might exist in favor of the undersigned by reason of the Contract executed between the undersigned and City or that relate in any way to the work performed by the undersigned with regard to the above-referenced construction project.

Further, the undersigned expressly acknowledges its awareness of, and waives the benefits of, Section 1542 of the Civil Code of the State of California which provides: "A general release does not extend to claims that the creditor does not know or suspect to exist in his or her favor at the time of executing the release, which if known by him or her must have materially affected his or her settlement with the debtor."

This release is intended to be a full and general release of any and all claims that the undersigned now has or may, in the future, have against City and/or its agents and employees with regard to any matter arising from the construction of the above-referenced project or the Contract between City and the undersigned with respect thereto, whether such claims are now known or unknown or are suspected or unsuspected.

CONTRACTOR

Dated: _____

By: _____

Signature

Print Name and Title

APPENDIX D

BONDS

BOND NO. _____

LABOR AND MATERIALS BOND

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

KNOW ALL PERSONS BY THESE PRESENTS:

THAT, WHEREAS, the City of Murrieta has awarded to

CONTRACTOR

CONTRACTOR'S ADDRESS,

hereinafter called "Contractor," a contract for the work described as follows:

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

hereinafter called "Contract," and

WHEREAS, said Contractor is required by the provisions of Sections 3247-3252 of the Civil Code to furnish a bond in connection with said Contract, as hereinafter set forth.

NOW, THEREFORE, WE, the undersigned Contractor, as Principal, and

FILL IN NAME AND ADDRESS OF SURETY

duly authorized to transact business under the laws of the State of California, as Surety, hereinafter called "Surety," are held and firmly bound unto the City of Murrieta, California, and all contractors, subcontractors, laborers, materialmen, and other persons employed in the performance of the aforesaid Contract and referred to in Title 15 of the Civil Code, in the penal sum of _____ **dollars** and _____ **cents** (\$ _____), lawful money of the United States, said sum being not less than one hundred percent (100%) of the estimated amount payable by the said City of Murrieta under the terms of the Contract, for the payment of which, we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION is such that, if said Contractor, his/her or its heirs, executors, administrators, successors, and assigns, or subcontractors, shall fail to pay for any materials, provisions, provender, or other supplies, or teams, implements, or machinery used in, upon, for, or about the performance of the work under the Contract to be done, or for any work or labor thereon of any kind or for amounts due under the Unemployment Insurance Code with

respect to such work or labor, as required by the provisions of Chapter 7 of Title 5 of Part 4 of Division 3 of the Civil Code, and provided that the claimant shall have complied with the provisions of said Civil Code, Surety shall pay for the same in an amount not exceeding the sum specified in this bond, otherwise the above obligation shall be void. In case suit is brought upon this bond, Surety will pay costs and reasonable expenses and fees, including reasonable attorney's fees to be fixed by the Court.

This bond shall inure to the benefit of any and all persons, companies, and corporations entitled to file claims under Section 3181 of the Civil Code, so as to give a right of action to them or their assigns in any suit brought upon this bond, and shall also cover payment for any amounts required to be deducted, withheld, and paid over to the Employment Development Department from the wages of employees of Contractor or his/her or its subcontractors pursuant to Section 13020 of the Unemployment Insurance Code.

Surety hereby stipulates and agrees that no change, extension of time, alteration, or addition to the terms of the Contract, or to the work to be performed thereunder, or to the specifications accompanying the same, shall in any way affect its obligations on this bond. Surety hereby waives notice of any such change, extension of time, alteration, or addition to the terms of the Contract, or to the work to be performed thereunder, or to the specifications accompanying the same.

IN WITNESS WHEREOF, this instrument has been duly executed by the Principal and Surety above named, on _____, 20__.

(Seal)

SURETY

By: _____

(Name)

(Title)

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

CONTRACTOR

By: _____

(Name)

(Title)

By: _____

(Name)

(Title)

BOND NO. _____

PERFORMANCE BOND

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

THAT, WHEREAS, the City of Murrieta, State of California, entered into a contract dated _____, 20____, hereinafter called "Contract," with

CONTRACTOR

CONTRACTOR'S ADDRESS

hereinafter called "Principal," for the work described as follows:

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

CITY PROJECT NO. 25-490

CIP NO. 11004

WHEREAS, the said Principal is required under the terms of said Contract to furnish a bond for the faithful performance of said Contract.

NOW, THEREFORE, WE, the Principal, and

_____,
FILL IN NAME AND ADDRESS OF SURETY

duly authorized to transact business under the laws of the State of California, as Surety, hereinafter called "Surety," are held and firmly bound unto the City of Murrieta in the penal sum of _____ **dollars and** _____ **cents** (\$_____), lawful money of the United States, for the payment of which sum we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION is such that, if Principal, his/her or its heirs, executors, administrators, successors or assigns shall in all things stand to, abide by, and well and truly keep and perform the covenants, conditions, and agreements in the said Contract, and in any alteration thereof made as therein provided, on his/her or its part to be kept and performed, at the time and in the manner therein specified, in all respects according to their true intent and meaning, and shall indemnify and save harmless the City of Murrieta, its officers and agents, as therein stipulated, then this obligation shall become null and void; otherwise it shall be and remain in full force and virtue.

As a part of the obligation secured hereby and in addition to the face amount specified, costs and reasonable expenses and fees shall be included, including reasonable attorneys' fees incurred by the City of Murrieta in successfully enforcing this obligation, all to be taxed as costs and included in any judgment rendered.

Surety hereby stipulates and agrees that no change, extension of time, alteration or addition to the Contract, or to the work to be performed thereunder, or to the specifications accompanying the same, shall in any way affect its obligations on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract, or to the work, or to the Specifications.

IN WITNESS WHEREOF, this instrument has been duly executed by Principal and Surety above named, on _____, 20__.

(Seal)

SURETY

By: _____

(Name)

(Title)

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

PRINCIPAL

By: _____

(Name)

(Title)

By: _____

(Name)

(Title)

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

MAINTENANCE BOND

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

**CITY PROJECT NO. 25-490
CIP NO. 11004**

KNOW ALL PERSONS BY THESE PRESENTS THAT:

a _____, hereinafter called "Principal," and
(fill in whether a Corporation, Partnership, or Individual)

FILL IN NAME AND ADDRESS OF SURETY

hereinafter called "Surety," are held and firmly bound unto the City of Murrieta, a municipal corporation, hereinafter called "City," in the penal sum of _____
_____ **dollars and** _____ **cents**
(\$ _____) in lawful money of the United States, for the payment of which sum well and truly to be made, we bind ourselves, successors, and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION is such that whereas Principal entered into a certain Contract with City, dated the _____ day of _____, 20____, a copy of which is hereto attached and made a part hereof for the construction of:

HAYES AVE. AT MILLER CANYON CREEK BRIDGE REPLACEMENT

**CITY PROJECT NO. 25-490
CIP NO. 11004**

WHEREAS, said Contract provides that Principal will furnish a bond conditioned to guarantee for the period of one (1) year after approval of the final payment on said job, by the City, against all defects in workmanship and materials that may become apparent during said period; and

WHEREAS, the said Contract has been completed, and was approved on _____, 20__.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if within one (1) year from the date of approval of the said Contract, the work done under the terms of said Contract shall disclose poor workmanship in the execution of said work, and the carrying out of the terms of

CITY OF MURRIETA, DEPARTMENT OF PUBLIC WORKS

said Contract, or it shall appear that defective materials were furnished thereunder, then this obligation shall remain in full force and virtue, otherwise this instrument shall be void.

Signed and sealed this _____ day of _____, 20____.

(Seal)

SURETY

By: _____

(Name)

(Title)

APPROVED AS TO FORM:

Tiffany Israel, City Attorney

PRINCIPAL

By: _____

(Name)

(Title)

By: _____

(Name)

(Title)

ATTACHMENT E
GEOTECHNICAL REPORT



FOUNDATION REPORT

HAYES AVENUE
BRIDGE EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

MAY 29, 2025
PROJECT NO. T2647-22-19

PREPARED FOR:
City of Murrieta
Murrieta, California



Project No. T2647-22-19
May 29, 2025

City of Murrieta
1 Town Square
Murrieta, California 92562

Attention: Mr. Jeff Hitch

Subject: FOUNDATION REPORT
HAYES AVENUE BRIDGE EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

Mr. Hitch:


In accordance with Purchase Order P04764 (dated April 4, 2025), Geocon West, Inc. (Geocon) herein submits our Foundation Report (FR) for the proposed Hayes Avenue emergency replacement project at Miller Canyon Creek, in the City of Murrieta, California. A proposed box culvert will replace the existing bridge at Miller Canyon Creek.

The accompanying FR presents our evaluation of the geotechnical and geological conditions at the proposed box culvert location, and provides foundation and geotechnical recommendations for design and construction of the project.

Please contact us if you have any questions regarding this FR or if we may be of further service.

Sincerely,

GEOCON WEST, INC.


Andrew T. Shoashekan
PE 93940




Lisa A. Battiato
CEG 2316




Ronald E. Loutzenheiser
GE 2865



ATS:LAB:REL:hd

Distribution: Addressee (email)

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FOUNDATION REPORT

1. INTRODUCTION

This Foundation Report (FR) was prepared for the proposed Caltrans *2024 Standard Plan* cast-in-place reinforced concrete single box culvert that will replace the Hayes Avenue bridge that crosses Miller Canyon Creek, between Ivy Street and Juniper Street, in the City of Murrieta, California. The approximate project location is shown on the *Vicinity Map* (see Figure 1).

Our geotechnical investigation included drilling of two hollow-stem auger borings, laboratory testing, and preparing this FR. Appendix A presents a discussion of the field investigation and logs of the borings. The approximate locations of the exploratory excavations are presented on the *Boring Location Map* (Figure 2). We performed laboratory tests on soil samples obtained from the exploratory drilling to evaluate pertinent physical and chemical properties for engineering analysis. The results of the laboratory testing are presented in Appendix B.

The recommendations presented herein are based on analysis of the data obtained during the investigation and our experience with similar soil and geologic conditions. References reviewed to prepare this report are provided in the *List of References* section.

2. SCOPE OF SERVICES

To prepare this FR, we performed the following scope of services:

- Marking proposed boring locations and notifying Underground Service Alert (USA) to locate and mark utilities in the proposed investigation area.
- Obtaining a City of Murrieta encroachment permit.
- Retaining the services of a California C57-licensed drilling subcontractor to perform exploratory borings.
- Drilling two (2) geotechnical borings to observe subsurface geologic conditions and collect soil samples. The borings were drilled using a truck-mounted drill-rig equipped with hollow-stem augers to a maximum depth of approximately 61½ feet. The borings were logged in general conformance with Caltrans guidelines. Borings were backfilled with soil cuttings upon completion and capped with asphalt concrete cold-patch.
- Performing laboratory tests on selected samples to evaluate pertinent geotechnical parameters.
- Performing engineering analyses to develop geotechnical design criteria and evaluate existing site conditions.
- Preparing this FR, which presents our findings, conclusions, and recommendations, as it would pertain to the proposed box culvert.

3. PROJECT DESCRIPTION

Based on information provided by Michael Baker International, we understand that the existing Hayes Avenue bridge at Miller Canyon Creek will be replaced with a Caltrans 2024 Standard Plan D80 cast-in-place reinforced concrete single box culvert. The existing Hayes Avenue bridge consists of a wood and concrete composite bridge with wingwalls. The wood portion of the existing bridge makes up the superstructure, while the concrete portion makes up the abutments and wingwalls. Overlaying the wooden superstructure is an asphalt concrete roadway surface. We expect the existing bridge is supported by a shallow foundation system at the abutments. The existing bridge has exceeded its design life and the wood superstructure has experienced a significant amount of creep, which manifests as significant cracking distress in the asphalt concrete that overlays the wooden superstructure. Construction debris consisting of broken concrete appeared to have been dumped at the upstream side of the bridge. The current elevation at the northwest and southeast abutments is approximately 1,090 feet above mean sea level. The current elevation at the Miller Canyon Creek channel bottom is approximately 1,082 feet above mean sea level on the upstream side and approximately 1,080 feet above mean sea level on the downstream side of the Hayes Avenue bridge. As-built plans of the existing bridge were unavailable for review.

Based on the *Storm Drain Improvement Plan*, prepared by Michael Baker International and dated May 21, 2025, the proposed Caltrans 2024 Standard Plan D80 cast-in-place, reinforced concrete single box culvert that will replace the bridge will be 26 feet long, with a span of 14 feet, and a height of 7 feet. The maximum earth cover in design will be approximately 1½ feet. Cut-off walls with Class III riprap will be constructed at the inlet and outlet of the culvert to control scour. Wingwalls will be constructed at the inlet and outlet of the proposed box culvert. The invert elevation of the culvert will be between 1,080.32 and 1,080.47 feet above mean sea level. Fill slopes of up to 8 feet in height, at slope ratios of 2:1 (horizontal:vertical) or flatter, are proposed adjacent to the wingwalls. We expect cuts and fills of up to 10 feet (exclusive of remedial grading) will be required to install the proposed box culvert.

Project elevations within this report are referenced to the project plans, which uses the National Geodetic Vertical Datum of 1929 (NGVD29).

4. FIELD INVESTIGATION AND LABORATORY TESTING PROGRAMS

Our field investigation was performed on April 10, 2025 and consisted of the drilling of two (2) exploratory borings (B-1 and B-2) to depths of approximately 61½ feet below the ground surface. The approximate exploration locations are shown on the *Boring Location Map*, Figure 2. The following table summarizes the details of our exploratory borings.

TABLE 4
SUMMARY OF BORINGS

Boring ID	Approximate Boring Location		Approx. Boring Depth (feet)	Drilling Equipment
	Latitude (°)	Longitude (°)		
B-1	33.547002	-117.218832	61½	CME-75, 8-inch-diameter hollow stem auger; auto-hammer
B-2	33.546883	-117.218717		

Soil samples were collected within the borings from near the ground surface and at 2½- and 5-foot intervals. Sampling with the truck mounted rig was accomplished using a 140-pound, auto-hammer with a 30-inch drop. Samples were obtained with a 3-inch, outside-diameter (OD), California Modified split-spoon sampler. The California Modified sampler was equipped with 1-inch-long by 2.4-inch-diameter brass rings. Standard Penetration Tests (SPT) were also performed using a 2-inch OD split-spoon sampler. Blow count information is reported on the boring logs of Appendix A.

We performed laboratory testing on samples collected, in general conformance with generally accepted California Test Methods (CTM) and the test methods of ASTM International (ASTM). We analyzed selected soil samples for maximum dry density and optimum moisture content, expansion index, plasticity index, consolidation/collapse, pH/resistivity, sulfates, chlorides, grain size distribution / #200 wash, and direct shear strength. The results of the laboratory tests are presented in Appendix B. The in-situ dry density and moisture content test results of samples tested are presented on the boring logs in Appendix A.

5. SITE GEOLOGY AND SUBSURFACE CONDITIONS

The following geologic and soil conditions are based on our review of the referenced geologic literature and field investigation.

5.1 Regional Geology

The site is located within the Peninsular Ranges Geomorphic Province at the eastern foot of the Santa Ana Mountains. Miller Canyon Creek drains northeastward from the mountains into southeast flowing Murrieta Creek. The Peninsular Ranges are bound by the Transverse Ranges (San Gabriel and San Bernardino Mountains) to the north and the Colorado Desert Geomorphic Province to the east. The Peninsular Ranges extend westward into the Pacific Ocean and southward to the tip of Baja California. Overall, the province is characterized by Cretaceous-age granitic rock and a lesser amount of Mesozoic-age metamorphic rock overlain by terrestrial and marine sediments. Pleistocene-age terrestrial sediments form low hills and alluvial fans near the site. They consist of Pauba Sandstone and Pauba Fanglomerate. Faulting within the province is typically northwest trending and includes the San Andreas, San Jacinto, Elsinore, and Newport-Inglewood faults. The site is located between the Wildomar and Willard branches of the Elsinore fault zone at distances of 0.85 and 0.86 miles, respectively. The Wildomar branch is considered the active branch of the Elsinore fault in the area and the Willard fault is considered inactive near the site.

5.2 Site Geology and Anticipated Soil Conditions

Site geologic materials encountered within our borings consist of undocumented artificial fill (afu) overlying Holocene and late Pleistocene age young alluvial valley deposits (Qyv). The nomenclature of these geologic units follow that of Kennedy, M.P. and Morton, D.M. (2003).

5.3 Undocumented Artificial Fill (afu)

Undocumented artificial fill was encountered to depths of 5 feet below ground surface at the site. The fill consists of silty sand, which is slightly moist, generally brown to olive brown and medium dense to dense. Some fine to coarse gravels were encountered within these materials in Boring B-1.

5.4 Young Alluvial Valley Deposits (Qyv)

Young alluvial valley deposits were observed underlying the undocumented artificial fill in both borings to the maximum depth explored of approximately 61½ feet below the ground surface. We encountered interbedded layers of silty sand and clayey sand, with lesser amounts of silt with sand, clay, poorly graded sand, and poorly graded sand with silt. The alluvial deposits in Boring B-1 varies in shades of brown, olive brown, olive gray, and gray, and is very loose to very dense (for granular soils) or stiff to hard (for fine soils), and slightly moist to saturated (where below the static groundwater level) with

various amounts of gravel, fine sand, and trace clay. The alluvial deposits in Boring B-2 varies in shades of brown to olive brown and olive gray, and is medium dense to very dense (for granular soils) or hard (for fine soils), and moist to saturated (where below the static groundwater level) with medium to coarse sand and trace clay.

5.5 Groundwater

Static groundwater was measured within Boring B-1 at a depth of 19 feet below the ground surface (approximate elevation of 1,071 feet above mean sea level), and within Boring B-2 at a depth of 22 feet below the ground surface (approximate elevation of 1,068 feet above mean sea level).

A review of historic well records provided by the California Department of Water Resources for Riverside County (WDL, 2025) indicates that the highest recorded static groundwater level in vicinity of the subject site is 29 feet below the ground surface (approximate elevation of 1,087 feet above mean sea level), recorded in 1968. This historic record is provided by Well 335484N1172207W001, which is located approximately 770 feet northwest of the subject site.

It is not uncommon for static groundwater levels to vary seasonally or for groundwater seepage conditions to develop where none previously existed (especially within impermeable fine-grained soils which are heavily irrigated or after seasonal rainfall). Groundwater levels encountered during construction may be higher than those encountered during our field investigation. Proper surface drainage of irrigation and precipitation will be critical for future performance of the project. Recommendations for drainage are provided in the *Surface Drainage* section of this report.

We have used a design groundwater elevation of 1,071 feet above mean sea level for our analysis for this project.

6. SCOUR EVALUATION

The site is located where Hayes Avenue crosses Miller Canyon Creek. No scour or hydraulic/hydrologic analysis for the project site has been provided for our review. The design scour evaluation should be that determined in the project hydraulic/hydrologic report. Foundations should be properly protected against the potential scour or extended below the zone affected by scour.

We obtained samples at various depths and performed grain size distribution analysis on the samples to provide information for a scour analysis. The particle size at which 30, 50, and 90 percent is passing (D_{30} , D_{50} , D_{90}) is presented in the following table. Geocon should be contacted for additional parameters if needed.

TABLE 6
SOIL GRAIN SIZE DISTRIBUTION TEST RESULTS

Sample ID (Boring Number & Sample Depth)	D ₉₀ (mm)	D ₅₀ (mm)	D ₃₀ (mm)
B1@5'	6.3	0.99	0.26
B1@10'	5.4	0.8	0.19
B1@15'	0.44	-	-
B1@17.5'	9.6	-	-
B1@25'	7.2	0.57	0.074
B2@2.5'	0.75	0.099	-
B2@7.5'	0.39	0.083	-
B2@12.5'	0.12	-	-
B2@20'	0.14	-	-
B2@25'	0.63	0.28	0.2

7. CORROSION EVALUATION

According to Caltrans *Corrosion Guidelines* (Version 3.2; May 2021), soils are considered corrosive to foundation elements if one or more of the following conditions exist: chloride concentration is 500 parts per million (ppm) or greater, or sulfate concentration is 1,500 ppm or greater, or the potential of hydrogen (pH) is 5.5 or less. Resistivity serves as an indicator parameter for the possible presence of soluble salts and is not included as a parameter to define a corrosive area for structures. A minimum resistivity value for soil and/or water less than 1,500 ohm-centimeters may indicate the presence of high quantities of soluble salts and a higher propensity for corrosion. Laboratory testing was performed on select soil samples and is summarized in the following table.

TABLE 7
SOIL CORROSION TEST SUMMARY

Sample ID (Boring No./ Sample Depth)	pH	Minimum Resistivity (ohm- centimeters)	Chloride Content (ppm)	Sulfate Content (ppm)	Corrosive
B2@10-15'	8.4	1,800	110	0	No

Based on the corrosivity test results, site soils would be classified as “not corrosive” to buried improvements, according to the Caltrans *Corrosion Guidelines*. Proposed improvements in contact with the ground should be designed and constructed in accordance with the Caltrans *Standard Specifications* and generally accepted construction practices. Geocon does not practice in the field of corrosion engineering. If corrosion sensitive improvements are planned, it is recommended that further evaluations by a corrosion engineer be performed to incorporate the necessary precautions to avoid premature corrosion on buried metal pipes and concrete structures in direct contact with the soils.

8. SEISMIC EVALUATION

8.1 Ground Motion Evaluation

The design response spectrum for the Safety Evaluation Earthquake (SEE), as specified in Caltrans *Seismic Design Criteria* (v2.1), is the probabilistic response spectrum representing the horizontal ground motion at the site with a 7% probability of exceedance in 75 years (return period of 975 years). The 2023 United States Geological Survey (USGS) *National Seismic Hazard Model* is used as the basis to determine the design Acceleration Response Spectrum (ARS). The ARS for the site was estimated using Caltrans' *ARS Online* web tool. The following table summarizes the site-specific information used for the analysis and the *ARS Online* results.

TABLE 8.1
GROUND MOTION PARAMETERS

Site Parameters			Design Ground Motion Parameters ¹ (Return Period = 975 Years)			Soil Profile Class ⁵
Approx. Latitude, °	Approx. Longitude, °	Average Estimated Shear Wave Velocity (VS ₃₀) ² , feet/second	Design Peak Ground Acceleration (PGA) ³ , g	Deaggregated Mean Earthquake Moment Magnitude (M)	Mean Site-to-Source Distance (R) ⁴ , miles	
33.546938	-117.218787	761	0.58	6.98	6.4	S2
Notes: 1. Based on Caltrans web tool ARS Online (Version 4.0), accessed May 2025. 2. Estimated time-average shear wave velocity for the upper 100 feet of soil at the site. 3. Where "g" represents the acceleration due to gravity. 4. Mean site-to-source distance for PGA 0-period spectral acceleration. 5. Based on the subsurface soil conditions encountered and Caltrans <i>Seismic Design Criteria</i> Sections 6.1 and 6.2.3						

The subject site is not located within a deep sedimentary basin per Caltrans *ARS Online*. Based on the subsurface materials encountered during our investigation, the site is generally underlain by medium dense to very dense granular soils, with some hard cohesive soils. The shear wave velocity, VS₃₀, is the average of the estimated shear wave velocity profiles of the two borings performed (B-1 and B-2). The recommended design response spectra for the proposed box culvert is presented as Figure 3, *Design Response Spectrum*.

8.2 Fault Rupture

The culvert site does not lie within or adjacent to a State of California Earthquake Fault Zone or a Riverside County Fault Hazard Zone. In addition, the proposed structure is not located on any known "active" earthquake fault trace. The USGS *2008 National Seismic Hazard Maps – Source Parameters* website indicates that the closest active fault is the Elsinore fault zone at over 1 mile away from the site. Therefore, the potential for ground rupture due to onsite active faulting is considered to be low.

8.3 Liquefaction and Lateral Spreading

Liquefaction is a phenomenon in which loose, saturated, relatively cohesionless soil deposits lose shear strength during strong ground motions. Primary factors controlling liquefaction include intensity and duration of ground motion, gradation characteristics of the subsurface soils, in-situ stress conditions, and the depth to groundwater. Liquefaction is typified by a loss of shear strength in the liquefied layers due to rapid increases in pore water pressure generated by earthquake accelerations.

The current standard of practice, as outlined in the “Recommended Procedures for Implementation of DMG Special Publication 117, Guidelines for Analyzing and Mitigating Liquefaction in California” and “Special Publication 117A, Guidelines for Evaluating and Mitigating Seismic Hazards in California” requires liquefaction analysis to a depth of 50 feet below the lowest portion of the proposed structure. Liquefaction typically occurs in areas where the soils below the water table are composed of poorly consolidated, fine- to medium-grained, primarily sandy soil. In addition to the requisite soil conditions, the ground acceleration and duration of the earthquake must also be of a sufficient level to induce liquefaction.

We performed a liquefaction analysis of the soils underlying the site using the 1996 NCEER method of analysis with the updates by Youd et al. (2001). The liquefaction potential evaluation was performed by utilizing a design static groundwater depth of 19 feet, a magnitude 6.98 earthquake, and the peak ground acceleration (PGA_M) of 0.58g. This semi-empirical method is based on a correlation between values of Standard Penetration Test (SPT) resistance.

Based on our analysis, total liquefaction settlement on the order of approximately 2½ inches could manifest at the site, with a differential settlement of approximately 1¼ inches. Furthermore, an evaluation of seismically induced “dry-sand” settlement indicates that settlement associated with this phenomenon is negligible (less than ¼-inch). Our evaluation of seismic settlement is provided on Figures 4 and 5.

Current understanding within the geotechnical engineering profession is that lateral spreading can be expected in liquefiable sites adjacent to slopes such as river channels or large bodies of water. The observed horizontal ground displacement typically decreases with increased distances from the open face. Because of the lack of liquefiable soil near the surface and considering the proposed box culvert system does not have an open embankment face, the potential for lateral spreading of channel slopes is not a design consideration.

8.4 Slope Stability

New embankment fill and backfill is expected to maintain adequate factors of safety of 1.5 or greater under static loading conditions for global and surficial stability, and factors of safety of 1.1 or greater under pseudo-static loading conditions for global stability; however, existing embankment slopes upstream and downstream of the proposed box culvert may be subject to slope instability during a seismic event.

9. SITE GRADING AND EARTHWORK RECOMMENDATIONS

9.1 Cuts and Excavations

Based on the existing site topography and planned box culvert improvement, we expect earthwork to consist of cuts of up to 10 feet (exclusive of remedial grading) in order to construct the proposed improvements. Based on the subsurface conditions encountered during field explorations, excavations at the site can likely be performed using conventional heavy-duty grading and excavation equipment in proper functioning order.

Excavation depths greater than 5 feet will need to be sloped and shored in accordance with Cal/OSHA guidelines. Temporary excavations must conform to Cal/OSHA requirements. It is the contractor's responsibility to provide sufficient and safe support for excavation, as well as nearby utilities, structures and other improvements that could be damaged by earth movements. Temporary excavations should be in compliance with applicable governing agency regulations. The contractor should also execute a monitoring program for structures in proximity to deep excavations so that appropriate modifications to the excavation/shoring system can be implemented to minimize the surface deflection or structure damage in a timely manner, if warranted. The contractor should also provide a temporary dewatering system if excavations extend below the groundwater elevation or where seepage is encountered. The top of the excavation should be a minimum of 10 feet from the edge of existing improvements. Excavations steeper than those recommended or closer than 10 feet from an existing improvement should be shored in accordance with applicable OSHA codes and regulations.

Based on our field explorations and experience in the area, soil generated from onsite and local excavations should be generally suitable for use as embankment fill. However, some screening and selection may be required depending on excavation location and intended use. For example, structure backfill may require the use of primarily granular (sandy) soil rather than silty or clayey soil. In addition, the minimum sand equivalent criterion need not apply for embankment fill. Grading should be performed in conformance with Section 19 of the Caltrans *Standard Specifications*.

9.2 Materials for Fill

Excavated soil generated from cut operations should be generally suitable for use as general fill and backfill in structural areas provided they are examined and selectively placed during grading in accordance with the following recommendations:

- Deleterious material, material with greater than 3% organics, and debris should be exported from the site and not incorporated into structural fill. We anticipate limited quantities of these materials (primarily organics).
- Re-use of existing alluvial materials should follow the recommendations of Section 19-6.03C of the Caltrans *Standard Specifications*.
- Backfill placed for proposed box culvert foundations and behind box culvert walls should consist of “structure backfill” meeting Section 19-3.02C of the Caltrans *Standard Specifications*. In addition to the criteria shown in Section 19-3.02C, structure backfill should have a “very low” to “low” expansion potential (Expansion Index of 50 or less).
 - Laboratory expansion index testing (see Figure B-14) indicates a “low” expansion potential, however, the Expansion Index value is 50, which is the upper limit of the “low” expansion potential category, and therefore, we expect there to be site soils that exceed this Expansion Index value (given the laboratory test and some silty/clayey soil types present at the site). Expansion Index testing should be performed during the course of grading to confirm if soils used as structure backfill maintain the “low” expansion potential category. Where soils exceed an Expansion Index of 50, they should be stockpiled and selectively graded as non-structure backfill or hauled off site.
- Excavated onsite soils exhibiting clayey characteristics should not be used within structural areas, or pavement areas at approaches, without additional testing. For design purposes, it is assumed that the R-value for on-site soils to be used below pavement areas is not less than 30 (this assumed value is based on the soil types encountered near the surface of existing pavement), which the pavement structural section recommendations provided herein are based on; laboratory testing after the preparation of subgrade should confirm this value (a lower R-value may require a more robust pavement structural section).
- Proposed import materials should be sampled, tested, and approved by Geocon prior to its transportation to the site. Import material should be primarily granular with a “very low” to “low” expansion potential (Expansion Index of 50 or less), a maximum Plasticity Index of 12, be free of organic material, and construction debris, and not contain rock larger than 6 inches in greatest dimension. Environmental characteristics and corrosion potential of import soil materials should also be considered. Import materials used within 2 feet of pavement subgrade should have an R-value of 30 or greater and a maximum Plasticity Index of 12.

9.3 Fill Area Preparation and Fill Placement

Fill areas should be cleared and stripped of obstructions, debris, trees, bushes, grass, roots, and topsoil containing organic material. Soils/organics removed by stripping should be transported offsite. Existing drainage and utility lines or other existing subsurface structures that are not to be utilized, if any, should be removed, destroyed or abandoned in compliance with applicable regulations.

In general, loose, soft, or wet surficial soil in the areas planned to receive new improvements or fill materials should be removed to expose competent materials that are relatively dense sandy material, achieving a minimum relative compaction of 85 percent. Removals should be performed to a minimum depth of 3 feet below proposed box culvert foundations, and a minimum depth of 2 feet below subgrade in approach areas. The actual removal depth is dependent upon the depth to competent materials and will be evaluated by the geotechnical consultant in the field during grading operations.

New embankment fill placed on sloping ground and adjacent to existing embankments/slopes should be keyed and benched into firm/dense alluvial soils in accordance with the Caltrans *Standard Specifications*.

Earthwork, grading, and engineered fill placement should be performed in conformance with Section 19 of the Caltrans *Standard Specifications*. Backfill placed below and behind proposed box culvert foundations/walls is to be considered structural backfill. Structural backfill should be compacted to 95 percent of the maximum dry density at 0 to 2 percent above optimum moisture content, as determined by ASTM D1557. Compaction on the project should be based on this test method. Other backfill should be compacted to a minimum of 90 percent relative compaction. Fill should be mechanically compacted. Ponding or jetting of backfill should not be permitted.

Where rock slope protection is used to mitigate erosion and scour, rock slope protection material and construction requirements should conform to Section 72-2 of the Caltrans *Standard Specifications*.

10. FOUNDATION RECOMMENDATIONS

We understand that the proposed bridge replacement will consist of a box culvert structure. Our analysis for this project indicates that due to the alluvial deposition environment, a potentially liquefiable zone of soil exists in the Boring B-1 location at a depth of approximately 20 to 29 feet below existing site grade. The proposed box culvert should be designed such that differential settlement of approximately 1¼ inches may be experienced for this structure during a design-level seismic event.

Per communication by Michael Baker International, we understand that the proposed Caltrans 2024 Standard Plan D80 cast-in-place reinforced concrete box culvert will have a length of 26 feet, span of 14 feet, and a height of 7 feet. Earth cover over the box culvert will consist of approximately 1½ feet of structure backfill. Table 10A summarizes the proposed details.

TABLE 10A
SUMMARY OF PROPOSED BOX CULVERT

Structure No.	Maximum Design Height (feet)	Bottom of Footing Elevation (feet)	Span (feet)	Length (feet)	Service Limit State (ksf)	Strength Limit State (ksf)
D80 Box Culvert	7	~1,079.50	14	26	2.2	3.0

Backfill soil placed below and behind the box culvert’s walls and foundation should be primarily granular in nature and conform to Caltrans requirements for structure backfill in accordance with Section 19-3.02C of the Caltrans *Standard Specifications*.

We analyzed foundation settlement under service loading using immediate “elastic” settlement theory developed by Schmertmann. We checked for bearing capacity shear failure using the bearing capacity equation developed by Munfakh, et al. (2001). Our analyses indicates total settlement of less than 1 inch under service loading conditions and adequate bearing capacity under strength loading conditions.

Based on the subsurface conditions encountered in our investigation and the currently proposed location and design details, we anticipate that after grading operations are complete, the bottom of the proposed box culvert will be located within dense engineered fill. Tables 10B through 10D summarizes the permissible net bearing stress and factored bearing resistances, and Table 10E provides the Spread Footing Data Table for the proposed box culvert.

TABLE 10B
SERVICE LIMIT STATE FOUNDATION DATA

Structure No.	Effective Footing Width (feet)	Calculated Service Limit State Permissible Net Bearing Stress (ksf)	Total Permissible Settlement (inches)
D80 Box Culvert	14	2.41	1

TABLE 10C
STRENGTH LIMIT STATE FOUNDATION DATA

Structure No.	Effective Footing Width (feet)	Calculated Strength Limit State Factored Bearing Resistance (ksf) $\phi_b (q_n)$ $\phi_b = 0.45$
D80 Box Culvert	14	7.26

TABLE 10D
SPREAD FOOTING DATA

Structure No.	Calculated Service Limit State Permissible Net Bearing Stress (ksf)	Calculated Strength Limit State Factored Bearing Resistance (ksf) $\phi_b (q_n)$ $\phi_b = 0.45$
D80 Box Culvert	2.41	7.26

10.1 Lateral Earth Pressures

Backfill soil placed behind box culvert walls should be primarily granular in nature and conform to Caltrans requirements for structure backfill, in accordance with Section 19-3.02C of the Caltrans *Standard Specifications*. Table 10.1 summarizes our recommended lateral earth pressures in terms of equivalent fluid pressure (EFP) for design.

TABLE 10.1
RECOMMENDED LATERAL EARTH PRESSURES

Condition	Equivalent Fluid Density (pounds per cubic foot [pcf])
Active (Level Backfill)	52
At-rest (Level Backfill)	74
Active (2:1 [H:V] Backfill)	77
At-rest (2:1 [H:V] Backfill)	99
Seismic Increment	+25
Passive	315

The soil pressures provided in Table 10.1 assume free draining conditions within an area bounded by the box culvert walls and a 1:1 plane extending upward from the base of the wall; where box culvert walls will not be free draining, a hydrostatic pressure increase of +27 pcf should be added to the at-rest pressure. For vehicular loads impacting the box culvert walls, a surcharge equivalent of 2 feet of fill soil (unit weight of 130 pcf) should be added.

To resist lateral movement, the passive earth pressure of Table 10.1 may be used for the box culvert foundation placed neat against properly compacted engineered fill. This passive pressure is based on the assumption that a horizontal surface extends at least 5 feet or three times (3x) the depth of the foundation, whichever is greater, beyond the face of the foundations. A friction coefficient of 0.31 may be used for resistance to sliding between soil and concrete. Combined passive resistance and friction may be utilized for design provided that the passive resistance is reduced by 50%.

10.2 Preliminary Pavement Recommendations

Existing pavement structural section thicknesses at boring locations consist of 8 inches of asphalt concrete over 4 inches of aggregate base at Boring B-1 and 7 inches of asphalt concrete over 4 inches of aggregate base at Boring B-2.

The final pavement sections should be based on the R-value of the subgrade soils encountered at final subgrade elevation. The civil engineer should evaluate the final traffic index for the pavements. Pavements should be designed and constructed in accordance with the City of Murrieta *Roadway Structural Section Requirements* (Standard No. 120) when final Traffic Indices and R-value test results of subgrade soil are completed. We have assumed an R-value of 30 based on site soil conditions and have utilized an R-Value of 78 for Class 2 Aggregate Base material, for the purposes of this preliminary analysis. Preliminary flexible pavement sections for both composite and alternate full-depth asphalt concrete pavements are presented in Table 10.2A.

TABLE 10.2A
PRELIMINARY FLEXIBLE PAVEMENT SECTIONS

Roadway Classification	Traffic Index	Assumed Subgrade R-Value	Asphalt Concrete (inches)	Aggregate Base (inches)	Full-Depth Asphalt Concrete (inches)
Local Road	5.0	30	3	6	6
Residential Collector	6.0	30	4	8	7½

Subgrade for approaches should be prepared in conformance with Section 19 of the Caltrans *Standard Specifications*. Subgrade for approaches is to be considered structural backfill. Structural backfill should be compacted to 95 percent of the maximum dry density at 0 to 2 percent above optimum moisture content, as determined by ASTM D1557. Pavement subgrade should be proof rolled with a fully-loaded water truck (or similar heavy vehicle) to check for subgrade stability prior to pavement section construction.

Asphalt concrete should conform to Section 39-2.02B of the Caltrans *Standard Specifications*. Class 2 aggregate base materials should conform to Section 26-1.02A of the Caltrans *Standard Specifications*. Aggregate base materials should be compacted to a dry density of at least 95 percent of the maximum dry density at 0 to 2 percent above optimum moisture content, as determined by ASTM D1557. Asphalt concrete should be compacted to a density of 95 percent of the laboratory Hveem density in accordance with ASTM D1561.

A rigid Portland cement concrete (PCC) pavement section should be placed in roadway aprons and cross gutters. We calculated the rigid pavement section in general conformance with the procedure recommended by the American Concrete Institute report ACI 330-21 *Commercial Concrete Parking Lots and Site Paving Design and Construction – Guide*. Table 10.2B provides the traffic categories and design parameters used for the calculations for 20-year design life.

TABLE 10.2B
TRAFFIC CATEGORIES

Traffic Category	Description	Reliability (%)	Slabs Cracked at End of Design Life (%)
A	Car Parking Areas and Access Lanes	60	15
B	Entrance and Truck Service Lanes	60	15
C	School or City Buses (Excluding Large Articulated Buses)	75	15
D	Heavy Duty Trucks (Gross Weight of 80 Kips)	75	15
E	Garbage or Fire Truck Lane	75	15

We used the parameters presented in Table 10.2C to calculate the pavement design sections. We should be contacted to provide updated design sections, if necessary.

TABLE 10.2C
RIGID PAVEMENT DESIGN PARAMETERS

Design Parameter	Design Value
Modulus of subgrade reaction, k	100 pci
Modulus of rupture for concrete, M_R	500 psi
Concrete Compressive Strength	3,000 psi
Concrete Modulus of Elasticity, E	3,150,000

Based on the criteria presented above, the PCC pavement sections should have a minimum thickness as presented in Table 10.2D.

TABLE 10.2D
RIGID VEHICULAR PAVEMENT RECOMMENDATIONS

Traffic Category	Trucks Per Day	Portland Cement Concrete (Inches)
A = Car Parking Areas and Access Lanes	10	5½
B = Entrance and Truck Service Lanes	10	6
	50	6½
	100	6½
C = School or City Buses	50	9½
	100	9½
D = Heavy Duty Trucks	50	6½
	100	7
E = Garbage or Fire Truck Lanes	5	6½
	10	7

Adequate joint spacing should be incorporated into the design and construction of the rigid pavement in accordance with Table 10.2E.

TABLE 10.2E
MAXIMUM JOINT SPACING

Pavement Thickness, T (Inches)	Maximum Joint Spacing (Feet)
$4 < T < 5$	10
$5 \leq T < 6$	12.5
$6 \leq T$	15

The rigid pavement should also be designed and constructed incorporating the parameters presented in Table 10.2F.

TABLE 10.2F
ADDITIONAL RIGID PAVEMENT RECOMMENDATIONS

Subject	Value
Thickened Edge	1.2 Times Slab Thickness Adjacent to Structures
	1.5 Times Slab Thickness Adjacent to Soil
	Minimum Increase of 2 Inches
	4 Feet Wide
Crack Control Joint Depth	Early Entry Sawn = $T/6$ to $T/5$, 1.25 Inch Minimum
	Conventional (Tooled or Conventional Sawing) = $T/4$ to $T/3$
Crack Control Joint Width	$\frac{1}{4}$ -Inch for Sealed Joints and Per Sealer Manufacturer's Recommendations
	$\frac{1}{16}$ - to $\frac{1}{4}$ -Inch is Common for Unsealed Joints

Reinforcing steel will not be necessary within the concrete for geotechnical purposes with the possible exception of dowels at construction joints as discussed herein.

To control the location and spread of concrete shrinkage cracks, crack-control joints (weakened plane joints) should be included in the design of the concrete pavement slab. Crack-control joints should be sealed with an appropriate sealant to prevent the migration of water through the control joint to the subgrade materials. The depth of the crack-control joints should be in accordance with the referenced ACI guide.

To provide load transfer between adjacent pavement slab sections, a butt-type construction joint should be constructed. The butt-type joint should be thickened by at least 20 percent at the edge and taper back at least 4 feet from the face of the slab.

Concrete curb/gutter, and cross gutters that receive vehicular traffic should be placed on soil subgrade compacted to a dry density of at least 95 percent of the laboratory maximum dry density at optimum moisture content to 0 to 2 percent above optimum moisture content. Base materials should not be placed below the curb/gutter, or cross-gutters so water is not able to migrate from the adjacent parkways to the pavement sections. Where flatwork is located directly adjacent to the curb/gutter, the concrete flatwork should be structurally connected to the curbs to help reduce the potential for offsets between the curbs and the flatwork.

The performance of pavements is highly dependent on providing positive surface drainage away from the edge of the pavement. Ponding of water on or adjacent to the pavement surfaces will likely result in pavement distress and subgrade failure. Drainage from landscaped areas should be directed to controlled drainage structures. Landscape areas adjacent to the edge of asphalt pavements are not recommended due to the potential for surface or irrigation water to infiltrate the underlying permeable aggregate base and cause distress. Where such a condition cannot be avoided, consideration should be given to incorporating measures that will significantly reduce the potential for subsurface water migration into the aggregate base. If planter islands are planned, the perimeter curb should extend at least 6 inches below the level of the base materials.

LIMITATIONS AND UNIFORMITY OF CONDITIONS

The recommendations of this report pertain only to the site investigated and are based upon the assumption that soil conditions do not deviate from those disclosed in the investigation. If any variations or undesirable conditions are encountered during construction, or if the proposed construction will differ from that anticipated herein, Geocon should be notified so that supplemental recommendations can be given. The evaluation or identification of the potential presence of hazardous or corrosive materials was not part of the scope of services provided by Geocon.

This report is issued with the understanding that it is the responsibility of the owner or their representative to ensure that the information and recommendations contained herein are brought to the attention of the architect and engineer for the project and incorporated into the plans, and that the necessary steps are taken to see that the contractor and subcontractors carry out such recommendations in the field.

The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether due to natural processes or the works of man on this or adjacent properties. In addition, changes in applicable or appropriate standards may occur, whether they result from legislation or the broadening of knowledge. Accordingly, the findings of this report may be invalidated wholly or partially by changes outside our control. Therefore, this report is subject to review and should not be relied upon after a period of three years. Our professional services were performed in accordance with generally acceptable geotechnical engineering principles and practices in the site area at this time. No warranty is provided, either express or implied.

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11. Michael Baker International, 2025, *City of Murrieta, Storm Drain Improvement Plan, Hayes Avenue Bridge at Miller Canyon Creek, Bridge Replacement*, 4-Sheets, dated May 21.
12. Riverside County, RCIT, Map My County webtool, gis1.countyofriverside.us/html5viewer/index.html?viewer=MMC_Public, accessed May 2025.
13. USGS, *2008 National Seismic Hazard Maps - Source Parameters* web tool, https://earthquake.usgs.gov/cfusion/hazfaults_2008_search/, accessed May 2025.
14. Unpublished reports, aerial photographs, and maps on file with Geocon West, Inc.



SOURCE: Google Earth Pro, 2025

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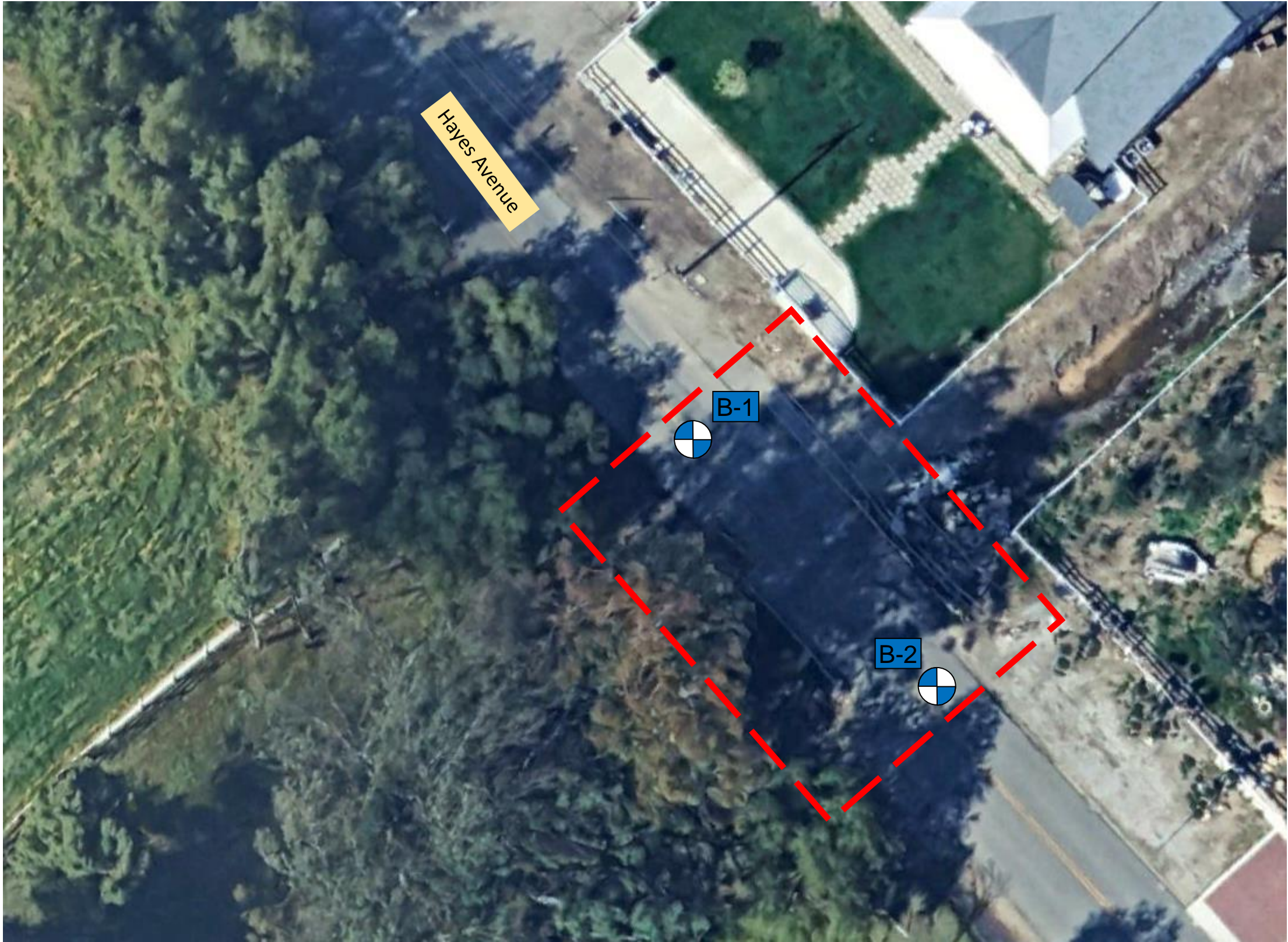
VICINITY MAP

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

MAY 2025

PROJECT NO. T2647-22-09

FIG. 1

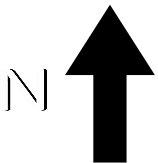
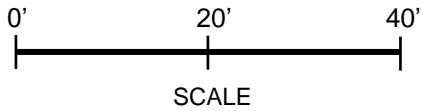


GEOCON LEGEND

Locations are approximate

B-2GEOTECHNICAL BORING LOCATION

-----LIMITS OF THIS INVESTIGATION



SOURCE: Google Earth Pro, 2025

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BORING LOCATION MAP

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

RNP

MAY 2025

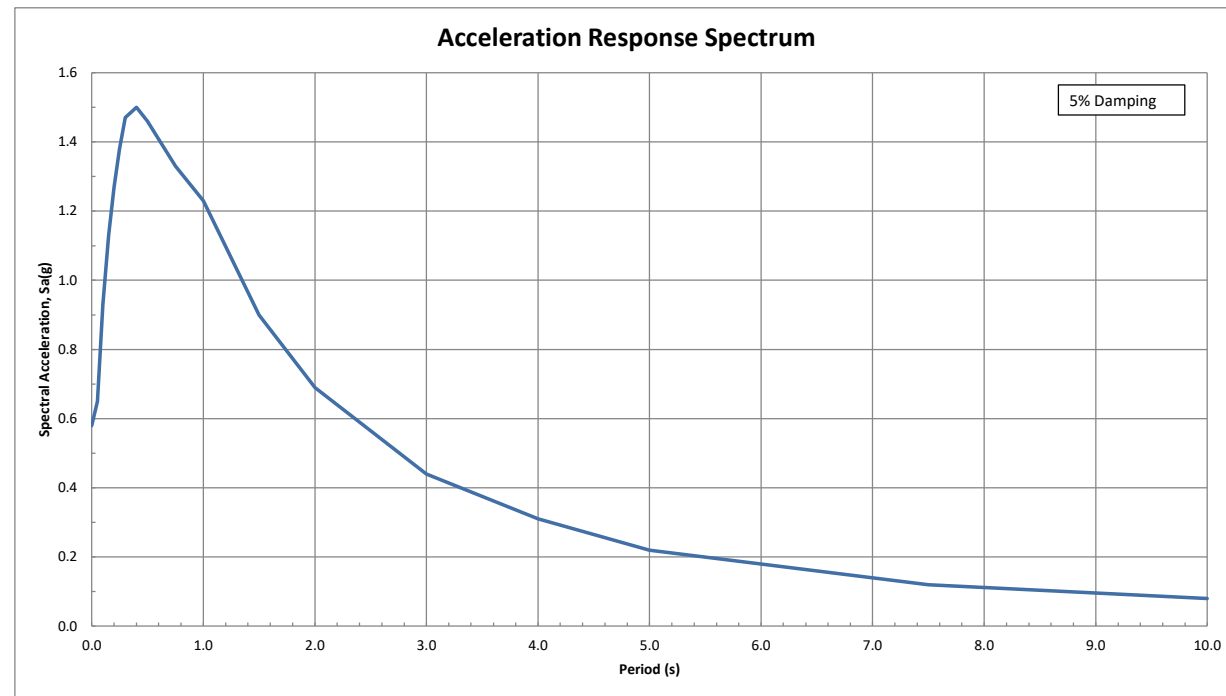
PROJECT NO. T2647-22-19

FIG. 2

ARS Data for:

Hayes Avenue Bridge Emergency Replacement

Period, T (s)	Spectral Acceleration, S_a (g)
0.00	0.58
0.05	0.65
0.10	0.93
0.15	1.13
0.20	1.27
0.25	1.38
0.30	1.47
0.40	1.50
0.50	1.46
0.75	1.33
1.00	1.23
1.50	0.90
2.00	0.69
3.00	0.44
4.00	0.31
5.00	0.22
7.50	0.12
10.00	0.08



<u>Latitude, degrees</u>		
33.546938		
<u>Longitude, degrees</u>		
-117.218787		
<u>Seismic Loading Table</u>		
Soil Profile (V_{s30}):	232	m/s
or:	761	ft/s
PGA Mean Moment Magnitude (M) for PGA:	6.98	
Rupture Distance: R:	10.3	km
or:	6.4	mi
PGA (HPGA):	0.58	g

The ARS curve was developed based on the USGS 2023 National Seismic Hazard Model for a 975 year return period (obtained by using ARS Online v4.0). Modifications for basin effects are incorporated by the 2023 NSHM and near fault effects were applied, where applicable, per Appendix B of SDC v2.1.

SEE Design - Ground Motion Data Sheet

Response spectrum was generated using ARS Online on:

May 7, 2025



GEOCON
CONSULTANTS, INC.

3160 GOLD VALLEY DR - SUITE 800 - RANCHO CORDOVA, CA 95742
PHONE 916.852.9118 - FAX 916.852.9132

Hayes Avenue Bridge Emergency Replacement

Murrieta,
California

RECOMMENDED DESIGN RESPONSE SPECTRUM

T2647-22-19

May 2025

Figure 3

MCE EARTHQUAKE INFORMATION:

Earthquake Magnitude:	6.98
Peak Horiz. Acceleration (g):	0.580

Boring ID: B-1

Depth of Base of Strata (ft)	Thickness of Layer (ft)	Depth of Mid-point of Layer (ft)	Soil Unit Weight (pcf)	Overburden Pressure at Mid-point (tsf)	Mean Effective Pressure at Mid-point (tsf)	Average Cyclic Shear Stress (Tav)	Field SPT [N]	Correction Factor [C _{er}]	Relative Density [D _r] (%)	Correction Factor [C _n]	Corrected [N]60	rd Factor	Maximum Shear Mod. [G _{max}] (tsf)	[y _{eff}]*[G _{eff}] [G _{max}]	y _{eff} Shear Strain	[y _{eff}]*100%	Volumetric Strain M7.5 [E18] (%)	Number of Strain Cycles [N _c]	Corrected Vol. Strains [E _c]	Estimated Settlement [S] (inches)
1.0	1.0	0.5	134.1	0.03	0.02	0.013	60	1.25	176.2	1.7	123.7	1.0	333.8	3.75E-05	4.00E-05	0.004	4.49E-04	10.7	3.88E-04	0.00
2.0	1.0	1.5	134.1	0.10	0.07	0.038	60	1.25	176.2	1.7	123.7	1.0	578.2	6.37E-05	1.00E-04	0.010	1.12E-03	10.7	9.84E-04	0.00
3.0	1.0	2.5	134.1	0.17	0.11	0.063	60	1.25	176.2	1.7	123.7	1.0	746.4	8.06E-05	1.40E-04	0.014	1.57E-03	10.7	1.35E-03	0.00
4.0	1.0	3.5	134.1	0.23	0.16	0.088	60	1.25	176.2	1.7	123.7	1.0	883.2	9.35E-05	1.60E-04	0.016	1.80E-03	10.7	1.54E-03	0.00
5.0	1.0	4.5	117.5	0.30	0.20	0.112	28	1.25	114.2	1.7	59.2	1.0	777.9	1.32E-04	1.70E-04	0.017	4.62E-03	10.7	3.97E-03	0.00
6.0	1.0	5.5	117.5	0.36	0.24	0.134	28	1.25	114.2	1.7	59.2	1.0	851.3	1.42E-04	1.50E-04	0.015	4.08E-03	10.7	3.50E-03	0.00
7.0	1.0	6.5	117.5	0.42	0.28	0.156	28	1.25	114.2	1.6	55.4	1.0	898.7	1.54E-04	1.50E-04	0.015	4.41E-03	10.7	3.79E-03	0.00
8.0	1.0	7.5	140.4	0.48	0.32	0.180	32	1.25	114.3	1.5	61.0	1.0	997.1	1.57E-04	1.50E-04	0.015	3.94E-03	10.7	3.38E-03	0.00
9.0	1.0	8.5	140.4	0.55	0.37	0.206	32	1.25	114.3	1.4	57.2	1.0	1045.1	1.68E-04	1.50E-04	0.015	4.25E-03	10.7	3.65E-03	0.00
10.0	1.0	9.5	134.2	0.62	0.41	0.231	32	1.25	109.3	1.3	54.1	1.0	1088.2	1.79E-04	1.50E-04	0.015	4.54E-03	10.7	3.90E-03	0.00
11.0	1.0	10.5	134.2	0.69	0.46	0.256	32	1.25	109.3	1.2	51.6	1.0	1127.6	1.88E-04	1.50E-04	0.015	4.81E-03	10.7	4.13E-03	0.00
12.0	1.0	11.5	134.2	0.75	0.50	0.280	32	1.25	109.3	1.2	49.4	1.0	1164.5	1.96E-04	1.60E-04	0.016	5.41E-03	10.7	4.64E-03	0.00
13.0	1.0	12.5	130.0	0.82	0.55	0.304	31	1.25	101.5	1.1	46.1	1.0	1187.3	2.05E-04	3.70E-04	0.037	1.36E-02	10.7	1.17E-02	0.00
14.0	1.0	13.5	130.0	0.88	0.59	0.327	31	1.25	101.5	1.1	44.5	1.0	1219.1	2.12E-04	3.70E-04	0.037	1.42E-02	10.7	1.22E-02	0.00
15.0	1.0	14.5	126.2	0.95	0.63	0.350	24	1.25	86.3	1.0	41.6	1.0	1233.9	2.21E-04	3.70E-04	0.037	1.54E-02	10.7	1.32E-02	0.00
16.0	1.0	15.5	126.2	1.01	0.68	0.372	24	1.25	86.3	1.0	40.4	1.0	1262.3	2.26E-04	3.70E-04	0.037	1.59E-02	10.7	1.37E-02	0.00
17.0	1.0	16.5	126.2	1.07	0.72	0.394	24	1.25	86.3	1.0	39.4	1.0	1289.7	2.31E-04	3.70E-04	0.037	1.64E-02	10.7	1.41E-02	0.00
18.0	1.0	17.5	132.2	1.14	0.76	0.416	8	1.25	47.5	1.0	16.8	1.0	999.8	3.11E-04	7.10E-04	0.071	8.75E-02	10.7	7.52E-02	0.02
19.0	1.0	18.5	132.2	1.20	0.81	0.439	8	1.25	47.5	0.9	16.6	1.0	1023.2	3.16E-04	7.10E-04	0.071	8.92E-02	10.7	7.66E-02	0.02
20.0	1.0	19.5	136.5	1.27	0.85	0.462	3	1.25	28.3	0.9	9.0	1.0	858.2	3.91E-04	7.10E-04	0.071	1.85E-01	10.7	1.59E-01	0.00
21.0	1.0	20.5	136.5	1.34	0.90	0.485	3	1.25	28.3	0.9	8.9	1.0	878.9	3.96E-04	7.10E-04	0.071	1.87E-01	10.7	1.60E-01	0.00
22.0	1.0	21.5	136.5	1.41	0.94	0.507	3	1.25	28.3	0.9	8.9	1.0	898.9	4.00E-04	1.20E-03	0.120	3.18E-01	10.7	2.73E-01	0.00
23.0	1.0	22.5	136.5	1.48	0.99	0.530	3	1.25	28.3	0.9	8.8	0.9	918.4	4.04E-04	1.20E-03	0.120	3.21E-01	10.7	2.75E-01	0.00
24.0	1.0	23.5	136.5	1.54	1.03	0.552	3	1.25	28.3	0.9	8.8	0.9	937.4	4.07E-04	8.10E-04	0.081	2.18E-01	10.7	1.87E-01	0.00
25.0	1.0	24.5	135.9	1.61	1.08	0.574	9	1.25	47.2	0.9	17.5	0.9	1206.8	3.25E-04	5.20E-04	0.052	6.10E-02	10.7	5.24E-02	0.00
26.0	1.0	25.5	135.9	1.68	1.13	0.595	9	1.25	47.2	0.8	17.4	0.9	1228.1	3.28E-04	5.20E-04	0.052	6.17E-02	10.7	5.29E-02	0.00
27.0	1.0	26.5	135.9	1.75	1.17	0.616	9	1.25	47.2	0.8	17.2	0.9	1248.8	3.30E-04	5.20E-04	0.052	6.23E-02	10.7	5.35E-02	0.00
28.0	1.0	27.5	135.9	1.82	1.22	0.637	9	1.25	47.2	0.8	17.0	0.9	1269.1	3.32E-04	5.20E-04	0.052	6.30E-02	10.7	5.41E-02	0.00
29.0	1.0	28.5	135.9	1.88	1.26	0.657	9	1.25	47.2	0.8	16.9	0.9	1288.9	3.34E-04	5.20E-04	0.052	6.37E-02	10.7	5.47E-02	0.00
30.0	1.0	29.5	134.4	1.95	1.31	0.677	38	1.25	93.5	0.8	60.4	0.9	2005.4	2.19E-04	3.00E-04	0.030	7.97E-03	10.7	6.84E-03	0.00
31.0	1.0	30.5	134.4	2.02	1.35	0.697	38	1.25	93.5	0.8	59.8	0.9	2032.7	2.20E-04	3.00E-04	0.030	8.07E-03	10.7	6.93E-03	0.00
32.0	1.0	31.5	134.4	2.09	1.40	0.716	38	1.25	93.5	0.8	59.2	0.9	2059.4	2.21E-04	3.00E-04	0.030	8.17E-03	10.7	7.01E-03	0.00
33.0	1.0	32.5	134.4	2.15	1.44	0.734	38	1.25	93.5	0.8	58.6	0.9	2085.5	2.22E-04	3.00E-04	0.030	8.26E-03	10.7	7.09E-03	0.00
34.0	1.0	33.5	134.4	2.22	1.49	0.753	38	1.25	93.5	0.8	58.0	0.9	2111.0	2.23E-04	3.00E-04	0.030	8.36E-03	10.7	7.18E-03	0.00
35.0	1.0	34.5	127.4	2.29	1.53	0.770	70	1.25	122.8	0.8	101.7	0.9	2582.7	1.85E-04	1.30E-04	0.013	1.85E-03	10.7	1.59E-03	0.00
36.0	1.0	35.5	127.4	2.35	1.57	0.787	70	1.25	122.8	0.8	100.8	0.9	2610.9	1.85E-04	1.30E-04	0.013	1.87E-03	10.7	1.60E-03	0.00
37.0	1.0	36.5	127.4	2.41	1.62	0.803	70	1.25	122.8	0.8	100.0	0.9	2638.5	1.85E-04	1.30E-04	0.013	1.88E-03	10.7	1.62E-03	0.00
38.0	1.0	37.5	127.4	2.48	1.66	0.819	70	1.25	122.8	0.7	99.2	0.9	2665.7	1.85E-04	1.30E-04	0.013	1.90E-03	10.7	1.63E-03	0.00
39.0	1.0	38.5	127.4	2.54	1.70	0.834	70	1.25	122.8	0.7	98.4	0.9	2692.4	1.86E-04	1.30E-04	0.013	1.92E-03	10.7	1.65E-03	0.00
40.0	1.0	39.5	138.9	2.61	1.75	0.850	31	1.25	79.4	0.7	46.0	0.9	2116.6	2.39E-04	3.00E-04	0.030	1.11E-02	10.7	9.49E-03	0.00
41.0	1.0	40.5	138.9	2.68	1.79	0.867	31	1.25	79.4	0.7	45.6	0.8	2138.3	2.39E-04	3.00E-04	0.030	1.12E-02	10.7	9.59E-03	0.00
42.0	1.0	41.5	138.9	2.75	1.84	0.883	31	1.25	79.4	0.7	45.2	0.8	2159.7	2.39E-04	3.00E-04	0.030	1.13E-02	10.7	9.69E-03	0.00
43.0	1.0	42.5	138.9	2.82	1.89	0.899	31	1.25	79.4	0.7	44.8	0.8	2180.8	2.40E-04	3.00E-04	0.030	1.14E-02	10.7	9.79E-03	0.00
44.0	1.0	43.5	138.9	2.89	1.93	0.915	31	1.25	79.4	0.7	44.4	0.8	2201.5	2.40E-04	3.00E-04	0.030	1.15E-02	10.7	9.88E-03	0.00
45.0	1.0	44.5	140.1	2.96	1.98	0.930	69	1.25	114.9	0.7	92.0	0.8	2839.4	1.88E-04	1.30E-04	0.013	2.08E-03	10.7	1.79E-03	0.00
46.0	1.0	45.5	140.1	3.03	2.03	0.945	69	1.25	114.9	0.7	91.2	0.8	2864.6	1.88E-04	1.00E-02	1.000	1.62E-01	10.7	1.39E-01	0.00
47.0	1.0	46.5	140.1	3.10	2.07	0.960	69	1.25	114.9	0.7	90.4	0.8	2889.5	1.88E-04	1.00E-02	1.000	1.64E-01	10.7	1.40E-01	0.00
48.0	1.0	47.5	140.1	3.17	2.12	0.974	69	1.25	114.9	0.7	89.7	0.8	2914.0	1.88E-04	1.00E-02	1.000	1.65E-01	10.7	1.42E-01	0.00
49.0	1.0	48.5	140.1	3.24	2.17	0.988	69	1.25	114.9	0.7	89.0	0.8	2938.1	1.88E-04	1.00E-02	1.000	1.67E-01	10.7	1.43E-01	0.00
50.0	1.0	49.5	142.3	3.31	2.22	1.001	31	1.25	74.7	0.7	42.4	0.8	2320.0	2.40E-04	1.00E-02	1.000	4.06E-01	10.7	3.48E-01	0.00

REFERENCE: TECHNICAL ENGINEERING AND DESIGN GUIDES AS ADAPTED FROM THE US ARMY CORPS OF ENGINEERS, NO. 9

TOTAL SETTLEMENT (inches) = 0.06

GEOCON
WEST, INC.

ENVIRONMENTAL GEOTECHNICAL MATERIALS
41571 CORNING PLACE - SUITE 101 - MURRIETA, CA 92562
PHONE: 951-304-2300



EVALUATION OF EARTHQUAKE-INDUCED SETTLEMENTS IN DRY SANDY SOILS

SAFETY EVALUATION EARTHQUAKE

Hayes Avenue Bridge
Emergency Replacement
Murrieta, California

DRAFTED BY: ATS

CHECKED BY:

May 2025

PROJECT NO. T2647-22-19

FIG. 5

APPENDIX

A

APPENDIX A

EXPLORATORY EXCAVATIONS



PROJECT NAME Hayes Ave Bridge ER GI

LOGGED BY RNP

PROJECT NUMBER T2647-22-19

LATITUDE / LONGITUDE 33.547002, -117.218832

BORING DATE 04/10/2025

FIGURE NUMBER A-1

DEPTH 61.5'

SURFACE ELEVATION ~1090'

LOCATION Hayes Bridge between Ivy Street and Juniper Street

CLIENT NAME City of Murrieta

DRILLING FIRM 2R DRILLING

COMPLETED 04/10/2025

EQUIPMENT CME-75

-

METHOD Hollow Stem Auger

BORING DIAMETER 8 in

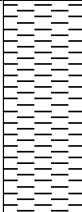

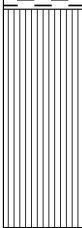

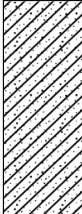

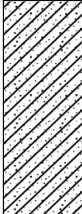

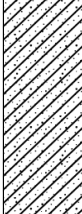

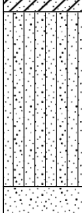

HAMMER TYPE Auto

NOTES N/A

HAMMER WEIGHT / DROP 140 lb / 30"

Depth (ft)	Elevation (ft)	Water Levels	Graphic Log	USCS	Material Description	Bulk	Driven	Sample Number	Blow Counts/6"	Dry Density (pcf)	Moisture Content (%)
	1090										
2				SM	ASPHALT CONCRETE, 8" AGGREGATE BASE, 4" ARTIFICIAL FILL afu			B-1@2.5'	31 30 30	127.1	5.5
4	1085			SC	Silty SAND, dense, slightly moist, olive brown, medium sand, some fine to coarse gravel			B-1@5'	20 14 14	111.8	5.1
6				SM	YOUNG ALLUVIAL VALLEY DEPOSITS (Qyv) Clayey SAND, medium dense, moist, brown, fine sand			B-1@7.5'	4 10 22	127.3	10.3
8					Silty SAND, medium dense, moist, olive brown, fine sand, trace clay and gravel			B-1@10'	18 16 16	127.1	5.6
10	1080				slightly moist			B-1@12.5'	10 14 17	118.6	9.6
12								B-1@15'	11 11 13	114.8	9.9
14	1075			ML	SILT with Sand, hard, moist, brown, little gravel			B-1@17.5'	3 3 5	113.3	16.7
16					stiff			B-1@20'	2 2 1	114.3	19.4
18				SC	Clayey SAND, very loose, saturated, brown			B-1@25'	3 4 5	115.8	17.4
20	1070							B-1@30'	12 20 18		17.6
22				SM	Silty SAND, loose, saturated, dark brown, some gravel						
24	1065			SC	Clayey SAND, very dense, saturated, light brown						
26											
28											
30	1060										
32											
34											

NOTE: THE LOG OF SUBSURFACE CONDITIONS SHOWN HEREON APPLIES ONLY AT THE SPECIFIC BORING OR TRENCH LOCATION AND AT THE DATE INDICATED. IT IS NOT WARRANTED TO BE REPRESENTATIVE OF SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND TIMES. THE STRATIFICATION LINES PRESENTED HEREIN REPRESENT THE APPROXIMATE BOUNDARY BETWEEN EARTH TYPES; THE TRANSITIONS MAY BE GRADUAL.

Depth (ft)	Elevation (ft)	Water Levels	Graphic Log	USCS	Material Description	Bulk	Driven	Sample Number	Blow Counts/6"	Dry Density (pcf)	Moisture Content (%)
36	1050			CL	CLAY, hard, moist, brown			B-1@35'	18 27 43	105.9	20.3
38											
40			ML	SILT, hard, moist, gray			B-1@40'	7 12 19		22.6	
42											
44	1045			SC	Clayey SAND, dense, saturated, olive gray			B-1@45'	12 28 41	119.0	17.7
46											
48	1040				harder drilling very dense			B-1@50'	8 12 19		19.6
50											
52	1035			SM	Silty SAND, very dense, saturated, olive gray			B-1@55'	50/6"	110.5	15.7
54											
56	1030			SP	Poorly Graded SAND, very dense, saturated, olive gray			B-1@60'	15 33 50/6"		17.0
58											
60	1025				Total Depth: 61 1/2 feet Groundwater encountered at 19 feet Backfilled with soil cuttings						
62											
64											
66											
68											

NOTE: THE LOG OF SUBSURFACE CONDITIONS SHOWN HEREON APPLIES ONLY AT THE SPECIFIC BORING OR TRENCH LOCATION AND AT THE DATE INDICATED. IT IS NOT WARRANTED TO BE REPRESENTATIVE OF SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND TIMES. THE STRATIFICATION LINES PRESENTED HEREIN REPRESENT THE APPROXIMATE BOUNDARY BETWEEN EARTH TYPES; THE TRANSITIONS MAY BE GRADUAL.



PROJECT NAME Hayes Ave Bridge ER GI

LOGGED BY RNP

PROJECT NUMBER T2647-22-19

LATITUDE / LONGITUDE 33.546883, -117.218717

BORING DATE 04/10/2025

FIGURE NUMBER A-2

DEPTH 61.5'

SURFACE ELEVATION ~1090'

LOCATION Hayes Bridge between Ivy Street and Juniper Street

CLIENT NAME City of Murrieta

DRILLING FIRM 2R DRILLING

COMPLETED 04/10/2025

EQUIPMENT CME-75

-

METHOD Hollow Stem Auger

BORING DIAMETER 8 in

HAMMER TYPE Auto

NOTES N/A

HAMMER WEIGHT / DROP 140 lb / 30"

Depth (ft)	Elevation (ft)	Water Levels	Graphic Log	USCS	Material Description	Bulk	Driven	Sample Number	Blow Counts/6"	Dry Density (pcf)	Moisture Content (%)
	1090										
2				SM	ASPHALT CONCRETE, 7" AGGREGATE BASE, 4" ARTIFICIAL FILL afu			B-2@2.5'	7 15 26	126.6	6.9
4	1085			SC	YOUNG ALLUVIAL VALLEY DEPOSITS (Qyv) Clayey SAND, dense, moist, brown			B-2@5'	15 19 32	130.4	8.8
6								B-2@7.5'	20 27 35	128.0	10.5
8								B-2@10'	9 18 33	123.0	12.2
10	1080							B-2@12.5'	7 13 30	108.8	24.1
12				CL	Lean CLAY with Sand, hard, moist, dark brown			B-2@15'	15 25 29	129.6	8.7
14	1075							B-2@17.5'	6 6 16	103.3	23.3
16				SM	Silty SAND, dense, moist, brown with dark brown mottles			B-2@20'	8 18 35	110.2	20.0
18								B-2@22.5'	22 50/5"	116.0	13.4
20	1070				medium dense			B-2@25'	20 34 50/5"	109.1	17.8
22				ML	SILT with Sand, hard, moist, brown			B-2@30'	14 7 14		17.3
24	1065			SP-SM	Poorly Graded SAND w/ Silt, dense, saturated, olive brown, medium to coarse sand						
26					very dense, medium sand						
28											
30	1060				dense, becomes coarser						
32											
34											

NOTE: THE LOG OF SUBSURFACE CONDITIONS SHOWN HEREON APPLIES ONLY AT THE SPECIFIC BORING OR TRENCH LOCATION AND AT THE DATE INDICATED. IT IS NOT WARRANTED TO BE REPRESENTATIVE OF SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND TIMES. THE STRATIFICATION LINES PRESENTED HEREIN REPRESENT THE APPROXIMATE BOUNDARY BETWEEN EARTH TYPES; THE TRANSITIONS MAY BE GRADUAL.

Depth (ft)	Elevation (ft)	Water Levels	Graphic Log	USCS	Material Description	Bulk	Driven	Sample Number	Blow Counts/6"	Dry Density (pcf)	Moisture Content (%)
36				SP-SM	Poorly Graded SAND w/ Silt, medium dense, saturated, brown, medium to coarse sand			B-2@35'	9 20 23	114.8	8.8
38											
40	1050			SM	Silty SAND, dense, saturated, brown, trace clay			B-2@40'	7 11 19		19.5
42											
44	1045				olive brown						
46								B-2@45'	11 24 30	109.6	19.3
48											
50	1040			SC	Clayey SAND, dense, saturated, olive gray			B-2@50'	9 12 22		28.0
52											
54	1035				very dense, light brown						
56								B-2@55'	17 50/6"	119.9	115.6
58											
60	1030							B-2@60'	17 23 30		18.9
62											
64	1025				Total Depth: 61 1/2 feet Groundwater encountered at 22 feet Backfilled with soil cuttings and capped with AC cold-patch						
66											
68											

NOTE: THE LOG OF SUBSURFACE CONDITIONS SHOWN HEREON APPLIES ONLY AT THE SPECIFIC BORING OR TRENCH LOCATION AND AT THE DATE INDICATED. IT IS NOT WARRANTED TO BE REPRESENTATIVE OF SUBSURFACE CONDITIONS AT OTHER LOCATIONS AND TIMES. THE STRATIFICATION LINES PRESENTED HEREIN REPRESENT THE APPROXIMATE BOUNDARY BETWEEN EARTH TYPES; THE TRANSITIONS MAY BE GRADUAL.

APPENDIX

B

APPENDIX B

LABORATORY TESTING

Sample No:

B-1@3-8'

Silty SAND with trace Clay (SM), olive brown

TEST NO.		1	2	3	4	5	6
Wt. Compacted Soil + Mold	(g)	6382	6357	6361	6298		
Weight of Mold	(g)	4248	4248	4248	4248		
Net Weight of Soil	(g)	2134	2109	2113	2050		
Wet Weight of Soil + Cont.	(g)	771.0	823.7	999.2	758.2		
Dry Weight of Soil + Cont.	(g)	728.7	768.3	950.2	734.1		
Weight of Container	(g)	255.2	257.7	259.4	257.3		
Moisture Content	(%)	8.9	10.8	7.1	5.1		
Wet Density	(pcf)	141.3	139.6	139.9	135.7		
Dry Density	(pcf)	129.7	126.0	130.6	129.2		

Maximum Dry Density (pcf) 131.0

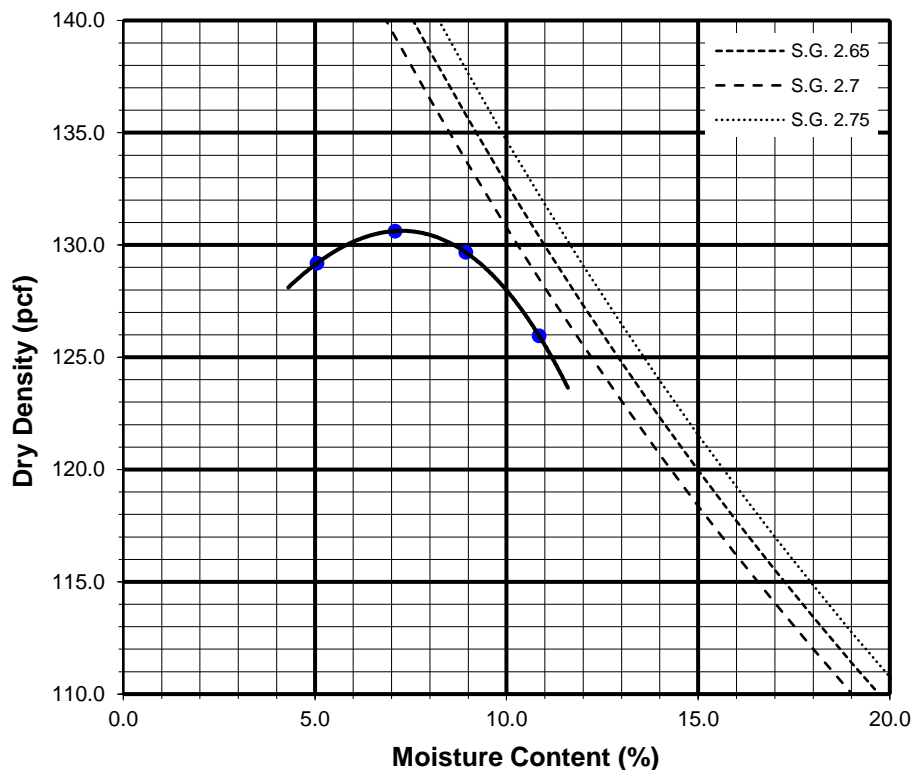
Bulk Specific Gravity (dry) 2.58

Corrected Maximum Dry Density (pcf) 137.5

Optimum Moisture Content (%) 8.0

Oversized Fraction (%) 25.0

Corrected Moisture Content (%) 6.0



Preparation Method: A



**COMPACTION CHARACTERISTICS USING
MODIFIED EFFORT TEST RESULTS**

ASTM D-1557

Checked by: RNP

Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 2025

Figure B-1

Sample No:

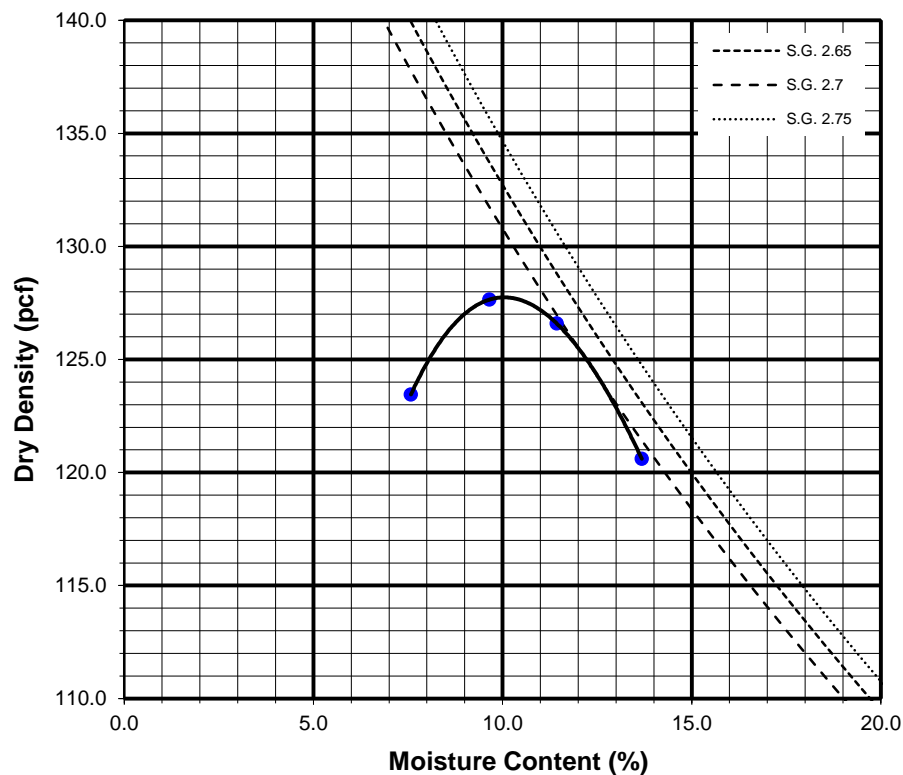
B-2@10-15'

Clayey SAND (SC), brown

TEST NO.		1	2	3	4	5	6
Wt. Compacted Soil + Mold (g)		6319	6379	6362	6254		
Weight of Mold (g)		4248	4248	4248	4248		
Net Weight of Soil (g)		2071	2131	2114	2006		
Wet Weight of Soil + Cont. (g)		815.3	792.5	845.0	816.9		
Dry Weight of Soil + Cont. (g)		748.0	737.8	793.3	777.8		
Weight of Container (g)		256.1	259.4	257.9	261.8		
Moisture Content (%)		13.7	11.4	9.7	7.6		
Wet Density (pcf)		137.1	141.1	140.0	132.8		
Dry Density (pcf)		120.6	126.6	127.6	123.5		

Maximum Dry Density (pcf) 128.5

Optimum Moisture Content (%) 10.5



Preparation Method: A



**COMPACTION CHARACTERISTICS USING
MODIFIED EFFORT TEST RESULTS**

ASTM D-1557

Checked by: RNP

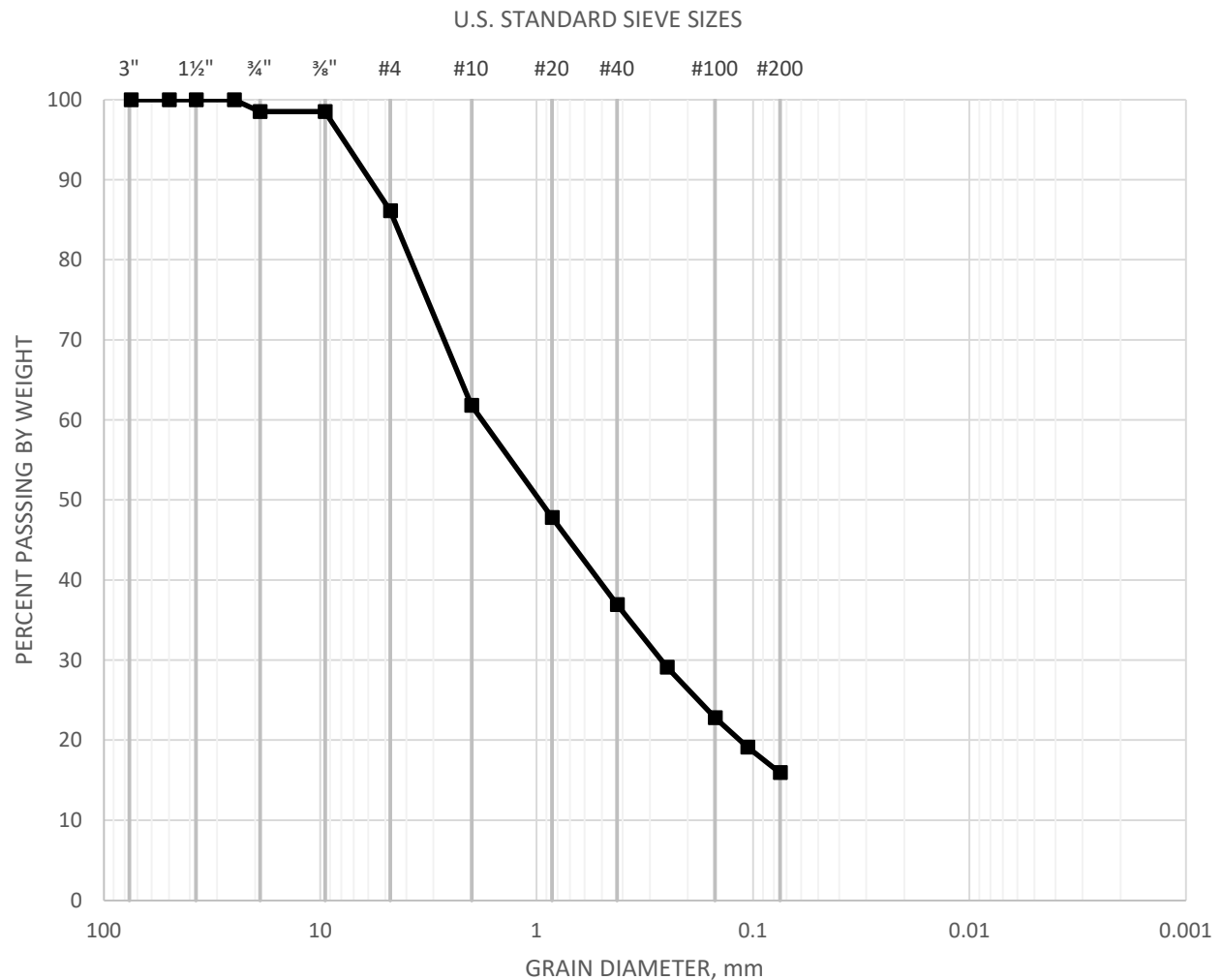
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 2025

Figure B-2

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-1@5'	Clayey SAND (SC), brown	6.3	0.99	0.26



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

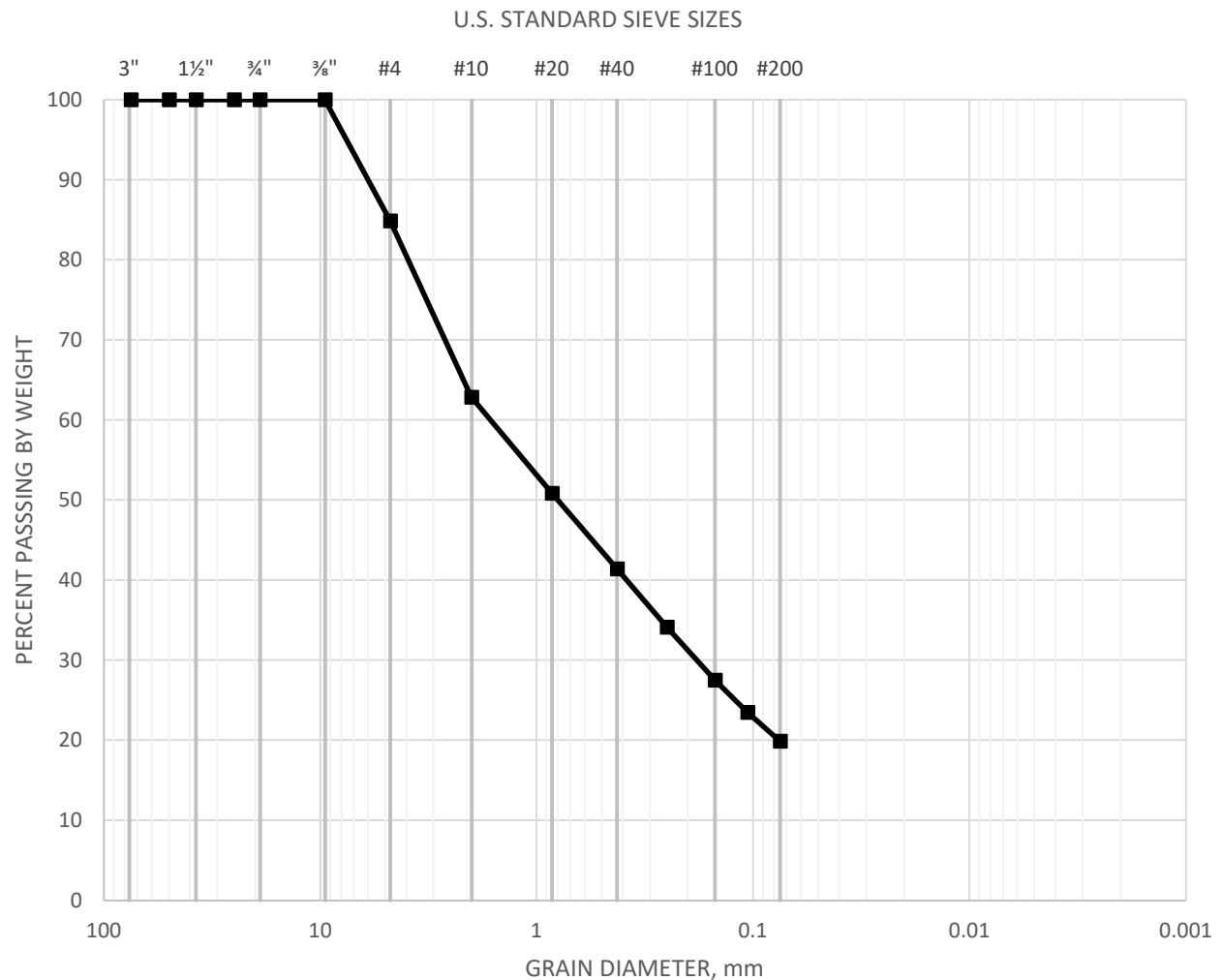
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-3

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-1@10'	Silty SAND with Gravel (SM), olive brown	5.4	0.8	0.19



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

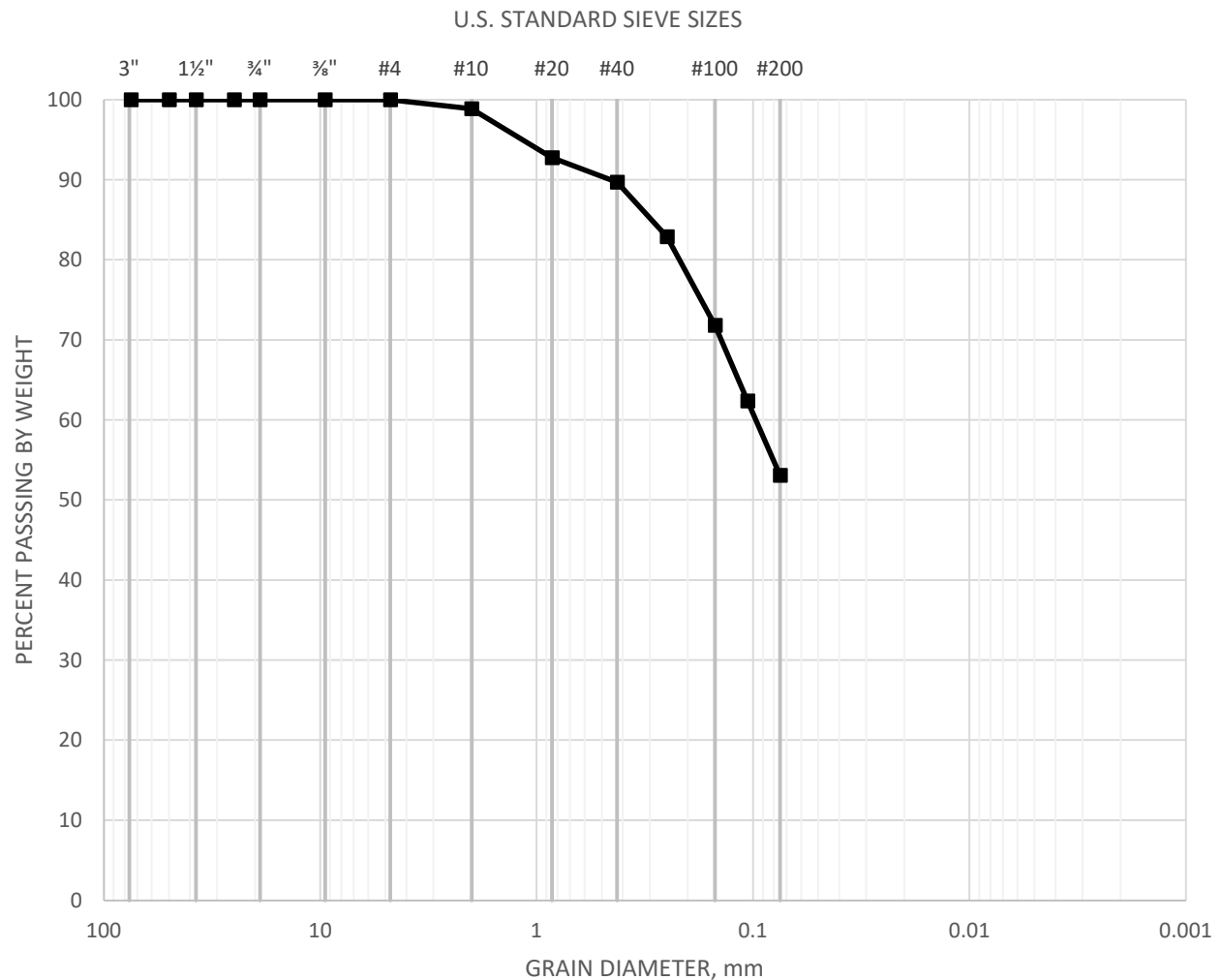
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-4

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-1@15'	SILT with Sand (ML), brown	0.44		



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

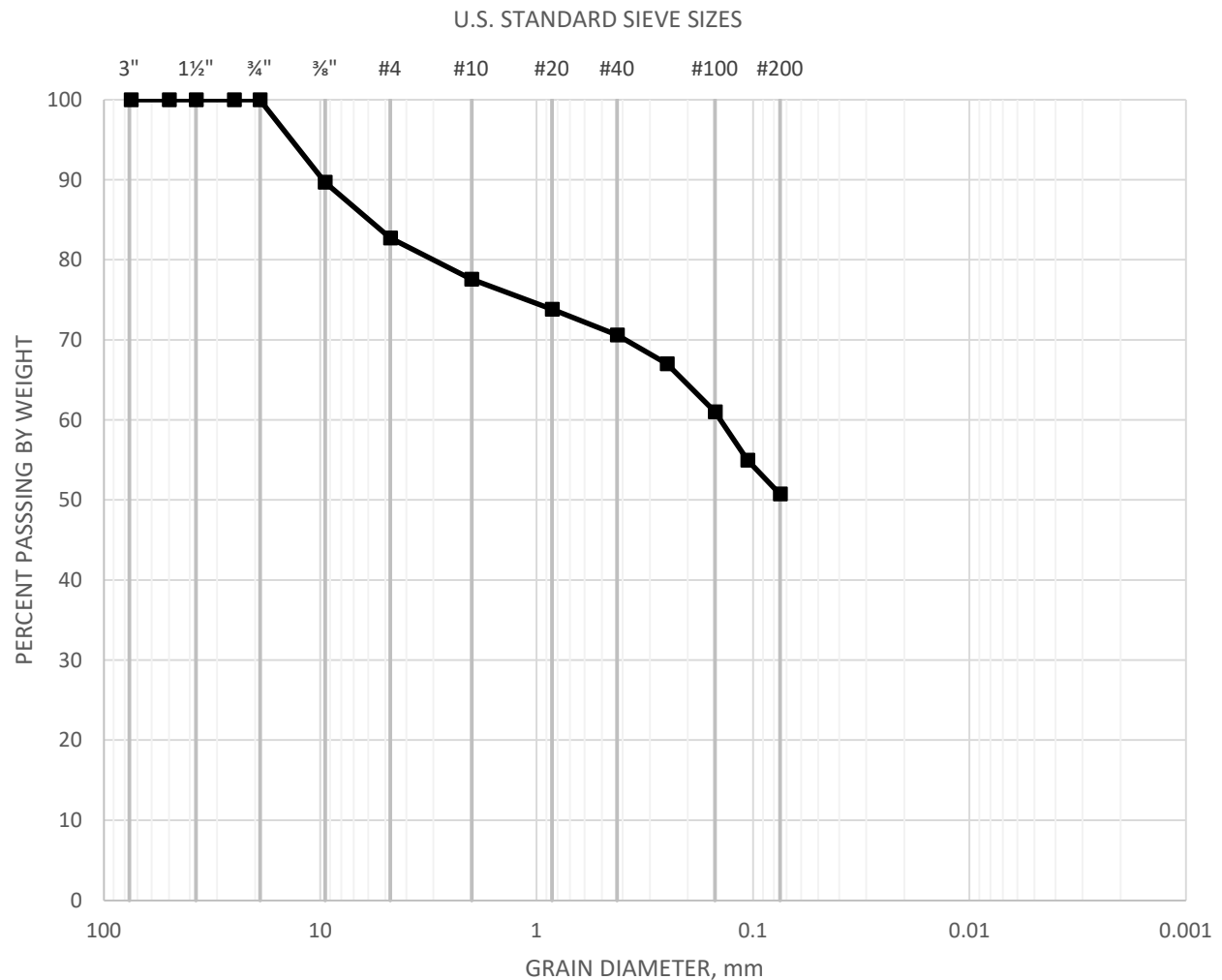
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-5

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-1@17.5'	SILT with Sand and Gravel (ML), brown	9.6		



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

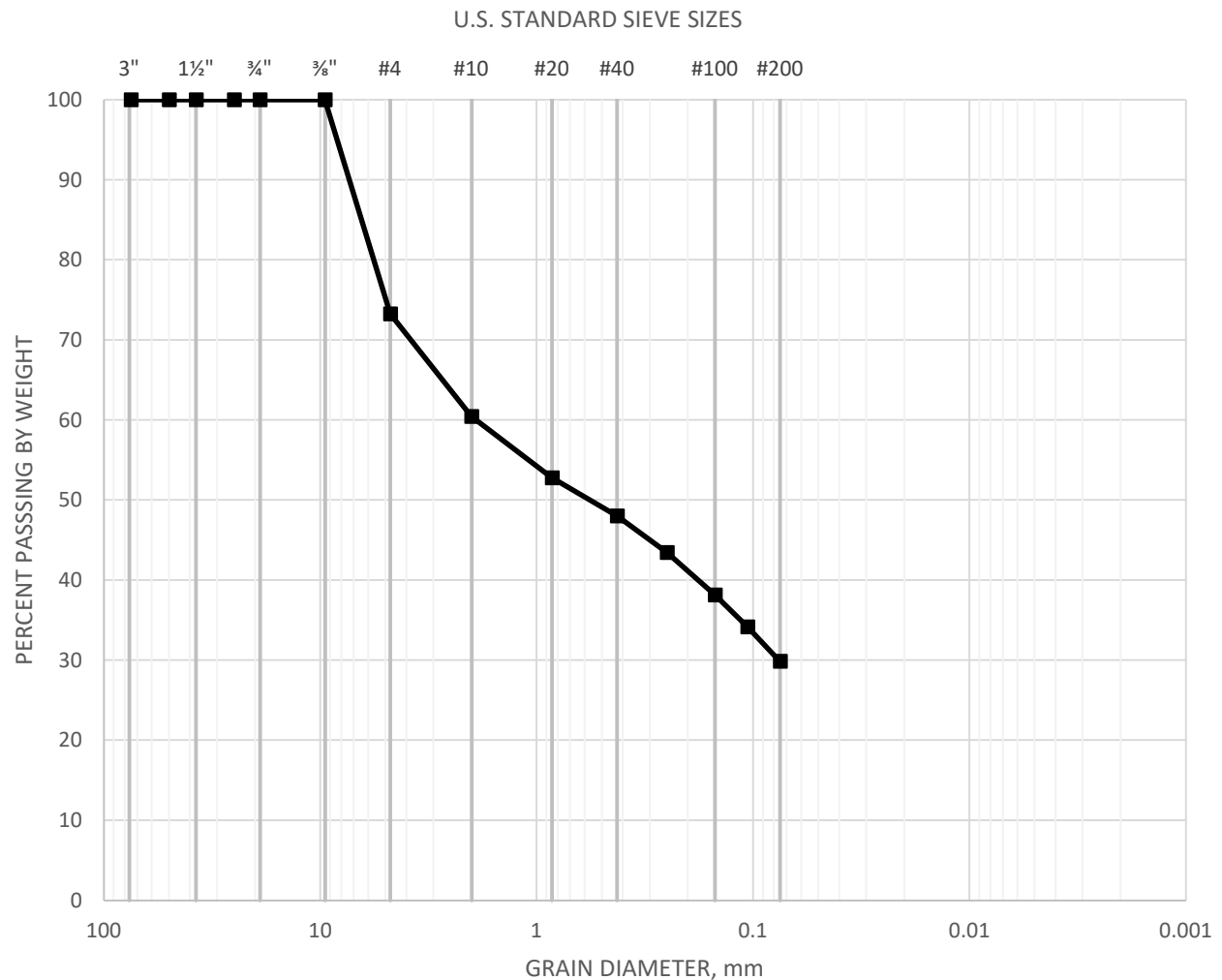
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-6

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-1@25'	Silty SAND with Gravel (SM), dark brown	7.2	0.57	0.074



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

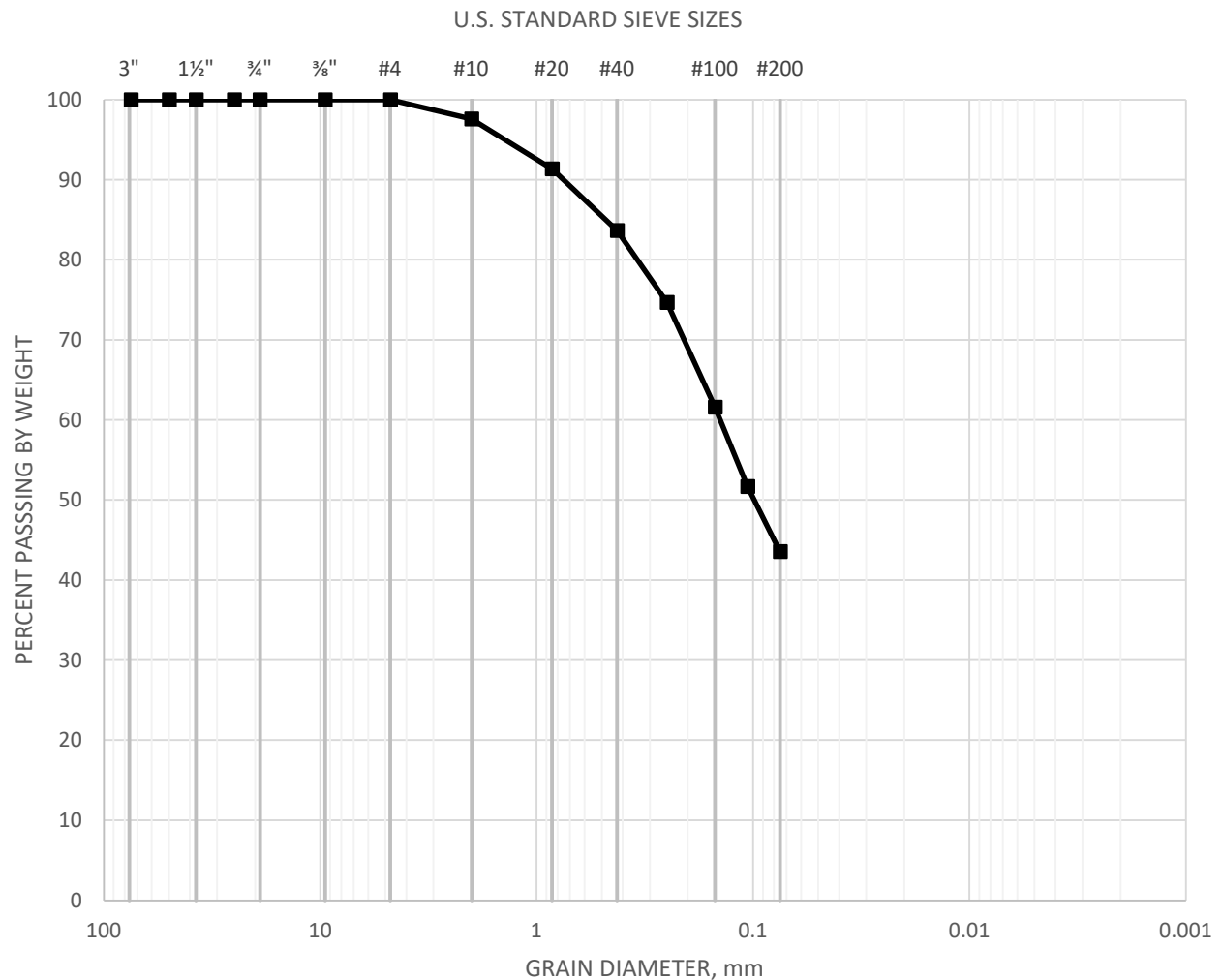
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-7

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-2@2.5'	Silty SAND (SM), brown	0.75	0.099	



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

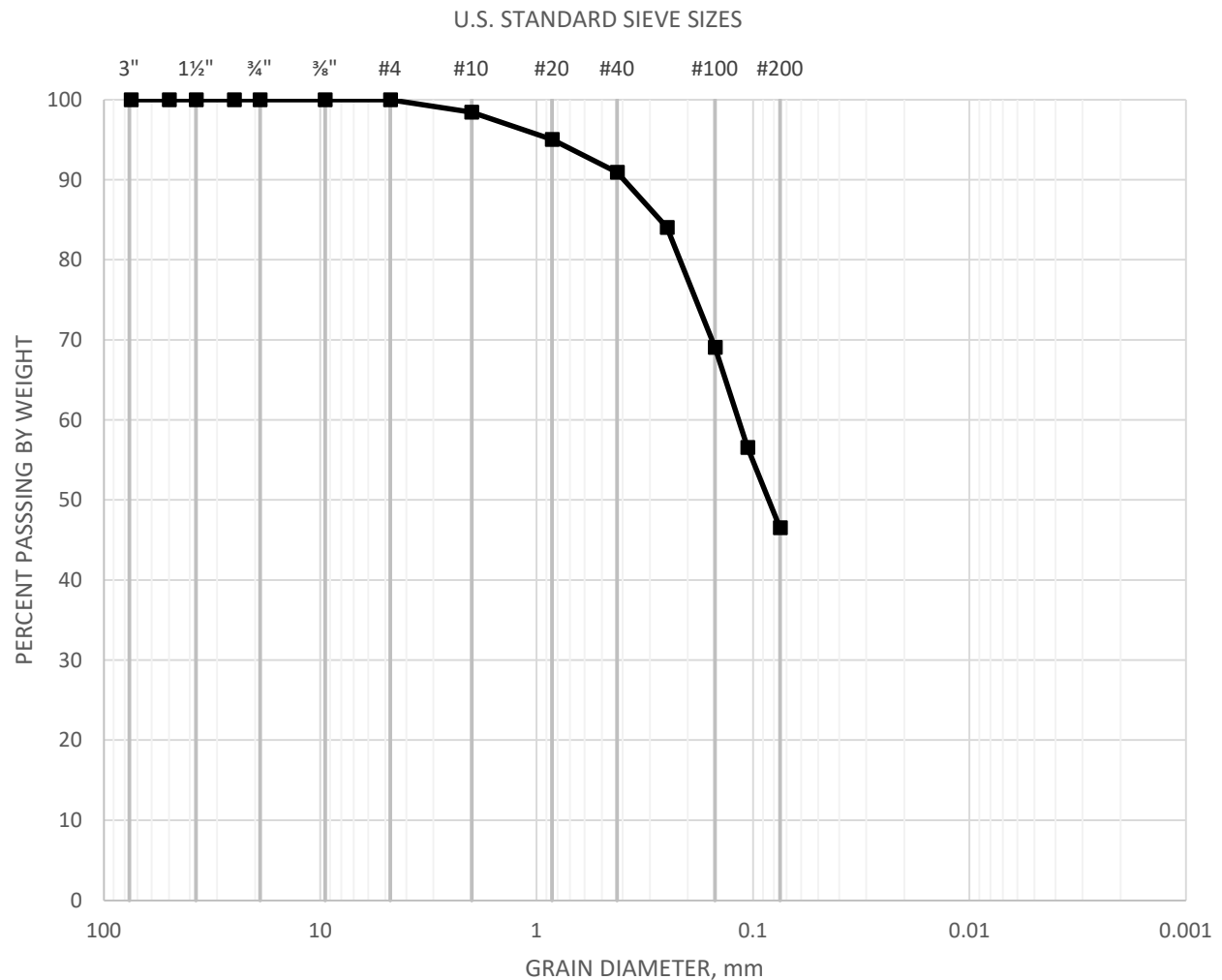
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-8

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-2@7.5'	Silty SAND (SM), brown	0.39	0.083	



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

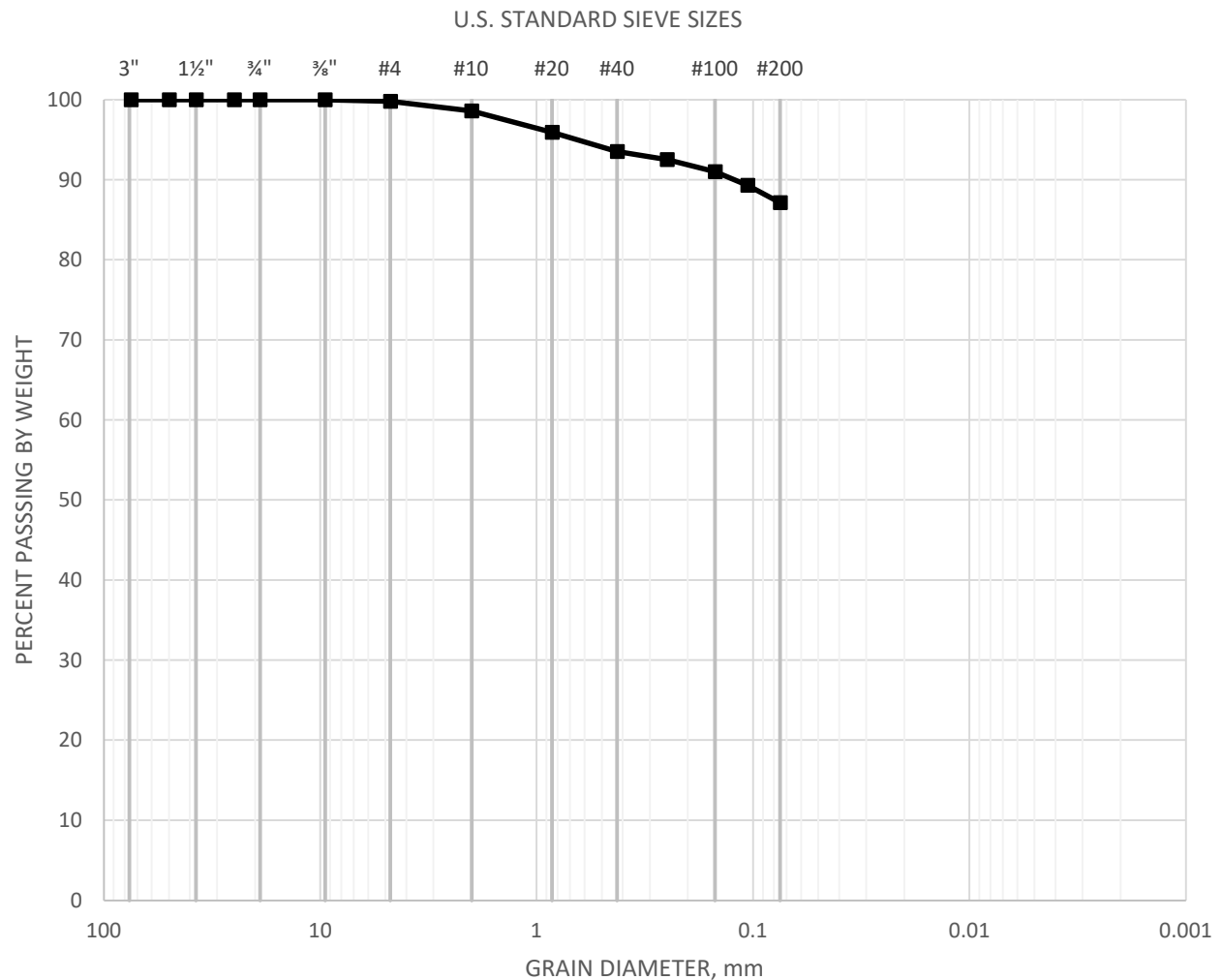
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-9

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-2@12.5'	Lean CLAY (CL), dark brown	0.12		



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

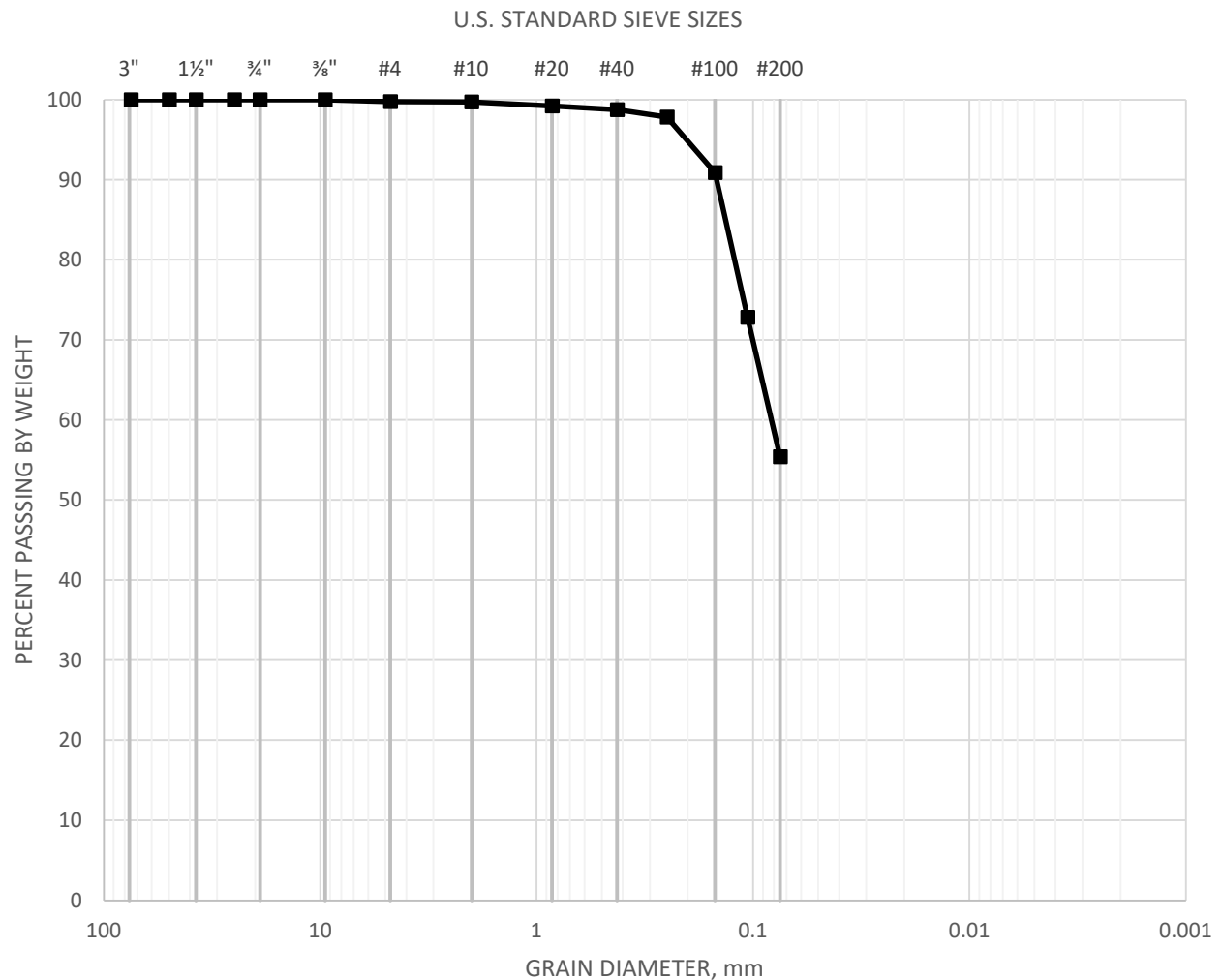
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-10

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-2@20'	SILT with Sand (ML), brown	0.14		



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

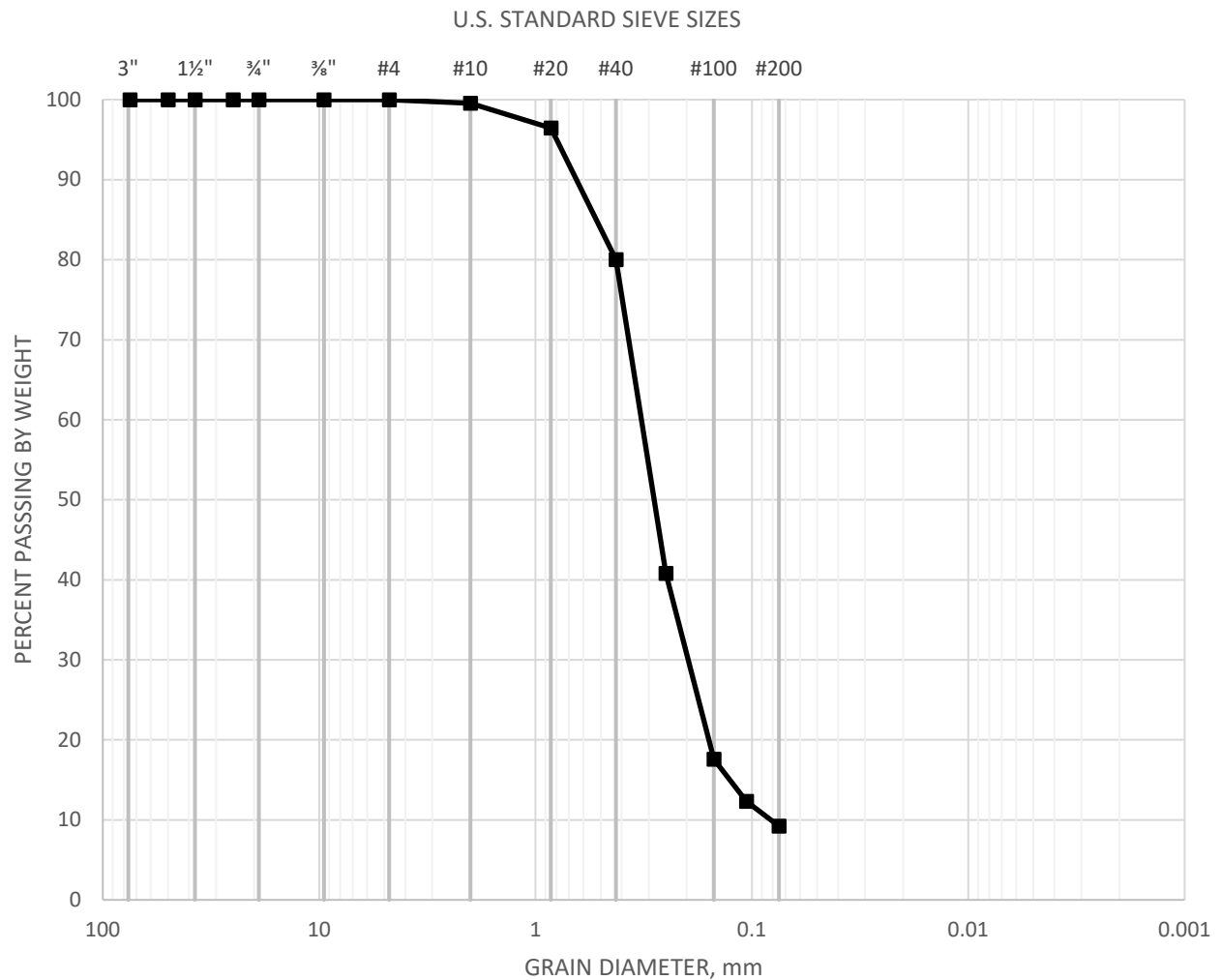
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-11

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



SAMPLE	CLASSIFICATION	D ₉₀	D ₅₀	D ₃₀
B-2@25'	Poorly Graded SAND with Silt (SP-SM), olive brown	0.63	0.28	0.2



GRAIN SIZE DISTRIBUTION

ASTM D 6913

Checked by: RNP

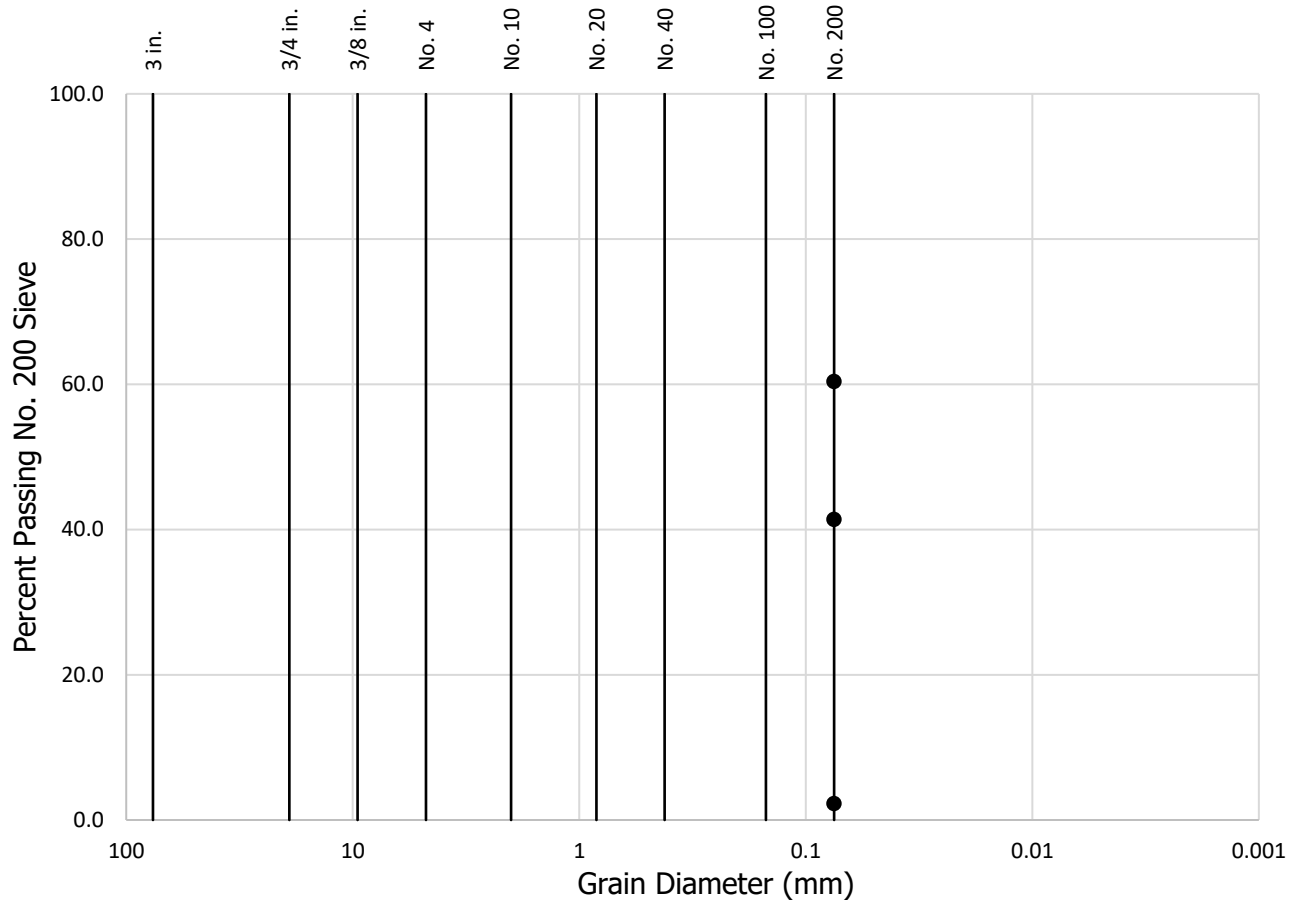
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 25

Figure B-12

GRAVEL		SAND			SILT AND CLAY
COARSE	FINE	COARSE	MEDIUM	FINE	



Sample No.	Percent Passing No. 200 Sieve
B-1 @ 30'	41.4
B-1 @ 40'	60.4
B-2 @ 30'	2.3



GRAIN SIZE ANALYSIS

ASTM D-1140

Checked by: RNP

Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 2025

Figure B-13

B-2@10-15'

MOLDED SPECIMEN		BEFORE TEST	AFTER TEST
Specimen Diameter	(in.)	4.0	4.0
Specimen Height	(in.)	1.0	1.0
Wt. Comp. Soil + Mold	(gm)	594.0	633.5
Wt. of Mold	(gm)	200.3	200.3
Specific Gravity	(Assumed)	2.7	2.7
Wet Wt. of Soil + Cont.	(gm)	473.3	633.5
Dry Wt. of Soil + Cont.	(gm)	443.6	354.7
Wt. of Container	(gm)	173.3	200.3
Moisture Content	(%)	11.0	22.1
Wet Density	(pcf)	118.8	130.5
Dry Density	(pcf)	107.0	106.9
Void Ratio		0.6	0.7
Total Porosity		0.4	0.4
Pore Volume	(cc)	75.6	85.9
Degree of Saturation	(%) [S_{meas}]	52.0	91.4

Date	Time	Pressure (psi)	Elapsed Time (min)	Dial Readings (in.)
4/23/2025	10:00	1.0	0	0.3431
4/23/2025	10:10	1.0	10	0.3421
Add Distilled Water to the Specimen				
4/24/2025	10:00	1.0	1430	0.3916
4/24/2025	11:00	1.0	1490	0.3916

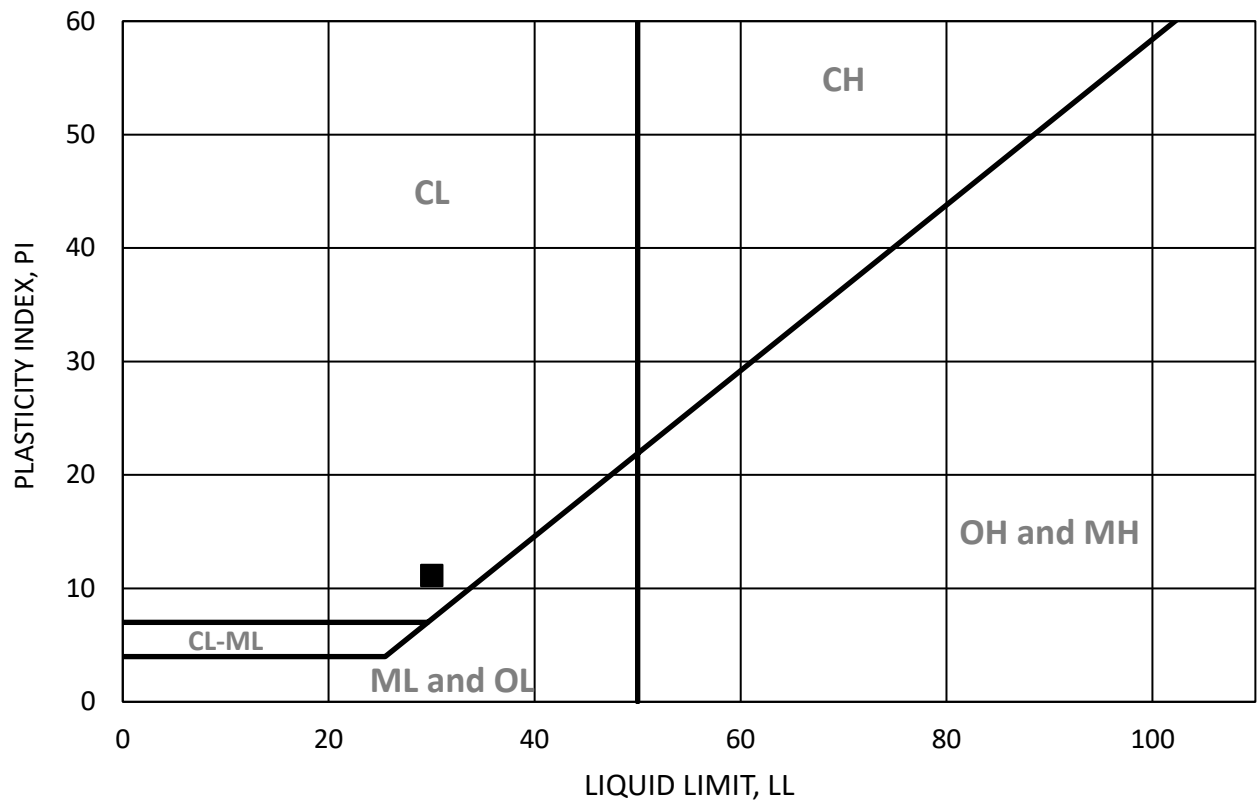
Expansion Index (EI meas) =	49.5
Expansion Index (Report) =	50

Expansion Index, EI_{50}	CBC CLASSIFICATION *	UBC CLASSIFICATION **
0-20	Non-Expansive	Very Low
21-50	Expansive	Low
51-90	Expansive	Medium
91-130	Expansive	High
>130	Expansive	Very High

* Reference: 2022 California Building Code, Section 1803.5.3

** Reference: 1997 Uniform Building Code, Table 18-I-B.

 GEOCON	EXPANSION INDEX TEST RESULTS ASTM D-4829	Project No.: T2647-22-19
		HAYES AVENUE BRIDGE EMERGENCY REPLACEMENT MURRIETA, CALIFORNIA
	Checked by: RNP	May 2025 Figure B-14



SYMBOL	BORING	DEPTH (ft)	LL	PL	PI	MOISTURE CONTENT AT SATURATION	SOIL BEHAVIOR
■	B-2	10-15	30	19	11		CL
◆							
▲							
●							
□							
◇							
△							
○							

N/P = Non-Plastic



ATTERBERG LIMITS

ASTM D-4318

Checked by: RNP

Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 2025

Figure B-15

SUMMARY OF LABORATORY
POTENTIAL OF HYDROGEN (pH) AND RESISTIVITY TEST RESULTS
AASHTO T289 ASTM D4972 and AASHTO T288 ASTM G187


Sample No.	pH	Resistivity (ohm centimeters)
B-2@10-15'	8.4	1800

SUMMARY OF LABORATORY CHLORIDE CONTENT TEST RESULTS
AASHTO T291 ASTM C1218

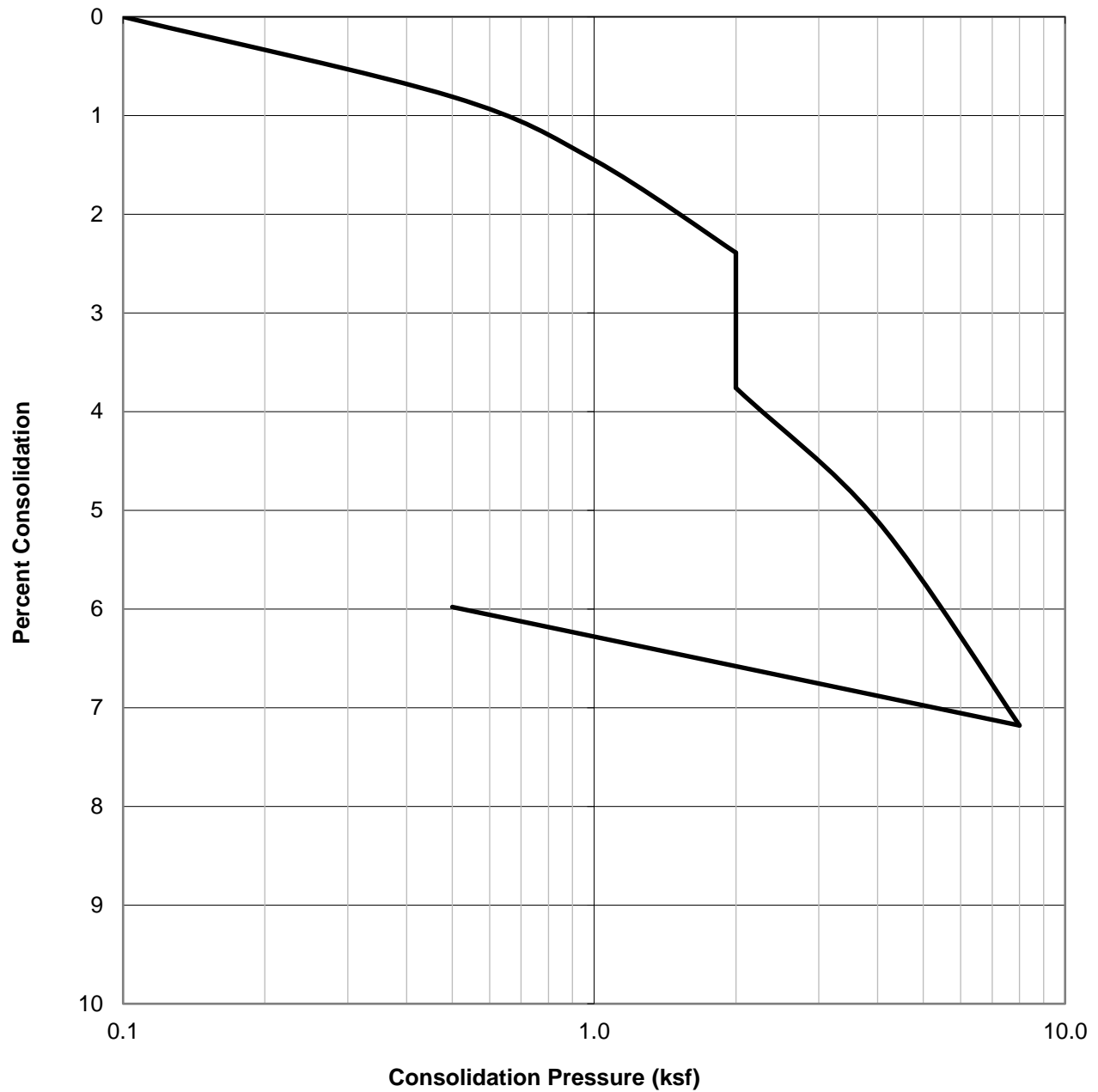
Sample No.	Chloride Ion Content (%)
B-2@10-15'	0.011

SUMMARY OF LABORATORY WATER SOLUBLE SULFATE TEST RESULTS
AASHTO T290 ASTM C1580

Sample No.	Water Soluble Sulfate (% SO ₄)	Sulfate Exposure
B-2@10-15'	0.000	S0

 GEOCON	CORROSIVITY TEST RESULTS		Project No.: T2647-22-19
			HAYES AVENUE BRIDGE EMERGENCY REPLACEMENT MURRIETA, CALIFORNIA
	Checked by: RNP	May 2025	Figure B-16

WATER ADDED AT 2.0 KSF



SAMPLE ID.	SOIL TYPE	DRY DENSITY (PCF)	INITIAL MOISTURE (%)	FINAL MOISTURE (%)
B-1@15'	SILT with Sand (ML), brown	112.2	10.7	16.0



CONSOLIDATION TEST RESULTS

ASTM D-2435

Checked by: RNP

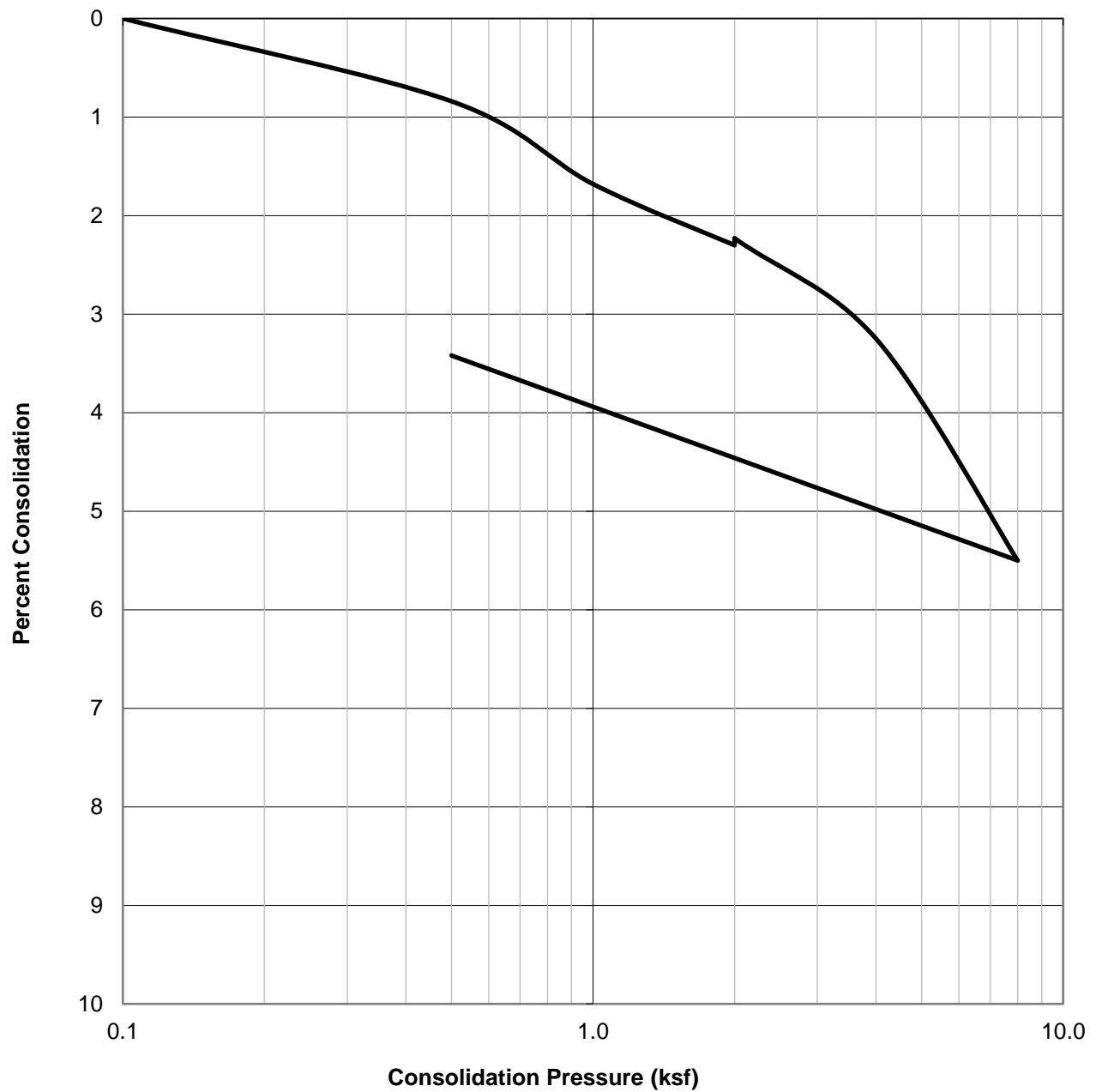
Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 2025

Figure B-17

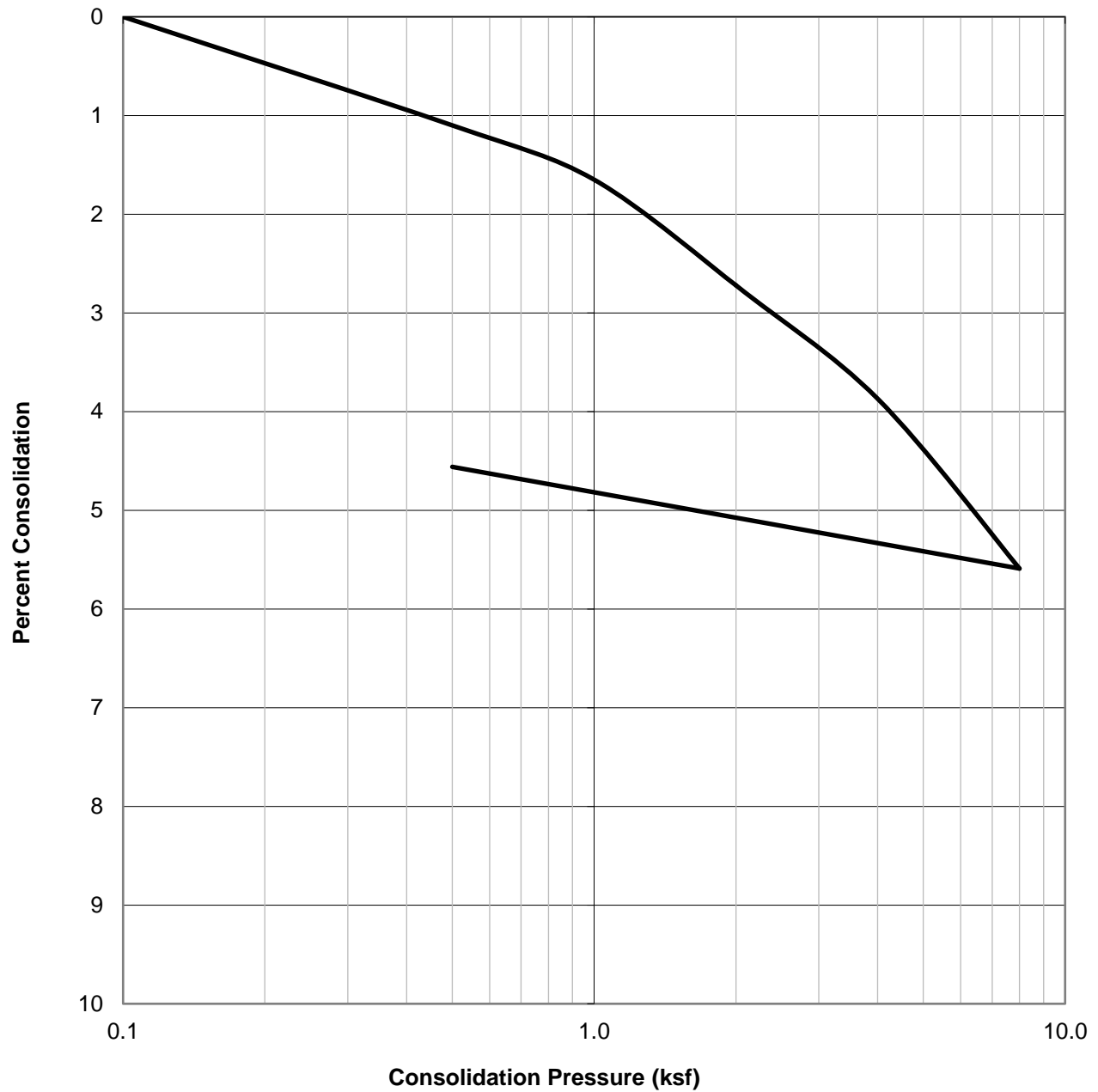
WATER ADDED AT 2.0 KSF



SAMPLE ID.	SOIL TYPE	DRY DENSITY (PCF)	INITIAL MOISTURE (%)	FINAL MOISTURE (%)
B-1@17.5'	SILT with Sand and Gravel (ML), brown	105.6	22.3	21.5

 GEOCON	CONSOLIDATION TEST RESULTS ASTM D-2435	Project No.: T2647-22-19	
		HAYES AVENUE BRIDGE EMERGENCY REPLACEMENT MURRIETA, CALIFORNIA	
	Checked by: RNP	May 2025	Figure B-18

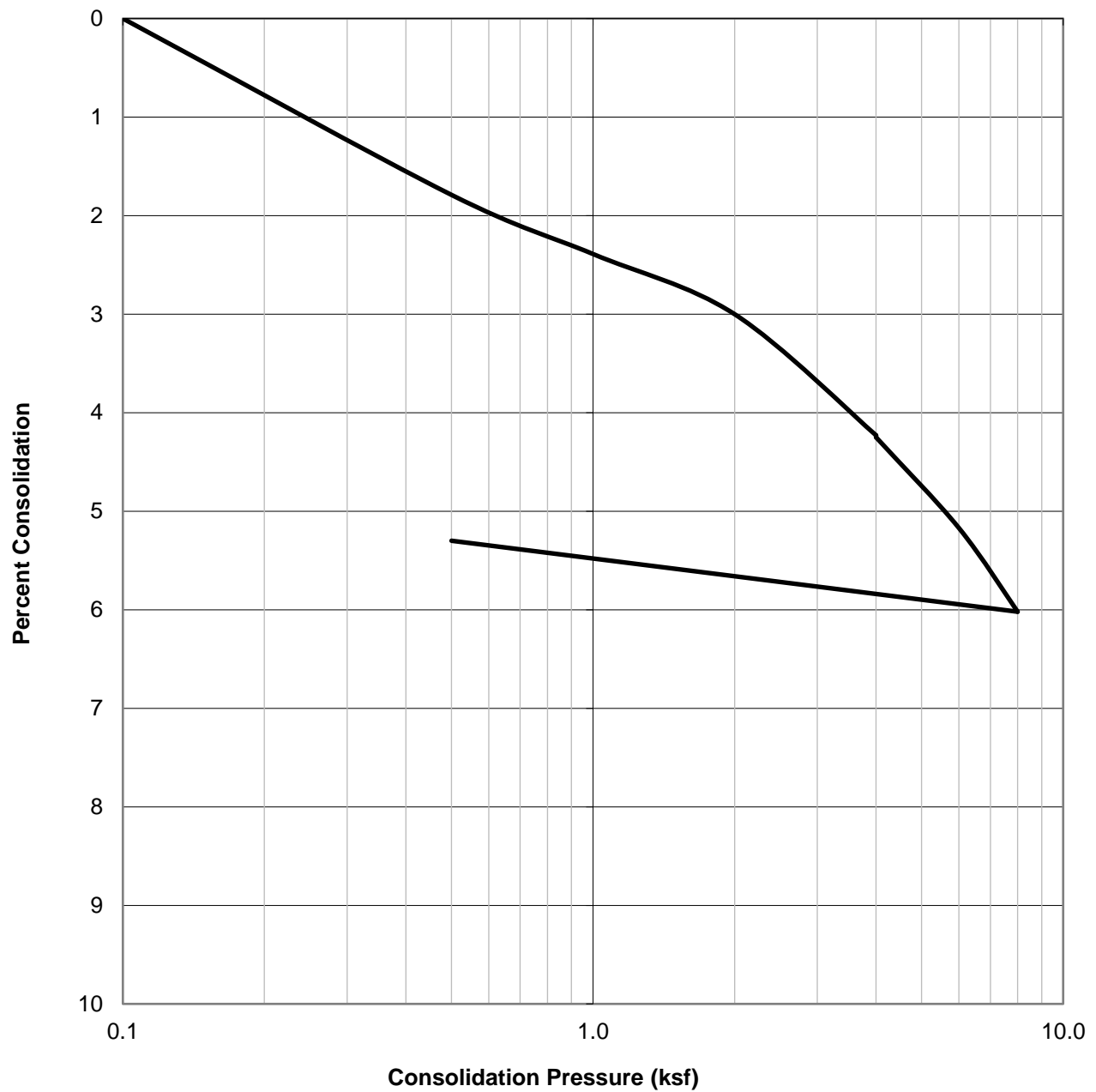
WATER ADDED AT 2.0 KSF



SAMPLE ID.	SOIL TYPE	DRY DENSITY (PCF)	INITIAL MOISTURE (%)	FINAL MOISTURE (%)
B-1@20'	Clayey SAND (SC)	110.3	19.4	17.9

	CONSOLIDATION TEST RESULTS ASTM D-2435	Project No.: T2647-22-19	
		HAYES AVENUE BRIDGE EMERGENCY REPLACEMENT MURRIETA, CALIFORNIA	
	Checked by: RNP	May 2025	Figure B-19

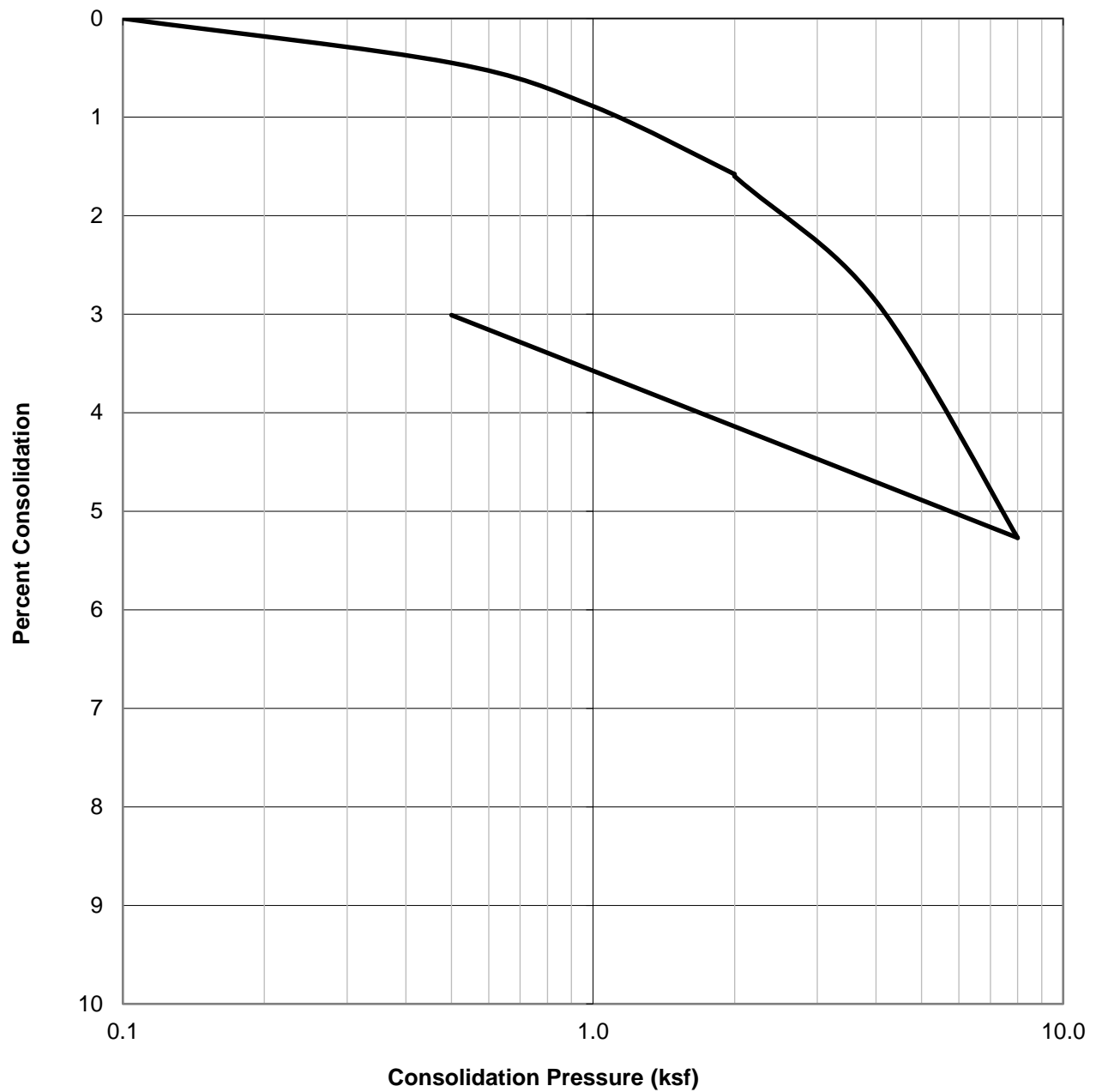
WATER ADDED AT 4.0 KSF




SAMPLE ID.	SOIL TYPE	DRY DENSITY (PCF)	INITIAL MOISTURE (%)	FINAL MOISTURE (%)
B-1@25'	Silty SAND (SM), dark brown	118.3	17.4	18.0

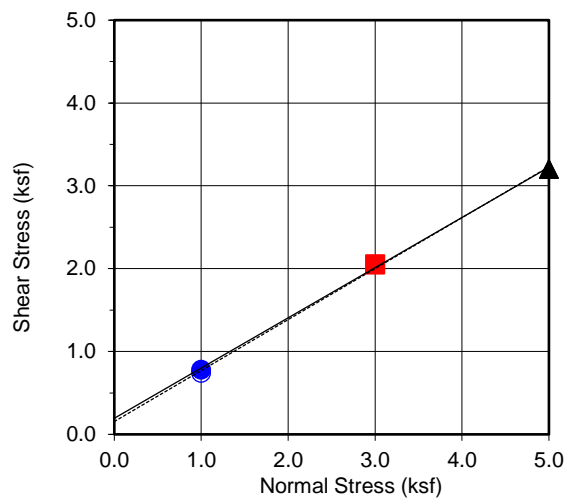
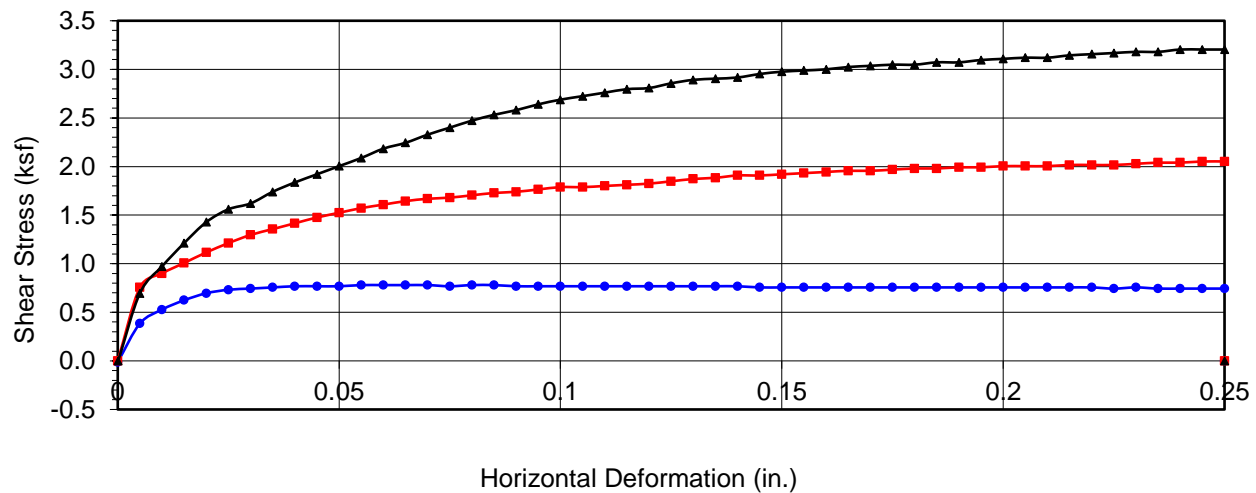
 GEOCON	CONSOLIDATION TEST RESULTS ASTM D-2435	Project No.:	T2647-22-19
		HAYES AVENUE BRIDGE EMERGENCY REPLACEMENT MURRIETA, CALIFORNIA	
	Checked by: RNP	May 2025	Figure B-20

WATER ADDED AT 2.0 KSF



SAMPLE ID.	SOIL TYPE	DRY DENSITY (PCF)	INITIAL MOISTURE (%)	FINAL MOISTURE (%)
B-2@17.5'	Silty SAND (SM), brown	102.2	24.4	25.1

	CONSOLIDATION TEST RESULTS ASTM D-2435	Project No.: T2647-22-19 HAYES AVENUE BRIDGE EMERGENCY REPLACEMENT MURRIETA, CALIFORNIA
	Checked by: RNP	May 2025
	Figure B-21	



Boring No.	B-1
Sample No.	B-1@3-8'
Depth (ft)	3-8'
<u>Sample Type:</u>	Bulk

<u>Soil Identification:</u>		
Silty SAND with trace Clay (SM), olive brown		
Strength Parameters		
	C (psf)	ϕ (°)
Peak	194	31
Ultimate	155	32

Normal Stress (kip/ft ²)	1	3	5
Peak Shear Stress (kip/ft ²)	● 0.78	■ 2.05	▲ 3.20
Shear Stress @ End of Test (ksf)	○ 0.74	□ 2.05	△ 3.20
Deformation Rate (in./min.)	0.05	0.05	0.05
Initial Sample Height (in.)	1.0	1.0	1.0
Ring Inside Diameter (in.)	2.375	2.375	2.375
Initial Moisture Content (%)	8.1	8.1	8.0
Initial Dry Density (pcf)	117.9	118.0	117.9
Initial Degree of Saturation (%)	51.2	51.2	50.5
Soil Height Before Shearing (in.)	1.2	1.2	1.2
Final Moisture Content (%)	13.4	11.0	11.9



DIRECT SHEAR TEST RESULTS

Consolidated Drained ASTM D-3080

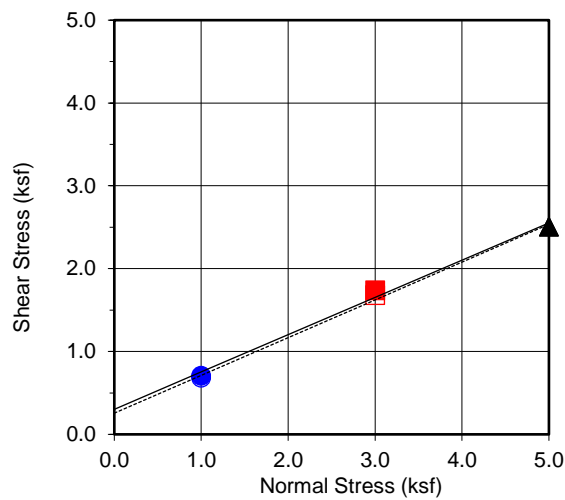
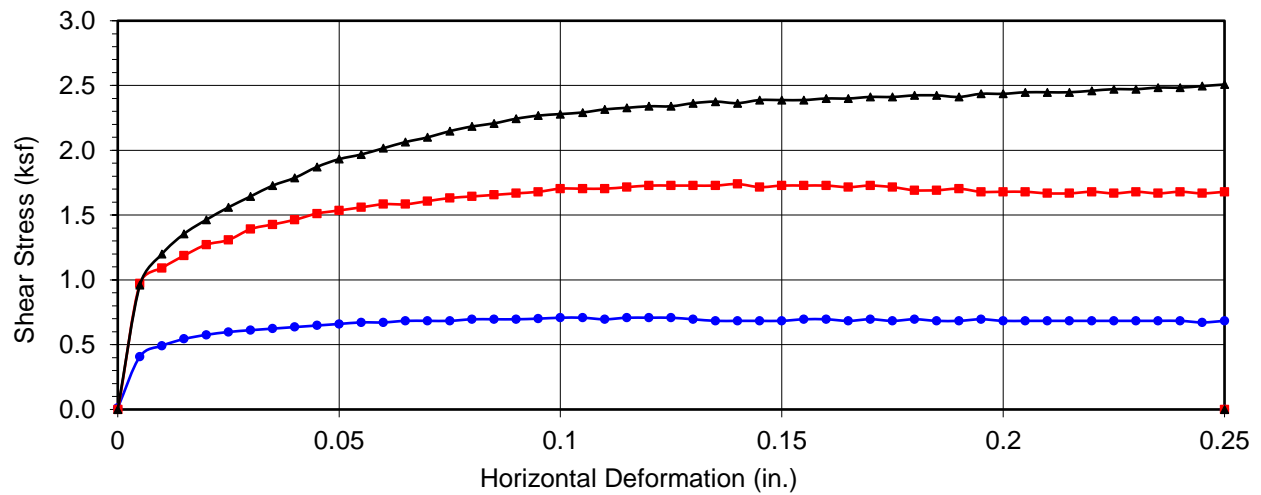
Checked by: RNP

Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 2025

Figure B-22



Boring No.	B-2
Sample No.	B-2@10-15'
Depth (ft)	10-15'
<u>Sample Type:</u>	Bulk

<u>Soil Identification:</u>		
Clayey SAND (SC), brown		
<u>Strength Parameters</u>		
	C (psf)	ϕ (°)
Peak	302	24
Ultimate	256	25

Normal Stress (kip/ft ²)	1	3	5
Peak Shear Stress (kip/ft ²)	● 0.71	■ 1.74	▲ 2.51
Shear Stress @ End of Test (ksf)	○ 0.68	□ 1.68	△ 2.51
Deformation Rate (in./min.)	0.05	0.05	0.05
Initial Sample Height (in.)	1.0	1.0	1.0
Ring Inside Diameter (in.)	2.375	2.375	2.375
Initial Moisture Content (%)	10.6	10.5	10.5
Initial Dry Density (pcf)	115.9	116.1	116.0
Initial Degree of Saturation (%)	62.9	62.5	62.8
Soil Height Before Shearing (in.)	1.2	1.2	1.2
Final Moisture Content (%)	15.5	12.3	11.5



DIRECT SHEAR TEST RESULTS

Consolidated Drained ASTM D-3080

Checked by: RNP

Project No.: T2647-22-19

HAYES AVENUE BRIDGE
EMERGENCY REPLACEMENT
MURRIETA, CALIFORNIA

May 2025

Figure B-23

ATTACHMENT F

PLANS

GRADING NOTES

1. ALL GRADING SHALL CONFORM TO THE CITY OF MURRIETA GRADING CODE AND MANUAL .
2. MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1%. DRAINAGE SWALES SHALL BE A MINIMUM OF 0.2' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES.
3. MAXIMUM CUT AND FILL SLOPE = 2: 1
4. PROVIDE 4' WIDE BY 1' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL FILL SLOPES OVER 5' HIGH.
5. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A COMPETENT SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1' DEEP.
6. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND OTHER DELETERIOUS MATERIAL.
7. DUST SHALL BE CONTROLLED BY WATER OR OTHER APPROVED METHODS
8. ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
9. "NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED."
10. ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
11. WORK MAY NOT START UNTIL PERMITS HAVE BEEN OBTAINED.
12. PURSUANT TO THE CITY OF MURRIETA MUNICIPAL CODE 15.52.150, GRADING AND EQUIPMENT OPERATION WITHIN ONE-HALF (1/2) MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8:00 PM AND 7:00 AM, NOR ON SUNDAY AND FEDERAL HOLIDAYS WITHOUT THE APPROVAL OF THE CITY ENGINEER.
13. SOURCE OF TOPOGRAPHY WAS COMPILED BY MICHAEL BAKER INTL., DATED: 04/1/2025.
14. SEPARATE HAUL PERMIT IS REQUIRED FOR ANY IMPORT/EXPORT OF MATERIAL TO/FROM PROJECT SITE.
15. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY LANDSCAPE ARCHITECT AT LEAST 48 HOURS PRIOR TO POURING ANY CONCRETE CURBS IN PLANTER AREAS. THE CITY LANDSCAPE ARCHITECT'S PHONE NUMBER IS (951)698-0122.
16. THE APPLICANT IS HEREBY NOTICED THAT THEY COMPLY WITH ALL STATE AND FEDERAL ENDANGERED SPECIES LAW. THE CITY OF MURRIETA IS NOT RESPONSIBLE FOR ANY SUCH VIOLATION OF STATE OR FEDERAL ENDANGERED SPECIES LAW DUE TO THE APPLICANT'S NON-COMPLIANCE.
17. IN CASE OF EMERGENCY, 24 HOUR CONTACT IS MIKE BURRIS AT (951) 453-0047 (CELL).

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA, AND RELOCATION COST OF ALL EXISTING UTILITIES. PERMITTEE MUST INFORM THE CITY OF CONSTRUCTION SCHEDULE AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION PHONE: (951) 304--2489.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF MURRIETA PUBLIC WORKS DEPARTMENT IMPROVEMENT STANDARDS AND THE 2015 EDITION OF STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK).
3. BLUE RAISED REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED TO MARK FIRE HYDRANT AND/OR WATER SUPPLY LOCATIONS AT THE DIRECTION OF THE CITY INSPECTOR FOLLOWING FINAL SEALANT AND STRIPING.
4. WORK MAY NOT START UNTIL PERMITS HAVE BEEN OBTAINED.
5. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS WITH UNDERGROUND SERVICE ALERT AT 1-800-422-4133 AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
6. ALL PAVEMENT SECTIONS ARE AT MINIMUM REQUIREMENTS. ADDITIONAL SOIL TEST SHALL BE TAKEN AFTER ROUGH GRADING TO DETERMINE THE EXACT STRUCTURAL SECTION REQUIREMENTS. USE STANDARD NO. 320 IF EXPANSIVE SOIL ARE ENCOUNTERED.
7. DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES BY WATER OR OTHER APPROVED METHODS.
8. EQUIPMENT AND MATERIALS SHALL BE STORED IN A NEAT AND PROTECTED MANNER.
9. THE CONTRACTOR WILL CONDUCT HIS OPERATIONS AS TO OFFER THE LEAST POSSIBLE OBSTRUCTION AND INCONVENIENCE TO PUBLIC TRAFFIC, AND HE SHALL HAVE UNDER CONSTRUCTION NO GREATER LENGTH OR AMOUNT OF WORK THAN HE CAN EXECUTE PROPERLY. ON EXISTING ROADS, TRAFFIC SHALL BE PERMITTED TO PASS THROUGH THE WORK AREA WITH AS LITTLE INCONVENIENCE AND DELAY AS POSSIBLE.
10. EXISTING TRAFFIC SIGNALS AND LIGHTING SYSTEMS SHALL BE KEPT IN OPERATION FOR THE BENEFIT OF THE TRAVELING PUBLIC, AND TO MINIMIZE ANY INTERFERENCE WITH ROUTINE MAINTENANCE OF EXISTING SYSTEMS DURING WORK PROGRESS.

GENERAL NOTES (CONTD.)

13. WHENEVER THE CONTRACTOR'S OPERATION CREATES A HAZARDOUS CONDITION TO TRAFFIC OR TO THE PUBLIC, HE SHALL FURNISH AT HIS OWN EXPENSE, SUCH FLAGMEN AND GUARDS AS ARE NECESSARY TO GIVE ADEQUATE WARNING TO THE PUBLIC OF ANY DANGEROUS CONDITIONS. HE SHALL ALSO FURNISH, ERECT AND MAINTAIN SUCH FENCES BARRICADES, LIGHTS, SIGNS, AND OTHER DEVICES NECESSARY TO PREVENT ACCIDENTS AND INJURY TO THE PUBLIC.
14. WHERE SURVEY MONUMENTS EXIST, SUCH MONUMENTS WILL BE PROTECTED OR SHALL BE REFERENCED AND RESET, PURSUANT TO BUSINESS AND PROFESSIONS CODE, SECTION 8700 TO 8805 (LAND SURVEYOR'S ACT).
15. WHERE NEW A.C. PAVEMENT JOIN EXISTING PAVEMENT, SAWCUT TO A NEAT EDGE. THE SAWCUTS MUST BE PERPENDICULAR, PARALLEL OR RADIAL TO THE ROADWAY CENTERLINE. OVERLAY AND FEATHER NEW A.C. PAVEMENT TO PROVIDE SMOOTH TRANSITION.
16. ALL EXISTING STREET SIGNS, ROADSIDE MARKERS ETC., SHALL BE PROTECTED AND/OR REPLACED IN KIND TO THE CURRENT CITY STANDARD PLANS AND CURRENT TRAFFIC MANUAL, AT NO COST TO THE CITY.
17. ASPHALTIC EMULSION (FOG SEAL) SHALL BE APPLIED NOT LESS THAN FOURTEEN (14) DAYS FOLLOWING PLACEMENT OF THE ASPHALT SURFACING AND SHALL BE APPLIED AT A MIN. RATE OF 0.05 GALLON PER SQUARE YARD. ASPHALTIC EMULSION SHALL CONFORM TO SECTION 37, 39, AND 94 OF THE STATE STANDARD SPECIFICATIONS.
18. ALL UNDERGROUND FACILITIES, WITH LATERALS SHALL BE IN PLACE PRIOR TO PAVING THE STREET SECTION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: WATER, SEWER, GAS, ELECTRIC, CABLE T.V., TELEPHONE, AND DRAINAGE.
19. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES, INCLUDING ANY OTHER LINES NOT SHOWN ON THESE PLANS OR NOT OF RECORD.
20. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY TO THE CITY OF MURRIETA ENGINEERING DEPARTMENT, FOR AN ENCROACHMENT PERMIT FOR ALL WORK ON EXISTING CITY MAINTAINED ROADS, AND FOR UTILITY WORK WITHIN OFFERS OF DEDICATION FOR PUBLIC USE.
21. ALL GTE, SCE AND SCG FACILITIES WILL BE RELOCATED OR MODIFIED BY THE RESPECTIVE UTILITIES OR THEIR APPOINTED REPRESENTATIVES.
22. ALL SEWER RELATED WORK SHALL BE DONE IN ACCORDANCE WITH THE SERVICING WATER DISTRICT STANDARDS AND SPECIFICATIONS.
23. ANY SERVICE SHUT DOWN SHALL BE DONE AT NIGHT, PRIOR TO ANY SHUT DOWN, THE CONTRACTOR SHALL NOTIFY THE DIRECTOR, ENGINEER, CUSTOMER, FIRE DEPARTMENT, SERVICING WATER DISTRICT, AND ALL OTHERS AFFECTED BY THE SHUT DOWN A MINIMUM OF TWO (2) WEEKS IN ADVANCE.
24. 24 HOUR EMERGENCY CONTACT:
CONTACT: MIKE BURRIS
CELL: (951) 453-0047

PAVING NOTES

1. AN APPROVED SOIL STERILIZER SHALL BE USED ON ALL SUBGRADE SURFACES PRIOR TO PLACEMENT OF PAVING.
2. ASPHALTIC EMULSION (FOG SEAL) SHALL BE APPLIED NO LESS THAN FOURTEEN DAYS FOLLOWING PLACEMENT OF THE ASPHALT SURFACING AND SHALL BE APPLIED AT A RATE OF 0.05 GALLONS PER SQUARE YARD. ASPHALT EMULSION SHALL CONFORM TO SECTION 37, 39 AND 94 OF THE STATE STANDARD SPECIFICATIONS.
3. THE SUBDIVIDER OR CONTRACTOR SHALL APPLY TO THE CITY ENGINEERING DEPARTMENT FOR AN ENCROACHMENT PERMIT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
4. TWO SPECIAL INSPECTIONS ARE REQUIRED BY THE CITY ENGINEERING DEPARTMENT. ONE INSPECTION AT THE TIME THE BASE IS PLACED AND THE SECOND WHEN THE A.C. HAS BEEN PLACED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA, AND RELOCATION AND COST OF ALL EXISTING UTILITIES. THE CITY SHALL BE INFORMED 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION AT (951)304-2489.
6. A COMPACTION REPORT BY A SOIL ENGINEER SHALL CERTIFY 95% COMPACTION OF BASE PRIOR TO CALLING FOR SECOND INSPECTION AND PLACEMENT OF ASPHALT PAVING.

CITY OF MURRIETA
STORM DRAIN IMPROVEMENT PLAN
HAYES AVE BRIDGE AT MILLER CANYON CREEK
BRIDGE REPLACEMENT

EROSION CONTROL NOTES

1. IN CASE OF EMERGENCY, CALL: MIKE BURRIS
WORK: (951) 453-0047
2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
3. DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE ENGINEERING DEPARTMENT.
4. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
5. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING BASINS, AND THE BASINS PUMPED DRY.
6. GRADED AREAS AROUND THE TRACT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
8. GRAVEL BAG LAYOUT SHALL BE INSTALLED AS SHOWN PER PLAN OR AS DIRECTED BY THE CITY INSPECTOR.

STREET NOTES

1. THE STRUCTURAL SECTION SHOWN ON THE PLANS IS THE MINIMUM SECTION REQUIRED BY THE CITY. ACTUAL STRUCTURAL SECTIONS WILL BE DETERMINED AFTER THE "R" VALUE TEST HAS BEEN CONDUCTED BY A QUALIFIED SOILS ENGINEER ON THE PREPARED SUB-BASE MATERIAL. THE "R" VALUE TEST AND ENGINEERED STRUCTURAL SECTION MUST BE APPROVED BY THE ENGINEERING INSPECTOR PRIOR TO THE INSTALLATION OF BASE AND PAVING MATERIALS. STRUCTURAL SECTIONS DIFFERING FROM THE MINIMUM SHALL BE NOTED ON THE "AS-BUILT" DRAWINGS.
2. A RIGHT-OF-WAY PERMIT IS REQUIRED FROM THE ENGINEERING DEPARTMENT PRIOR TO START OF ANY CONSTRUCTION WITHIN CITY RIGHT-OF-WAY.
3. FIRE HYDRANT MARKERS SHALL BE PLACED IN THE STREET ADJACENT TO ALL NEW AND EXISTING FIRE HYDRANTS IN CONFORMANCE WITH CITY FIRE DEPARTMENT REQUIREMENTS.

OWNER:

CITY OF MURRIETA
1 TOWN SQUARE
MURRIETA, CA. 92562
CONTACT: JEFFREY J. HITCH
PHONE: (949) 461-6076

ENGINEER / REPRESENTATIVE:

MICHAEL BAKER INTERNATIONAL
40810 COUNTY CENTER DRIVE, SUITE 200
TEMECULA, CA. 92591
CONTACT: TODD L. PITNER
PHONE: (949) 933-2552

GEOTECHNICAL ENGINEER

GEOCON WEST, INC.
41571 CORNING PLACE
SUITE 101
MURRIETA, CA 92562
CONTACT: ANDREW T. SHOASHEKAN
PHONE: (951) 225-2628

FLOOD PLAIN NOTE

PROPERTY IS LOCATED ADJACENT TO FLOOD ZONE "AE" BEING DESCRIBE AS SPECIAL HAZARD FLOOD AREA WITH BASE FOOD ELEVATION PER NATIONAL FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 06065C2715G, EFFECTIVE AS OF 8-28-2008.

CONSTRUCTION NOTES

- ① CONSTRUCT CAST-IN-PLACE REINFORCED CONCRETE SINGLE BOX CULVERT (14' W X 7' H) PER CALTRANS STD PLAN D80, EXCAVATE AND BACKFILL PER RCFCD STD DWG NO. M815.
- ② CONSTRUCT BOX CULVERT WINGWALLS TYPE A PER CALTRANS STD PLAN D84.
- ③ CONSTRUCT MODIFIED APPROACH AND MODIFIED DEPARTURE MIDWESTERN GUARDRAIL SYSTEM STANDARD RAILING SECTION PER CALTRANS STD PLAN A7701 (APPROACH) AND A7704 (DEPARTURE) WITH TYPE 12B AND TYPE 12BB END POSTS, RESPECTIVELY. SEE LAYOUT DETAIL ON SHEET 2
- ④ INSTALL RIPRAP ENERGY DISSIPATOR PER CITY OF MURRIETA STD PLAN NO. 446A, AND OMIT CONCRETE SILL. DESIGN VELOCITY 16-18 FT/SEC. SEE WINGWALL DETAIL 1 ON SHEET 2.
- ⑤ CONSTRUCT CONCRETE BARRIER TYPE 836 PER CALTRANS STD PLAN B11-79 & B11-80 WITH TUBULAR HANDRAIL PER CALTRANS STD PLAN B-11-51.
- ⑥ CONSTRUCT FULL DEPTH PAVEMENT SECTION PER DETAIL 2 ON SHEET 2
- ⑦ COLDPLANE AND OVERLAY 0.17' OF HMA PER DETAIL 2 ON SHEET 2
- ⑧ RESTRIPE STREET CENTERLINE WITHIN LIMITS OF IMPROVEMENTS UPON COMPLETION OF AC PAVEMENT.

QUANTITY

27.5 LF

4 EA

125 LF

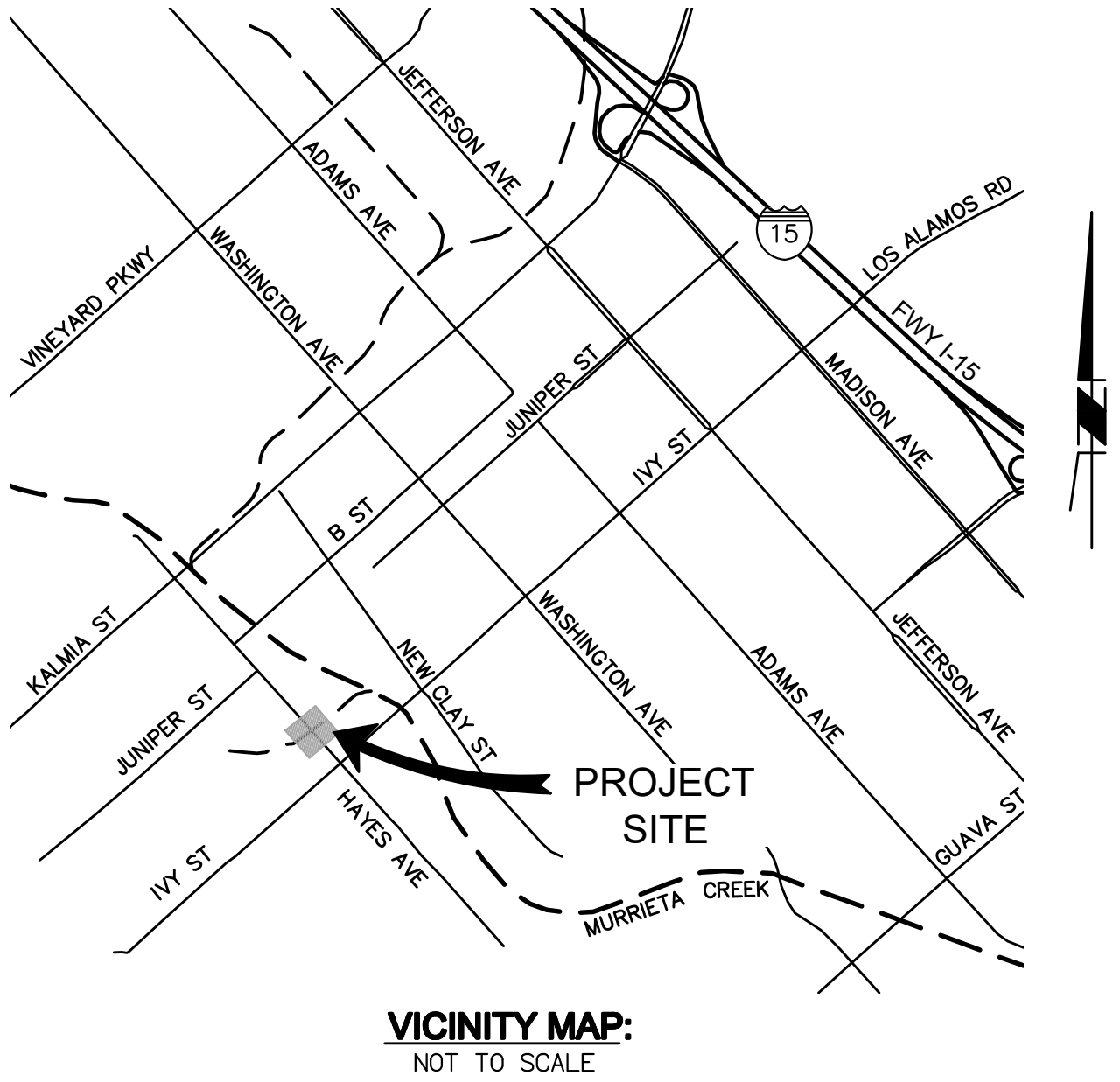
62 CY

32 LF

1450 SF

3000 SF

195 LF



VICINITY MAP:
NOT TO SCALE

SHEET INDEX

- 1 TITLE SHEET
- 2 DETAILS SHEET
- 3 ROB PLAN & PROFILE
- 4 STREET PLAN & PROFILE

DISTURBED AREA

0.20 AC

EARTHWORK QUANTITIES

DESCRIPTION	CUT (CY)	FILL (CY)
MASS EXCAVATION (RAW)	220	150
(EXPORT)	70	0

THIS OPINION OF EARTHWORK QUANTITIES IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR. THE GROSS VOLUMES DO NOT INCLUDE THE EFFECTS OF SCARIFYING, RECOMPACTION, OR OTHER FACTORS AND ARE SUBJECT TO FIELD CONDITIONS THAT MAY BE SPECIFIED IN THE SOILS REPORT.

OVER EXCAVATION, SHRINKAGE AND SUBSIDENCE WERE ESTIMATED IN THE TAKEOFFS LISTED ABOVE. SINCE THE CIVIL ENGINEER CANNOT CONTROL THE EXACT MEANS AND METHODS USED BY THE CONTRACTOR DURING GRADING OPERATIONS, NOT CAN THE CIVIL ENGINEER GUARANTEE THE EXACT SOIL CONDITIONS OVER THE ENTIRE SITE, THE CIVIL ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES. NO GUARANTEE OR WARRANTY EXPRESSED OR IMPLIED IS MADE WITH RESPECT TO THE ACURACY OF THIS DATA OR INFORMATION. IN NO EVENT WILL MICHAEL BAKER INTL. BE LIABLE FOR ANY LOSS OF PROFIT OR ANY OTHER COMMERCIAL DAMAGE INCLUDING BUT NOT LIMITED TO SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR OTHER DAMAGES RESULTING FROM THE USE OF THIS INFORMATION OR DATA.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE. AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATION BY THE CITY OF MURRIETA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

ENGINEER COMPANY NAME:
MICHAEL BAKER INTERNATIONAL
40810 COUNTY CENTER DRIVE, SUITE 200
TEMECULA, CA 92591
(951) 676-8042

_____, DATE _____
TODD L. PITNER
RCE NO. 58606

SOURCE OF TOPOGRAPHY

MICHAEL BAKER INTL. COMPILED DATE 4/1/2025

BASIS OF BEARINGS

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 8 (2017 50) IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819. SAID COORDINATES ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING, OR EQUIVALENT STATIONS: "CASE", "DLUZ", "P476", AND "P477" MAINTAINED AND PUBLISHED BY CALIFORNIA SPATIAL REFERENCE CENTER (CSRC).



BENCH MARK DESCRIPTION: R-1-70 LOCATION: FOUND AT THE NORTHEAST CORNER OF WASHINGTON AVENUE AND C STREET RECORDED: 1-31-1983 ELEVATION: 1090.024'	DATUM: NGVD 29
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RECOMMEND APPROVAL PLAN CHECK ENGR. NAME TYPED DATE PLAN CHECK FIRM RCE NO.



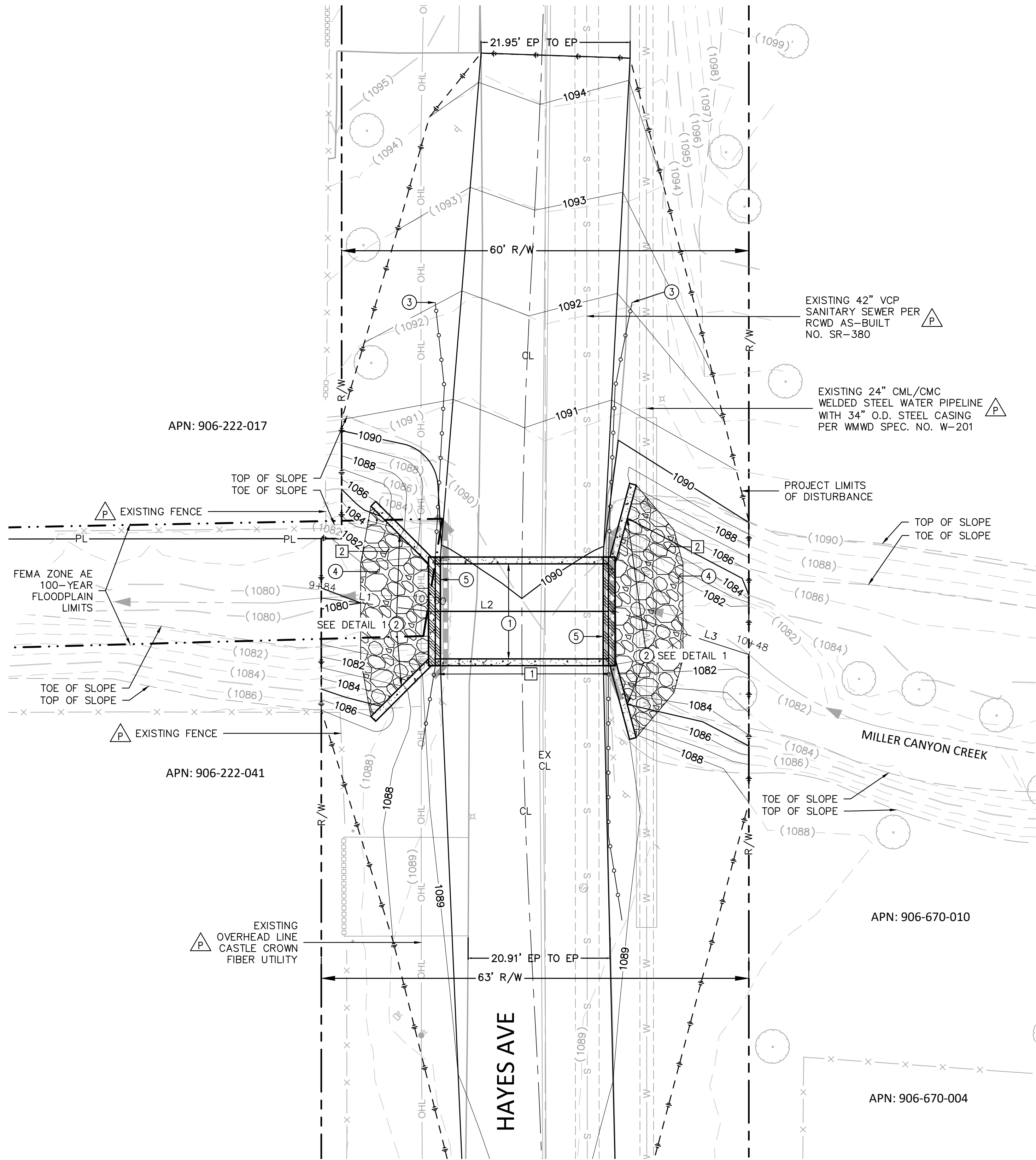
Michael Baker
INTERNATIONAL

40810 COUNTY CENTER DRIVE, SUITE 200
TEMECULA, CA 92591
PHONE: (951) 676-8042 · MBAKERINTL.COM

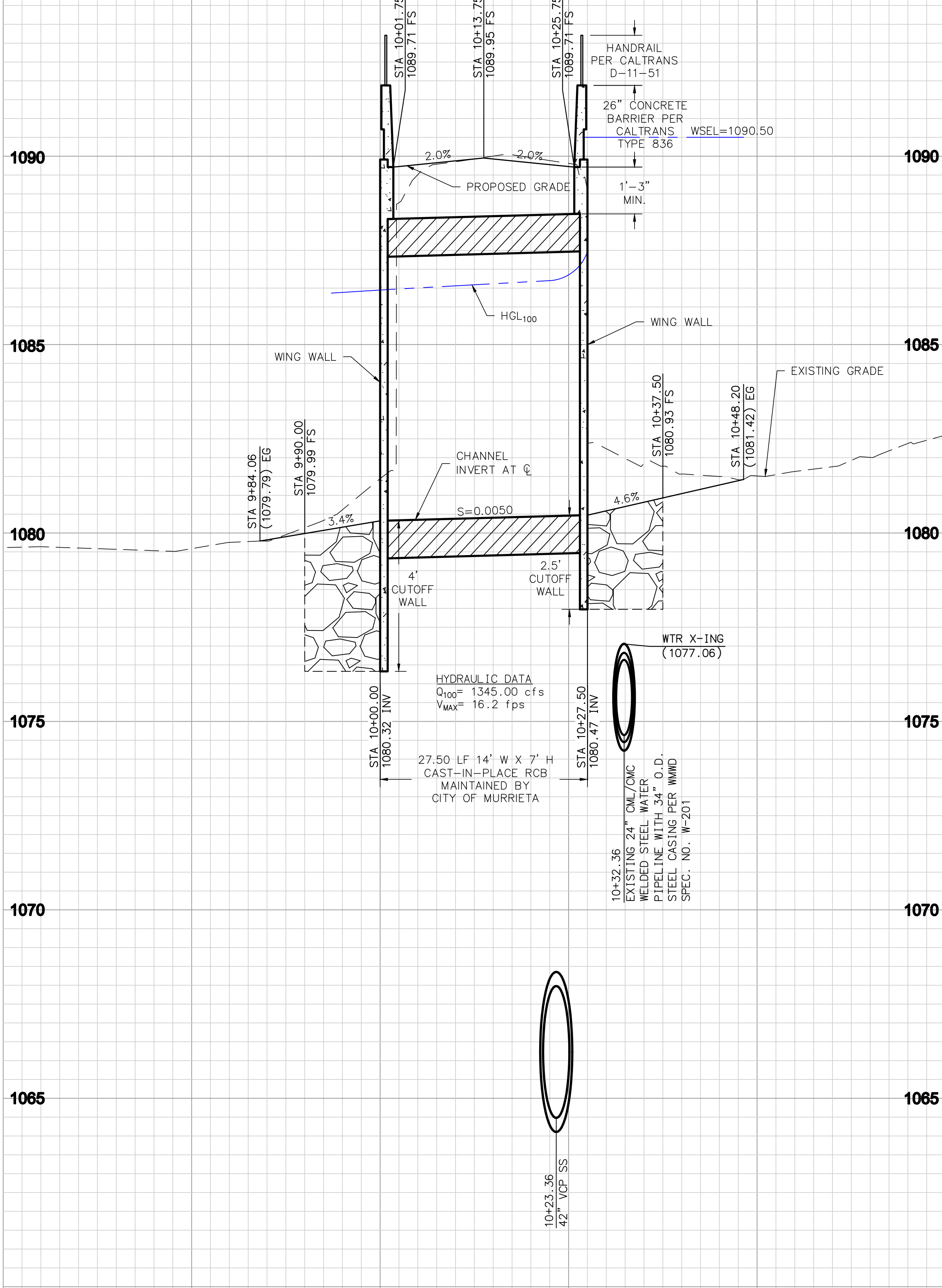
SCALE HORIZONTAL AS NOTED VERTICAL AS NOTED	PREPARED BY TODD L. PITNER R.C.E NO. 58606	DATE
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DATE	INITIAL	REVISION DESCRIPTION	SHT. NO.	DATE	INITIAL
ENGINEER OF WORK				CITY APPROVAL	

SHEET 1	CITY OF MURRIETA ENGINEERING DEPARTMENT	SHEETS 4
STORM DRAIN IMPROVEMENT PLAN HAYES AVE BRIDGE REPLACEMENT TITLE SHEET		
APPROVED JEFFREY J. HITCH, PE CITY ENGINEER		
DATE RCE 58994		
DWN BY: CHKD BY: FIELD BK:	PROJECT NO.	DRAWING NO.



PLAN



PROFILE

- LEGEND**
- CENTERLINE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - FLOODPLAIN DELINEATION
 - DAYLIGHT LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING WING WALL
 - EXISTING SANITARY SEWER
 - EXISTING WATER LINE
 - OHL EXISTING OVERHEAD UTILITY LINE
 - EXISTING CREEK FLOW LINE
 - CONTROL POINT
 - FIRE HYDRANT
 - FOUND MONUMENT
 - PILASTER
 - SIGN
 - TRAFFIC SIGN
 - TREE
 - TV PULLBOX
 - UTILITY MANHOLE

- ABBREVIATIONS**
- AC ASPHALT CEMENT
 - CL CENTERLINE
 - CFS CUBIC FEET PER SECOND
 - H HEIGHT
 - HGL HYDRAULIC GRADE LINE
 - OHL OVERHEAD UTILITY LINE
 - FPS FEET PER SECOND
 - FS FINISHED SURFACE
 - MIN MINIMUM
 - PL PROPERTY LINE
 - O FLOW RATE
 - RCB REINFORCED CONCRETE BOX
 - RCWD RANCHO CALIFORNIA WATER DISTRICT
 - R/W RIGHT-OF-WAY
 - SS SANITARY SEWER
 - STD STANDARD
 - TF TOP OF WALL
 - TF TOP OF FOOTING
 - V VELOCITY
 - WTR WATER
 - W WIDTH
 - WMWD WESTERN MUNICIPAL WATER DISTRICT
 - WSEL WATER SURFACE ELEVATION

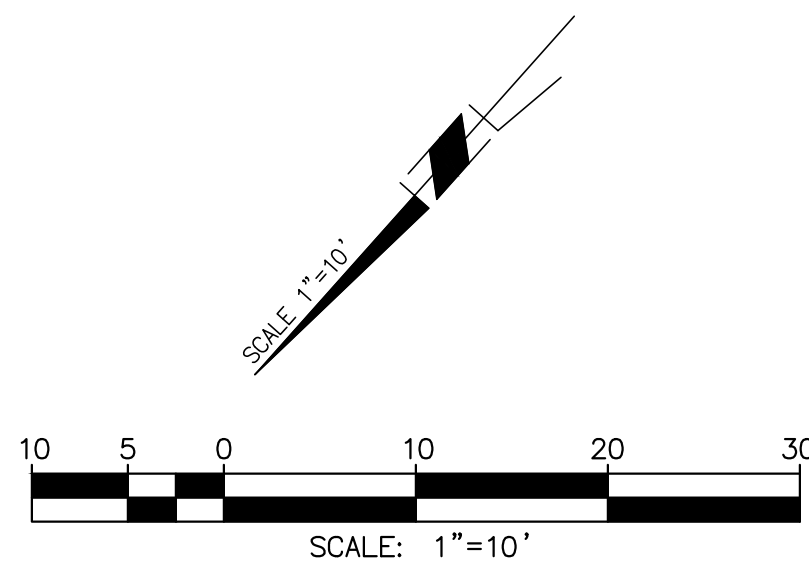
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 5. CONSTRUCT CONCRETE BARRIER TYPE B36 PER CALTRANS STD PLAN B11-79 & B11-80 WITH TUBULAR HANDRAIL PER CALTRANS STD PLAN B-11-51.

DEMOLITION NOTES

1. REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE-WOOD BRIDGE STRUCTURE AND WING WALLS.
2. REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE AND FOREIGN MATERIAL.

△ PROTECT IN PLACE

LINE DATA TABLE			
NO.	BEARING/DELTA	LENGTH	START NORTHING & EASTING
L1	S55°21'34"W	15.94'	N: 2144023.5740 E: 6266532.1572
L2	S48°17'56"W	27.50'	N: 2144014.5138 E: 6266519.0435
L3	S66°13'23"W	20.70'	N: 2143996.2196 E: 6266498.5113



BENCH MARK
DESCRIPTION: R-1-70
LOCATION: FOUND AT THE NORTHEAST CORNER OF WASHINGTON AVENUE AND C STREET
RECORDED: 1-31-1983
ELEVATION: 1090.024'
DATUM: NGVD 29

"AS BUILT"
THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN.

ENGINEER OF WORK _____ DATE _____
RCE NO. _____ EXPIRATION DATE _____

RECOMMEND APPROVAL

PLAN CHECK ENGR. NAME TYPED _____ DATE _____
PLAN CHECK FIRM RCE NO. _____



Michael Baker INTERNATIONAL

40810 COUNTY CENTER DRIVE, SUITE 200
TEMECULA, CA 92591
PHONE: (951) 676-8042 · MBAKERINTL.COM

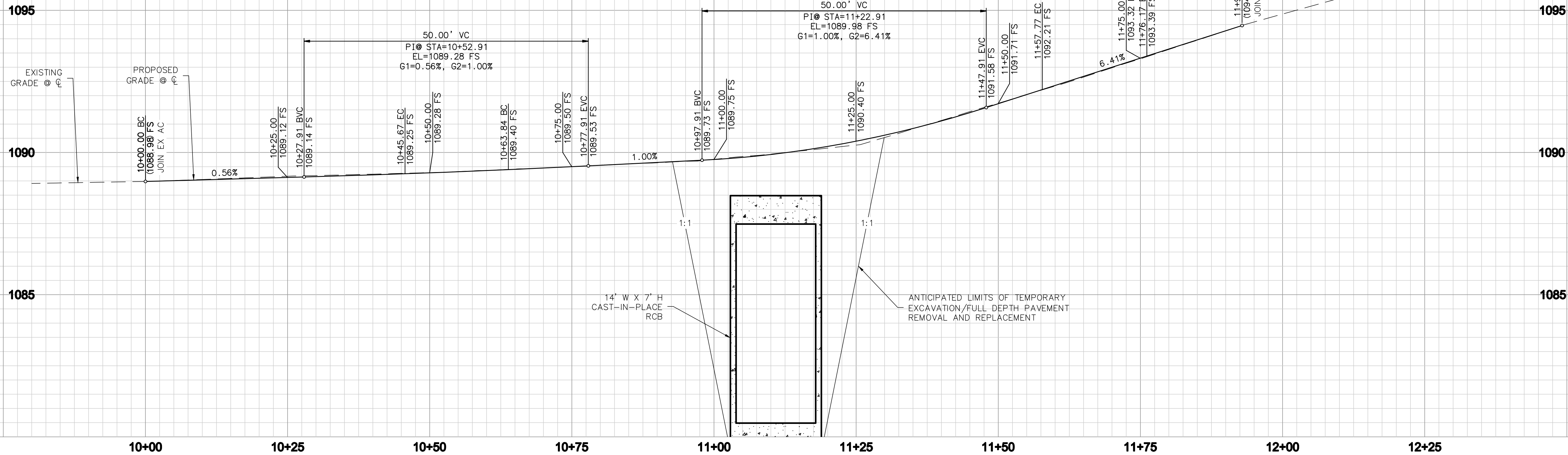
PREPARED BY _____ DATE _____
TODD L. PITNER
R.C.E. NO. 58606

DATE _____ INITIAL _____
ENGINEER OF WORK

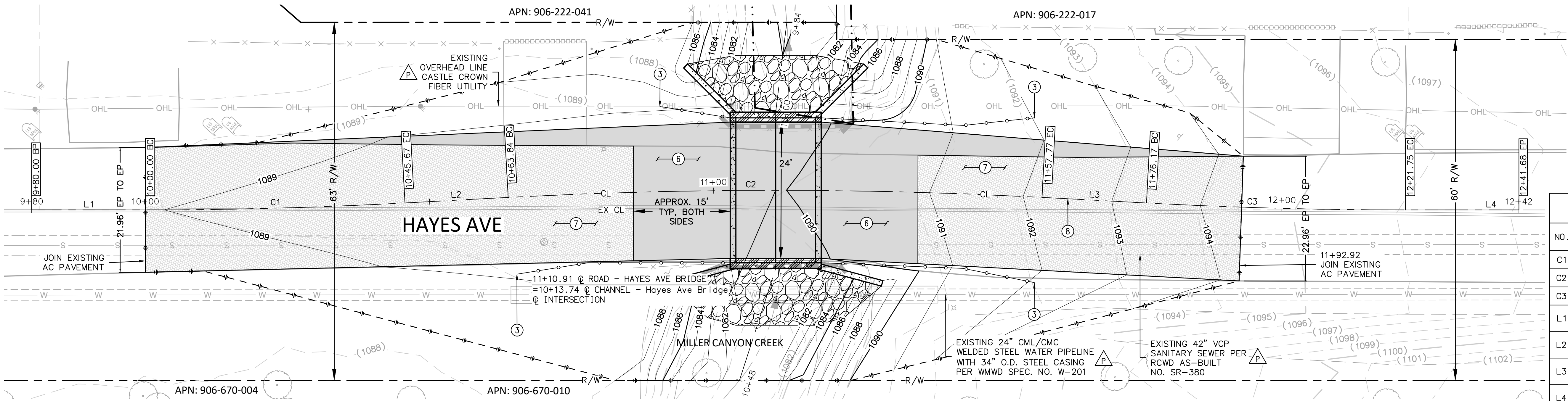
REVISION DESCRIPTION

SHT. NO. _____ DATE _____ INITIAL _____
CITY APPROVAL

SHEET 3	CITY OF MURRIETA ENGINEERING DEPARTMENT	SHEETS 4
STORM DRAIN IMPROVEMENT PLAN HAYES AVE BRIDGE REPLACEMENT RCB PLAN & PROFILE		
APPROVED JEFFREY J. HITCH, PE _____ DATE _____ CITY ENGINEER RCE 58994		
DWN BY: CHKD BY: FIELD BK:	PROJECT NO.	DRAWING NO.



PROFILE



PLAN

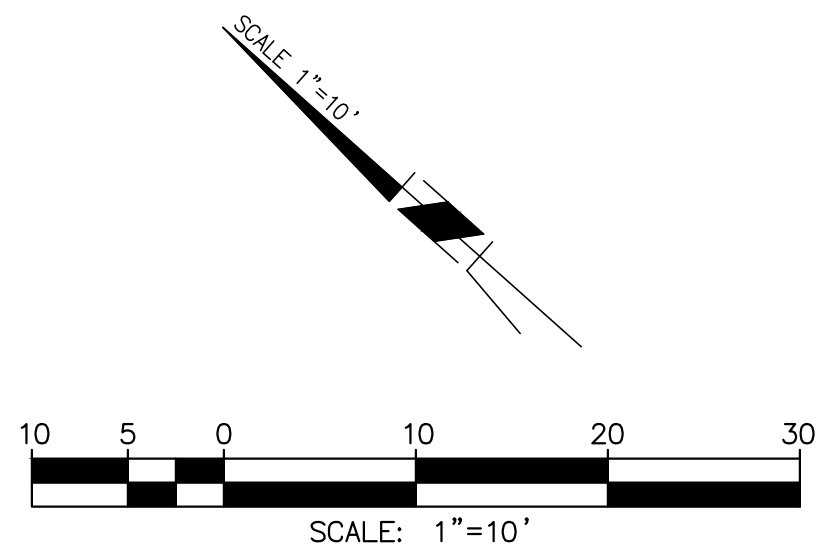
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- RESTRIPE STREET CENTERLINE WITHIN LIMITS OF IMPROVEMENTS UPON COMPLETION OF AC PAVEMENT.

△ PROTECT IN PLACE

LINE/CURVE TABLE

NO.	RADIUS	LINE/CHORD DIRECTION	LENGTH	START NORTHING & EASTING
C1	850.00'	S43° 14' 24.69"E	45.67'	
C2	875.00'	S41° 42' 14.74"E	93.93'	
C3	850.00'	S40° 09' 53.67"E	45.58'	
L1		S41° 42' 03.62"E	20.00'	N: 2144100.7625 E: 6266419.1591
L2		S44° 46' 45.76"E	18.18'	N: 2144052.5625 E: 6266463.7480
L3		S38° 37' 43.71"E	18.40'	N: 2143969.5676 E: 6266539.0104
L4		S41° 42' 03.62"E	19.93'	N: 2143920.3691 E: 6266579.8894



BENCH MARK
DESCRIPTION: R-1-70
LOCATION: FOUND AT THE NORTHEAST CORNER OF WASHINGTON AVENUE AND C STREET
RECORDED: 1-31-1983
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DATUM: NGVD 29

RECOMMEND APPROVAL

PLAN CHECK ENGR. NAME TYPED DATE
PLAN CHECK FIRM RCE NO.



Michael Baker INTERNATIONAL

40810 COUNTY CENTER DRIVE, SUITE 200
TEMECULA, CA 92591
PHONE: (951) 676-8042 · MBAKERINTL.COM

PREPARED BY DATE
TODD L. PITNER
R.C.E. NO. 58606

DATE INITIAL
ENGINEER OF WORK

REVISION DESCRIPTION

SHT. NO. DATE INITIAL
CITY APPROVAL

SHEET 4 CITY OF MURRIETA ENGINEERING DEPARTMENT SHEETS 4

STORM DRAIN IMPROVEMENT PLAN
HAYES AVE BRIDGE REPLACEMENT
STREET PLAN & PROFILE

APPROVED
JEFFREY J. HITCH, PE DATE
CITY ENGINEER RCE 58994

DWN BY: CHKD BY: FIELD BK: PROJECT NO. DRAWING NO.

General Engineering Contractor

42540 Rio Nedo Rd, Temecula CA 92590

Ph: (951) -719-1680

Fax: (951) -719-1680

License: 558592



To:	CITY OF MURRIETA	Contact:	JEFFREY J. HITCH, PE		
Address:	ONE TOWN SQUARE Murrieta, CA 92562	Phone:	(951) 304-2489		
		Fax:			
Project Name:	7591_CITY OF MURRIETA_11004 HAYES AVE_EMERGENCY BRIDGE REPLACE	Bid Number:	7591		
Project Location:	IVY STREET & HAYES AVENUE, MURRIETA, CA	Bid Date:	6/11/2025		
Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price

GENERAL CONDITIONS

MOBILIZATION	1.00	LS	\$5,300.00	\$5,300.00
BOND COSTS FOR PROJECT	1.00	LS	\$7,330.00	\$7,330.00
POTHOLE EXISTING UTILITIES PRIOR TO DEMO OF EXISTING BRIDGE	1.00	EACH	\$8,205.00	\$8,205.00
DEVELOP CONSTRUCTION WATER	1.00	LS	\$5,220.00	\$5,220.00

Total Price for above GENERAL CONDITIONS Items: \$26,055.00

STORM DRAIN IMPROVEMENT PLANS

DEMO & REMOVE EXISTING WOOD BRIDGE & PREPARE FOR NEW RCB BOX	1.00	EACH	\$21,940.00	\$21,940.00
INSTALL 14'W X 7'H PRECAST REINFORCED CONCRETE BOX PER CALTRANS D80	27.50	LF	\$4,860.00	\$133,650.00
STD. DWG. D84 HEADWALLS WALLS PER DETAIL ON SHEET 2	2.00	EACH	\$50,625.00	\$101,250.00
PARAPET WALLS PER DETAIL ON SHEET 2	32.00	LF	\$987.00	\$31,584.00
CUTOFF WALL UNDER RCB ASSUME 1' THK W#4 AT 18" OC	32.00	LF	\$308.00	\$9,856.00
CONCRETE BARRIER TYPE 836 PER CALTRANS B11-80 MODIFIED TO 26" TALL	32.00	LF	\$1,045.00	\$33,440.00
TUBULAR HANDRAILINGS PER CALTRANS STD PLAN B11-51	30.00	LF	\$506.00	\$15,180.00
STD. DWG. A77L1 MIDWEST GUARDRAIL SECTION	132.00	LF	\$284.00	\$37,488.00
STD. DWG. 446A RIP RAP PAD PER CITY OF MURRIETA	374.00	TON	\$243.00	\$90,882.00
CONSTRUCT FULL DEPTH PAVEMENT SECTION PER DETAIL 3 ON SHEET 2	1,450.00	SF	\$23.50	\$34,075.00
PER DRTAIL MDC IS BIDDING A PAVING SECTION OF 6"AC OVER 12" CAB				
2" MILL & OVERLAY PER DETAILS ON PLANS	3,014.00	SF	\$8.00	\$24,112.00
RE-STRIPE CENTER LINE PER PLANS	1.00	LS	\$3,820.00	\$3,820.00
TRAFFIC CONTROL - EXCLUDES ENGINEERED TRAFFIC CONTROL PLAN. BASED OFF EXISTING ROAD CLOSURE FOR ENTIRE DURATION. ONLY PROVIDING FLAGGERS FOR ACCESS TO EXISTING HOME OWNERS	1.00	LS	\$4,470.00	\$4,470.00

Total Bid Price:

\$567,802.00

Notes:• **MDC GENERAL NOTES:**

- BID INCLUDES (1) MOVE IN. ADDITIONAL MOBILIZATIONS WILL BE BILLED AT THE UNIT PRICE FOR MOBILIZATION.
- A MINIMUM OF 2,000LF FULLY GRADED AND SURVEYED IS REQUIRED PRIOR TO MOBILIZATION OF A PRODUCTION CREW
- SEWER PLUGGING AND PUMPING FOR CONSTRUCTION PHASE RELEASES IS EXCLUDED.
- 5 BY STAKING IS TO BE PROVIDED FOR CENTER LINE AND ELEVATION OF RISER LOCATION FOR ALL APPURTENANCES (NOT CURB FACE STAKING)
- SURVEY CUT SHEETS ARE TO BE PROVIDED TO MDC FOREMAN PRIOR TO EXCAVATION.
- OVER-EXCAVATION AND RECOMPACTION OF UNSUITABLE SOILS IS EXCLUDED.
- PROPOSAL ASSUMES THAT ALL TRENCHES CAN BE EXCAVATED WITH A CAT 345 EXCAVATOR (OR EQUIVALENT). IF EXCESSIVE HARD DIG CONDITIONS ARE ENCOUNTERED, ABOVE PRICING IS SUBJECT TO CHANGE.
- CLEARING, GRUBING, AND REMOVALS OTHER THAN AS SHOWN IS EXCLUDED.
- ALL EXCAVATIONS WILL BE BACKFILLED TO 0.5' +/- FROM EXISTING GRADES.
- BID INCLUDES SELECT BACKFILL IN THE PIPE ZONE ONLY (PER GOVERNING AGENCY AND/OR MANUFACTURER'S SPECIFICATIONS). REMAINING BACKFILL MATERIAL SHALL BE NATIVE SOIL. IN THE EVENT NATIVE SOIL CANNOT BE USED, EXTRA CHARGES TO PROCESS SOIL WILL APPLY.
- SCREENING OF BACKFILL IS EXCLUDED (UNLESS SPECIFICALLY INDICATED IN THE PROPOSAL LINE ITEMS).
- PROPOSAL EXCLUDES EXPORT OF EXCESS UTILITY SPOILS. MDC WILL SPREAD OUR EXCESS SPOILS ONSITE.
- HANDLING AND / OR DISPOSAL OF HAZARDOUS MATERIALS IS EXCLUDED.
- ASPHALT / BASE REMOVAL AND / OR PLACEMENT, GRINDING, OR OVERLAY, PERMANENT OR TEMPORARY, IS EXCLUDED (UNLESS SPECIFIED IN PROPOSAL LINE ITEMS).
- DRILLING, BLASTING, AND ROCK REMOVAL IS EXCLUDED.
- CATHODIC PROTECTION IS EXCLUDED. MDC WILL COAT AND WRAP ALL BELOW GRADE STEEL BOLTS AND DUCTILE IRON FITTINGS.
- BID IS BASED ON UNOBSTRUCTED ACCESS TO ALL WORK AREAS.
- OWNER / GC TO PROVIDE AND PAY FOR A CONSTRUCTION WATER SOURCE.
- DUST CONTROL WILL BE PROVIDED ONLY UNTIL BACKFILL OPERATION IS COMPLETE. NO WEEKEND DUST CONTROL IS INCLUDED.
- DEWATERING, WATER CONTROL, AND NON-CONVENTIONAL EXCAVATION OF SATURATED MATERIAL IS EXCLUDED.
- FIELD ENGINEERING AND STAKING IS EXCLUDED.
- UTILITY RELOCATION AND / OR UTILITY BRACING IS EXCLUDED (UNLESS SPECIFICALLY INCLUDED IN PROPOSAL LINE ITEMS).
- ALL CURB MARKINGS FOR SEWER AND WATER TO BE DONE BY OTHERS.
- CATCH BASIN FILTERS ARE EXCLUDED (OTHER THAN AS SHOWN)
- VIDEO INSPECTION OF PIPELINES IS EXCLUDED UNLESS SPECIFICALLY NOTED IN PROPOSAL.
- PROPERTY LINE CLEAN OUTS & BACK WATER VALVES ARE EXCLUDED.
- ALL LANDSCAPE AND IRRIGATION REPLACEMENT IS EXCLUDED.
- UTILITY DEMOLITION IS EXCLUDED
- RETAINING WALLS AND BLOCK WALLS OF ANY KIND ARE EXCLUDED.
- ALL NECESSARY TREE REMOVALS BY OTHERS.
- EXISTING STREET CLEAN UP OF ANY KIND IS EXCLUDED.
- WALL DRAINS AND UNDERDRAINS ARE EXCLUDED.
- PROPOSAL EXCLUDES REMOVAL OR DISPOSAL OF ANY UNFORSEEABLE SUBSURFACE DEBRIS, STRUCTURES OR OTHERWISE UNSUITABLE MATERIALS. EXCLUDES HANDLING OR REMEDIATION OF HAZARDOUS MATERIALS.
- DETOURS, ACCESS ROADS, PLATING, FENCING, RESTRIPIING, SIGNAL LOOP REPLACEMENT, TRAFFIC CONTROL & TRAFFIC CONTROL PLAN PREPARATION OF ANY KIND IS EXCLUDED (EXCEPT WHERE SPECIFICALLY INCLUDED IN THE PROPOSAL).
- TRASH DUMPSTERS ARE TO BE PROVIDED BY THE OWNER / GC.
- ALL ITEMS OF WORK NOT SPECIFICALLY MENTIONED IN THIS PROPOSAL ARE EXCLUDED.
- IF NO PHASING IS PROVIDED AT THE TIME OF THIS BID, WE ARE ASSUMING THAT TESTING & VIDEO CAN BE DONE IN 2,500LF INCREMENTS. IF INCREMENTS OF LESS THAN 2,500LF ARE REQUIRED, ADDITIONAL CHARGES MAY APPLY.
- A MINIMUM OF 10 MANHOLES MUST BE PROVIDED FOR 1ST RAISE PER MOBILIZATION AND A MINIMUM OF 20 MANHOLES MUST BE PROVIDED FOR FINAL RAISE PER MOBILIZATION. ADDITIONAL CHARGES WILL APPLY IF THESE MINIMUM QUANTITIES ARE NOT AVAILABLE AT TIME OF MOVE-IN.
- A MINIMUM OF 20 VALVE CANS MUST BE PROVIDED PER MOBILIZATION FOR VALVE CAN RAISES OR ADDITIONAL CHARGES MAY APPLY.
- EXCLUDES ALL V-DITCHES
- THIS PROPOSAL IS GOOD FOR THIRTY (30) DAYS (FORCE MAJEURE NOT WITHSTANDING)
- THIS PROPOSAL IS BASED OFF HAYES_BRIDGE_REPLACEMENT_PLAN_DRAFT_052225 (95% BID SET)
- TRAFFIC CONTROL IS BASED OFF EXISTING STREET CLOSURE BY THE CITY OF MURRIETA. MDC ONLY INCLUDED COST FOR FLAGGMEN TO HELP EXISTING HOME OWNERS. ANYTHING ADDITIONAL REQUIRED WILL COME AT A COST TO THE CITY.
- UNLESS OTHERWISE SPECIFIED ON THE PROPOSAL, PRICING IS BASED OFF OF ONE PHASE OF TESTING AND CHLORINATION. IF MULTIPLE PHASES OF CHLORINATION ARE REQUIRED ADDITIONAL COSTS FOR TIE-INS, CREW / SUBCONTRACTOR MINIMUMS AND LAB FEES WILL APPLY.
- VALVE RISERS WILL NOT BE CUT DOWN UNTIL THE BASE SECTION HAS BEEN PLACED AND GRADED. MDC REQUIRES A MINIMUM OF 5 WORKING DAYS' NOTICE TO SCHEDULE CUTTING VALVE RISERS TO GRADE. SLIP CANS ARE TO BE PULLED UP BY THE PAVING CONTRACTOR AS ASPHALT IS BEING PLACED.
- UNLESS SPECIFICALLY NOTED ON THE PROPOSAL, ALL BOLLARDS AROUND APPURTENANCES ARE EXCLUDED. THIS EXCLUSION IS DUE TO THE AMBIGUITY IN LOCATION AND INCONSISTENT INTERPRETATION OF SPECIFICATIONS. IF BOLLARDS ARE REQUIRED, THEY WILL BE BILLED ON A UNIT PRICE BASIS OF \$750 PER BOLLARD.

ACCEPTED:

The above prices, specifications and conditions are satisfactory and hereby accepted.

Buyer: _____

Signature: _____

Date of Acceptance: _____

CONFIRMED:

Murrieta Development Inc.

Authorized Signature:



Estimator: Zach Carlson
(951) 719-1680
zcarlson@murrietadevelopment.com

Vicinity Map Hayes Ave Bridge at Miller Canyon Creek





CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 8.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Justin Clifton, City Manager

PREPARED BY: Pedro Cevallos, Management Analyst

SUBJECT: Consider the Levy of 2024 Delinquent Refuse Service Charges on the Fiscal Year 2025/26 Property Tax Roll

RECOMMENDATION

Conduct a Public Hearing;

Adopt Resolution No. 25-4864 entitled: *A Resolution of the City Council of the City of Murrieta, California, Affirming the Report of Delinquent Refuse Charges and Directing their Collection on the Fiscal Year 2025/26 Property Tax Roll*; and

Direct the City Manager, or his designee, to file a certified copy of Resolution No. 25-4864 with the Riverside County Tax Collector and/or Auditor-Controller.

PRIOR ACTION/VOTE

On July 21, 2020, the City Council adopted Resolution No. 20-4292, approving the report for 2019 for delinquent refuse service charges and certifying them for collection with property taxes (Vote: 4-0-1).

On July 6, 2021, the City Council adopted Resolution No. 21-4438, approving the report for 2020 for delinquent refuse service charges and certifying them for collection with property taxes (Vote: 5-0).

On June 21, 2022, the City Council adopted Resolution No. 22-4591, approving the report for 2021 for delinquent refuse service charges and certifying them for collection with property taxes (Vote 5-0).

On August 1, 2023, the City Council adopted Resolution No. 23-4696, approving the report for 2022 for delinquent refuse service charges and certifying them for collection with property taxes (Vote: 5-0).

On July 2, 2024, the City Council adopted Resolution No. 24-4770, approving the report for 2023 for delinquent refuse service charges and certifying them for collection with property taxes (Vote: 5-0).

CITY COUNCIL GOAL

Maintain a high performing organization that values fiscal sustainability, transparency, accountability and organizational efficiency.

BACKGROUND

Under the City of Murrieta's (City) franchise agreement with Waste Management for solid waste collection, the City has agreed to annually review whether to place liens on residential properties with delinquent refuse hauling service charges from a previous calendar year. The City Council must conduct a public hearing to consider the charges that remain delinquent from 2024 and then adopt a resolution certifying the delinquent fees for collection on the Fiscal Year 2025/26 property tax roll (Attachment 1). This hearing is an opportunity for any property owner to object to the fees imposed on their property.

The annual levy of delinquent fees from 2024, is in consideration of the City's requirement of Waste Management that no residential property can have regular refuse service stopped due to unpaid fees. This was done because the City does not wish to encourage illegal dumping and has a mandatory service requirement for all properties in the community. Mandatory refuse service is also an important component of the City's ability to meet the State's mandatory landfill diversion requirements imposed by SB 1383.

On June 2, 2025, Waste Management sent notices advising property owners of overdue balances and collection efforts to recover payment to seek proactive payment prior to placing the fees on the property tax roll. As of June 16, 2025, delinquent refuse charges for 1,342 parcels payable to Waste Management total \$485,277.27. Details on the properties and amounts at issue are included in Attachment 2. Including penalties and interest, the total proposed levy amount is \$629,883.28. This levy is a pass-through charge. In accordance with the City's franchise agreement with Waste Management, the City will remit any amounts collected from this action to Waste Management, less actual administrative costs incurred to process the collection and remittance of the delinquent charges.

PUBLIC NOTICING

Notice of this hearing was provided to the impacted property owners and published in accordance with the law. Additionally, this agenda item has been noticed according to the Brown Act (72 hours in advance of the meeting at which the City Council considers the item). Copies can be requested by contacting the City Clerk at CityClerk@MurrietaCA.gov.

FISCAL IMPACT

The City retains twelve percent (12%) of any amount collected pursuant to the collection of unpaid solid waste services to offset administrative costs incurred to process the collection and remittance of the delinquent charges. The amount of this collection is included in the Fiscal Year 2025/26 Operating Budget under 1100000-40019.

ATTACHMENTS

1. Resolution No. 25-4864
2. 2024 Residential Delinquent Refuse Charges

RESOLUTION NO. 25-4864

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, AFFIRMING THE REPORT OF DELINQUENT REFUSE CHARGES AND DIRECTING THEIR COLLECTION ON THE FISCAL YEAR 2025/26 PROPERTY TAX ROLL

WHEREAS, Public Resources Code section 40059 authorizes cities to establish regulations and fees for the collection of solid waste; and

WHEREAS, Government Code section 38790.1 states “any city collecting garbage fees or charges may collect delinquent fees or charges in the manner provided in Section 25831;” and

WHEREAS, Government Code section 25831 states that at least once a year, a report shall be prepared of fees that have remained unpaid for a period of sixty (60) days or more which were authorized pursuant to Public Resources Code section 40059, and the City shall fix a time, date, and place for hearing the report and any objections or protests to the report; and

WHEREAS, 1,570 residential parcels within the City have delinquent refuse charges from 2024, totaling \$697,643.50, including penalties and interest, to be added to the delinquent refuse charges when the roll is certified by the Riverside County Tax Collector; and

WHEREAS, a written report of said residential refuse charges for 2024 that remained unpaid as of June 16, 2025, has been prepared and filed with the City Clerk’s Office; and

WHEREAS, published notice of a public hearing on these unpaid trash hauling charges have been provided as required by law in the Press Enterprise, Daily Bulletin, and San Bernardino Sun, on June 2 and June 9, 2025, and an additional notice was mailed by Waste Management on June 2, 2025, and a duly noticed public hearing was conducted on July 1, 2025, at the time listed on the notices, at which time the City Council heard and considered all objections and protests to the placement of the unpaid trash hauling charges as a tax lien and certification of those charges for collection on the property tax roll, and made any revisions to the report deemed necessary.

NOW, THEREFORE, BE IT RESOLVED, THAT THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. That the above recitals are true and correct and incorporated herein by this reference.

Section 2. That the report of delinquent residential refuse charges for 2024 on file with the City Clerk’s Office is confirmed.

Section 3. That the City Manager is directed to file a certified copy of this resolution and an electronic version of the report with the Riverside County Tax Collector and/or Auditor-Controller. The Riverside County Tax Collector and/or Auditor-Controller is designated and empowered to perform duties necessary to collect these delinquent charges in connection with property taxes.

Section 4. The charges set forth in the report incorporated herein shall be deemed a lien against the applicable properties and are levied without regard to property valuation. All laws applicable to the levy collection and enforcement of ad valorem property taxes shall be applicable to such charges, except that if any real property to which such charges related has been transferred or conveyed to a bona fide encumbrance for value after January 1, 2026, then a lien that would otherwise be imposed shall not attach to such real property and the charges and interest shall be transferred to the unsecured roll for collection.

PASSED, APPROVED, AND ADOPTED this 1st day of July, 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED TO AS FORM:

Tiffany Israel, City Attorney

I, Cristal McDonald, City Clerk of the City of Murrieta, do hereby certify under penalty of perjury that the foregoing Resolution No. 25-4864 was duly adopted at a regular meeting of the City Council on the this 1st day of July, 2025, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, City Clerk

Attachment 2

MURRIETA Tax Roll Listing 2025 Customers with Invoice Item Dates in 2024	Column Totals	485,277.27	48,527.73	96,084.90	629,883.28
	Customer Count	1,342			

Rec No	Parcel No	Principal	Penalty	Interest	Total TR
1	384280005	440.31	44.03	87.18	571.52
2	384280009	311.52	31.15	61.68	404.34
3	384281012	497.40	49.74	98.49	645.62
4	384281015	74.11	7.41	14.67	96.18
5	384282002	183.28	18.33	36.29	237.90
6	384284001	488.68	48.87	96.76	634.30
7	384284002	134.21	13.42	26.57	174.20
8	384284003	427.76	42.78	84.70	555.22
9	384290011	471.87	47.19	93.43	612.48
10	384292002	305.69	30.57	60.53	396.78
11	384293017	88.74	8.87	17.57	115.18
12	384300005	95.52	9.55	18.91	123.98
13	384301013	386.83	38.68	76.59	502.10
14	384301022	344.22	34.42	68.16	446.80
15	384302001	497.40	49.74	98.49	645.62
16	384302019	471.64	47.16	93.38	612.18
17	384303013	95.00	9.50	18.81	123.30
18	384310019	497.40	49.74	98.49	645.62
19	384310026	352.63	35.26	69.82	457.70
20	384311005	204.98	20.50	40.59	266.06
21	384320002	654.86	65.49	129.66	850.00
22	384321007	654.86	65.49	129.66	850.00
23	384321010	437.54	43.75	86.63	567.92
24	384322002	497.40	49.74	98.49	645.62
25	384322009	101.15	10.12	20.03	131.28
26	384322014	96.15	9.62	19.04	124.80
27	384322023	654.86	65.49	129.66	850.00
28	384330003	437.40	43.74	86.61	567.74
29	384330026	157.15	15.72	31.12	203.98
30	384330036	228.99	22.90	45.34	297.22
31	384330038	36.15	3.62	7.16	46.92
32	384340002	101.15	10.12	20.03	131.28
33	384341012	654.86	65.49	129.66	850.00
34	384350009	80.22	8.02	15.88	104.12
35	384351012	654.86	65.49	129.66	850.00
36	384352017	497.40	49.74	98.49	645.62
37	384360005	130.01	13.00	25.74	168.74
38	384370006	497.40	49.74	98.49	645.62
39	384370023	654.86	65.49	129.66	850.00
40	384380002	149.11	14.91	29.52	193.54
41	384380017	461.36	46.14	91.35	598.84
42	384381009	474.14	47.41	93.88	615.42
43	384381011	94.15	9.42	18.64	122.20
44	384381019	307.15	30.72	60.82	398.68
45	384381024	118.57	11.86	23.48	153.90
46	384401012	291.45	29.15	57.71	378.30
47	384411012	439.50	43.95	87.02	570.46

48	384420016	497.40	49.74	98.49	645.62
49	384420026	199.15	19.92	39.43	258.50
50	384421015	96.15	9.62	19.04	124.80
51	384430014	179.08	17.91	35.46	232.44
52	384430023	497.40	49.74	98.49	645.62
53	384430043	462.84	46.28	91.64	600.76
54	384440002	252.43	25.24	49.98	327.64
55	388131001	335.72	33.57	66.47	435.76
56	388131054	497.40	49.74	98.49	645.62
57	388131062	203.52	20.35	40.30	264.16
58	388131091	683.33	68.33	135.30	886.96
59	388132003	293.60	29.36	58.13	381.08
60	388132007	199.15	19.92	39.43	258.50
61	388132041	267.14	26.71	52.89	346.74
62	388140030	318.45	31.85	63.05	413.34
63	388140036	506.44	50.64	100.28	657.36
64	388141003	383.33	38.33	75.90	497.56
65	388150007	157.43	15.74	31.17	204.34
66	388151022	61.60	6.16	12.20	79.96
67	388152005	101.15	10.12	20.03	131.28
68	388160002	868.27	86.83	171.92	1,127.00
69	388161029	81.01	8.10	16.04	105.14
70	388170007	70.88	7.09	14.03	92.00
71	388170017	219.13	21.91	43.39	284.42
72	388170021	83.10	8.31	16.45	107.86
73	388170024	497.40	49.74	98.49	645.62
74	388171008	514.64	51.46	101.90	668.00
75	388171016	150.00	15.00	29.70	194.70
76	388180010	497.40	49.74	98.49	645.62
77	388180027	207.76	20.78	41.14	269.66
78	388180029	461.00	46.10	91.28	598.38
79	388180036	159.80	15.98	31.64	207.42
80	388180048	457.76	45.78	90.64	594.16
81	388190018	256.16	25.62	50.72	332.50
82	388190021	884.42	88.44	175.12	1,147.98
83	388190042	107.15	10.72	21.22	139.08
84	388190043	166.31	16.63	32.93	215.86
85	388190047	622.26	62.23	123.21	807.68
86	388191004	297.40	29.74	58.89	386.02
87	388200009	518.40	51.84	102.64	672.88
88	388200014	497.40	49.74	98.49	645.62
89	388200015	434.13	43.41	85.96	563.50
90	388210025	497.40	49.74	98.49	645.62
91	388210033	312.66	31.27	61.91	405.82
92	388220004	654.86	65.49	129.66	850.00
93	388230024	124.13	12.41	24.58	161.12
94	388240008	91.88	9.19	18.19	119.26
95	388240018	307.15	30.72	60.82	398.68
96	388250011	550.90	55.09	109.08	715.06
97	388250022	127.29	12.73	25.20	165.22
98	388260015	133.39	13.34	26.41	173.14
99	388263006	627.76	62.78	124.30	814.82
100	388310003	654.86	65.49	129.66	850.00
101	388310005	497.40	49.74	98.49	645.62
102	388310020	459.52	45.95	90.98	596.46

103	388311012	453.58	45.36	89.81	588.74
104	388320011	654.86	65.49	129.66	850.00
105	388320024	259.48	25.95	51.38	336.80
106	388321014	120.15	12.02	23.79	155.94
107	388321016	228.10	22.81	45.16	296.06
108	388321028	497.40	49.74	98.49	645.62
109	388330002	408.52	40.85	80.89	530.26
110	388330016	654.86	65.49	129.66	850.00
111	388330054	497.40	49.74	98.49	645.62
112	388332013	682.42	68.24	135.12	885.78
113	388332025	259.48	25.95	51.38	336.80
114	388332027	360.96	36.10	71.47	468.52
115	388332028	192.10	19.21	38.04	249.34
116	388332033	148.17	14.82	29.34	192.32
117	388340002	497.40	49.74	98.49	645.62
118	388340029	497.40	49.74	98.49	645.62
119	388350016	676.71	67.67	133.99	878.36
120	388350029	70.32	7.03	13.92	91.28
121	388350035	199.15	19.92	39.43	258.50
122	388351001	654.86	65.49	129.66	850.00
123	388351002	505.06	50.51	100.00	655.56
124	388351017	259.69	25.97	51.42	337.08
125	388351019	199.15	19.92	39.43	258.50
126	388351031	312.32	31.23	61.84	405.38
127	392010027	403.87	40.39	79.97	524.22
128	392021008	199.15	19.92	39.43	258.50
129	392022001	115.15	11.52	22.80	149.46
130	392030011	497.40	49.74	98.49	645.62
131	392040003	187.76	18.78	37.18	243.70
132	392040026	96.15	9.62	19.04	124.80
133	392040027	204.15	20.42	40.42	264.98
134	392060007	497.40	49.74	98.49	645.62
135	392070025	403.61	40.36	79.91	523.88
136	392070027	497.40	49.74	98.49	645.62
137	392100022	812.27	81.23	160.83	1,054.32
138	392100024	77.10	7.71	15.27	100.08
139	392130022	523.18	52.32	103.59	679.08
140	392130039	403.68	40.37	79.93	523.98
141	392140028	457.76	45.78	90.64	594.16
142	392160008	96.15	9.62	19.04	124.80
143	392160036	550.46	55.05	108.99	714.50
144	392170006	247.40	24.74	48.99	321.12
145	392170023	477.74	47.77	94.59	620.10
146	392170026	199.15	19.92	39.43	258.50
147	392170030	210.77	21.08	41.73	273.58
148	392170049	312.15	31.22	61.81	405.16
149	392170058	173.30	17.33	34.31	224.94
150	392200016	497.40	49.74	98.49	645.62
151	392200020	504.00	50.40	99.79	654.18
152	392200056	487.49	48.75	96.52	632.76
153	392210018	421.49	42.15	83.46	547.08
154	392231013	497.40	49.74	98.49	645.62
155	392231025	457.76	45.78	90.64	594.16
156	392231058	477.74	47.77	94.59	620.10
157	392240070	257.76	25.78	51.04	334.56

158	392271003	199.15	19.92	39.43	258.50
159	392271013	409.13	40.91	81.01	531.04
160	392271045	497.40	49.74	98.49	645.62
161	392271052	497.40	49.74	98.49	645.62
162	392271084	96.15	9.62	19.04	124.80
163	392272008	96.15	9.62	19.04	124.80
164	392272010	357.40	35.74	70.77	463.90
165	392273004	497.40	49.74	98.49	645.62
166	392300013	81.10	8.11	16.06	105.26
167	392300017	45.00	4.50	8.91	58.40
168	392310017	654.86	65.49	129.66	850.00
169	392320007	497.40	49.74	98.49	645.62
170	392360047	497.40	49.74	98.49	645.62
171	392360063	495.21	49.52	98.05	642.78
172	392362002	33.32	3.33	6.60	43.24
173	392362031	397.40	39.74	78.69	515.82
174	392362039	192.10	19.21	38.04	249.34
175	392370003	419.13	41.91	82.99	544.02
176	392370005	497.40	49.74	98.49	645.62
177	392370007	136.57	13.66	27.04	177.26
178	392370013	497.40	49.74	98.49	645.62
179	392370055	497.40	49.74	98.49	645.62
180	392370058	99.15	9.92	19.63	128.70
181	392370070	98.00	9.80	19.40	127.20
182	392380007	213.56	21.36	42.28	277.20
183	392380013	497.40	49.74	98.49	645.62
184	392380019	94.15	9.42	18.64	122.20
185	392380022	441.48	44.15	87.41	573.04
186	392380026	95.94	9.59	19.00	124.52
187	392380052	323.10	32.31	63.97	419.38
188	392380059	243.73	24.37	48.26	316.36
189	392380060	311.82	31.18	61.74	404.74
190	392380063	304.33	30.43	60.26	395.02
191	392400009	102.15	10.22	20.23	132.58
192	392400025	454.58	45.46	90.01	590.04
193	392400026	347.40	34.74	68.79	450.92
194	392400030	85.22	8.52	16.87	110.62
195	392400047	81.06	8.11	16.05	105.22
196	392400050	173.51	17.35	34.35	225.22
197	392400070	497.40	49.74	98.49	645.62
198	392400071	373.31	37.33	73.92	484.56
199	392400092	231.21	23.12	45.78	300.10
200	392420012	119.20	11.92	23.60	154.72
201	392420037	162.15	16.22	32.11	210.46
202	392430006	296.20	29.62	58.65	384.46
203	392430010	467.57	46.76	92.58	606.90
204	392430014	664.94	66.49	131.66	863.08
205	472251002	50.42	5.04	9.98	65.44
206	472270016	127.29	12.73	25.20	165.22
207	472290021	199.89	19.99	39.58	259.46
208	480963009	272.08	27.21	53.87	353.16
209	480971020	307.15	30.72	60.82	398.68
210	480973006	497.40	49.74	98.49	645.62
211	900030011	637.70	63.77	126.26	827.72
212	900080002	315.52	31.55	62.47	409.54

213	900081005	137.25	13.73	27.18	178.14
214	900083002	96.15	9.62	19.04	124.80
215	900102008	472.80	47.28	93.61	613.68
216	900110015	199.15	19.92	39.43	258.50
217	900121001	370.80	37.08	73.42	481.30
218	900121017	505.06	50.51	100.00	655.56
219	900132010	457.76	45.78	90.64	594.16
220	900132033	654.86	65.49	129.66	850.00
221	900150014	96.15	9.62	19.04	124.80
222	900151002	446.85	44.69	88.48	580.00
223	900152003	335.63	33.56	66.45	435.64
224	900160003	505.06	50.51	100.00	655.56
225	900161004	497.40	49.74	98.49	645.62
226	900161005	497.40	49.74	98.49	645.62
227	900161007	484.96	48.50	96.02	629.48
228	900170004	187.42	18.74	37.11	243.26
229	900170017	174.13	17.41	34.48	226.02
230	900180002	505.06	50.51	100.00	655.56
231	900180032	477.74	47.77	94.59	620.10
232	900182005	517.26	51.73	102.42	671.40
233	900190013	258.55	25.86	51.19	335.60
234	900191005	149.13	14.91	29.53	193.56
235	900191016	300.00	30.00	59.40	389.40
236	900191032	103.98	10.40	20.59	134.96
237	900191035	497.40	49.74	98.49	645.62
238	900200041	497.40	49.74	98.49	645.62
239	900202001	45.46	4.55	9.00	59.00
240	900210002	440.31	44.03	87.18	571.52
241	900210003	436.14	43.61	86.36	566.10
242	900220005	96.15	9.62	19.04	124.80
243	900230009	348.19	34.82	68.94	451.94
244	900231026	122.19	12.22	24.19	158.60
245	900240010	151.27	15.13	29.95	196.34
246	900240030	497.40	49.74	98.49	645.62
247	900241003	112.85	11.29	22.34	146.48
248	900250003	151.31	15.13	29.96	196.40
249	900250020	664.94	66.49	131.66	863.08
250	900250024	100.15	10.02	19.83	129.98
251	900250038	99.15	9.92	19.63	128.70
252	900260001	167.92	16.79	33.25	217.96
253	900280022	540.53	54.05	107.02	701.60
254	900280026	497.40	49.74	98.49	645.62
255	900280028	654.86	65.49	129.66	850.00
256	900291012	212.15	21.22	42.01	275.36
257	900310006	654.86	65.49	129.66	850.00
258	900310007	497.40	49.74	98.49	645.62
259	900310017	497.40	49.74	98.49	645.62
260	900310018	480.10	48.01	95.06	623.16
261	900310048	130.25	13.03	25.79	169.06
262	900420011	240.85	24.09	47.69	312.62
263	900422009	613.55	61.36	121.48	796.38
264	900422026	497.40	49.74	98.49	645.62
265	900422030	424.13	42.41	83.98	550.52
266	900423008	497.40	49.74	98.49	645.62
267	900431029	497.40	49.74	98.49	645.62

268	900441007	82.58	8.26	16.35	107.18
269	900450006	497.40	49.74	98.49	645.62
270	900462008	497.40	49.74	98.49	645.62
271	900462013	328.74	32.87	65.09	426.70
272	900463009	96.15	9.62	19.04	124.80
273	900463013	497.40	49.74	98.49	645.62
274	900463021	96.15	9.62	19.04	124.80
275	900463025	397.40	39.74	78.69	515.82
276	900470007	497.40	49.74	98.49	645.62
277	900473011	419.13	41.91	82.99	544.02
278	900475009	505.06	50.51	100.00	655.56
279	900475014	497.40	49.74	98.49	645.62
280	900481002	492.80	49.28	97.57	639.64
281	900481013	84.37	8.44	16.71	109.50
282	900490006	204.80	20.48	40.55	265.82
283	900492009	497.40	49.74	98.49	645.62
284	900501003	199.15	19.92	39.43	258.50
285	900501004	170.81	17.08	33.82	221.70
286	900501005	812.27	81.23	160.83	1,054.32
287	900502001	505.06	50.51	100.00	655.56
288	900510001	393.72	39.37	77.96	511.04
289	900510041	505.06	50.51	100.00	655.56
290	900510043	230.43	23.04	45.63	299.10
291	900510053	419.84	41.98	83.13	544.94
292	900520006	199.15	19.92	39.43	258.50
293	900520020	238.96	23.90	47.31	310.16
294	900520022	401.03	40.10	79.40	520.54
295	900520046	459.49	45.95	90.98	596.42
296	904120034	177.23	17.72	35.09	230.04
297	904250013	259.48	25.95	51.38	336.80
298	904320013	497.40	49.74	98.49	645.62
299	904361002	399.41	39.94	79.08	518.42
300	904361008	261.33	26.13	51.74	339.20
301	904372017	88.59	8.86	17.54	114.98
302	904372020	497.40	49.74	98.49	645.62
303	904381008	497.40	49.74	98.49	645.62
304	904381010	497.40	49.74	98.49	645.62
305	904382010	497.40	49.74	98.49	645.62
306	904382019	442.97	44.30	87.71	574.98
307	904383024	476.30	47.63	94.31	618.24
308	904440004	307.15	30.72	60.82	398.68
309	904440005	486.14	48.61	96.26	631.00
310	904440006	654.86	65.49	129.66	850.00
311	904451006	623.07	62.31	123.37	808.74
312	904453008	219.13	21.91	43.39	284.42
313	904454003	497.40	49.74	98.49	645.62
314	904471014	157.15	15.72	31.12	203.98
315	904471023	682.42	68.24	135.12	885.78
316	904481021	209.11	20.91	41.40	271.42
317	904482006	428.10	42.81	84.76	555.66
318	904484001	377.74	37.77	74.79	490.30
319	904491002	517.66	51.77	102.50	671.92
320	904491009	672.93	67.29	133.24	873.46
321	904491013	418.40	41.84	82.84	543.08
322	904511004	60.38	6.04	11.96	78.36

323	904511007	307.15	30.72	60.82	398.68
324	904513002	497.40	49.74	98.49	645.62
325	904514004	133.39	13.34	26.41	173.14
326	904553003	111.92	11.19	22.16	145.26
327	904581015	96.15	9.62	19.04	124.80
328	904581029	439.13	43.91	86.95	569.98
329	904581040	216.06	21.61	42.78	280.44
330	904601012	94.89	9.49	18.79	123.16
331	904602012	497.40	49.74	98.49	645.62
332	904603040	462.17	46.22	91.51	599.90
333	904603053	497.40	49.74	98.49	645.62
334	904630002	497.40	49.74	98.49	645.62
335	904641004	477.74	47.77	94.59	620.10
336	904641026	96.15	9.62	19.04	124.80
337	904641040	96.15	9.62	19.04	124.80
338	904642012	545.40	54.54	107.99	707.92
339	904654011	497.40	49.74	98.49	645.62
340	904654017	119.48	11.95	23.66	155.08
341	904670013	497.40	49.74	98.49	645.62
342	904680002	99.15	9.92	19.63	128.70
343	904690004	199.15	19.92	39.43	258.50
344	904690005	87.15	8.72	17.26	113.12
345	904690016	59.48	5.95	11.78	77.20
346	904701002	214.15	21.42	42.40	277.96
347	904701012	127.03	12.70	25.15	164.88
348	904701027	351.39	35.14	69.58	456.10
349	904702003	312.15	31.22	61.81	405.16
350	904703011	440.31	44.03	87.18	571.52
351	904711006	518.40	51.84	102.64	672.88
352	904712002	549.81	54.98	108.86	713.64
353	904712011	416.80	41.68	82.53	541.00
354	904721004	96.15	9.62	19.04	124.80
355	904732005	497.40	49.74	98.49	645.62
356	904732009	383.62	38.36	75.96	497.94
357	904732026	469.31	46.93	92.92	609.16
358	904741008	188.66	18.87	37.35	244.88
359	904741010	497.40	49.74	98.49	645.62
360	904741016	477.74	47.77	94.59	620.10
361	904742026	497.10	49.71	98.43	645.24
362	904742036	34.11	3.41	6.75	44.26
363	904753011	323.10	32.31	63.97	419.38
364	904754002	478.32	47.83	94.71	620.86
365	904763005	199.15	19.92	39.43	258.50
366	904800004	419.13	41.91	82.99	544.02
367	904800024	824.80	82.48	163.31	1,070.58
368	904800033	38.31	3.83	7.59	49.72
369	904802005	161.84	16.18	32.04	210.06
370	904810010	107.15	10.72	21.22	139.08
371	904810015	152.95	15.30	30.28	198.52
372	904811001	457.76	45.78	90.64	594.16
373	904821002	497.40	49.74	98.49	645.62
374	904821014	302.15	30.22	59.83	392.20
375	904830006	96.15	9.62	19.04	124.80
376	904830020	505.06	50.51	100.00	655.56
377	904830022	497.40	49.74	98.49	645.62

378	904840002	112.28	11.23	22.23	145.74
379	906060028	485.60	48.56	96.15	630.30
380	906060061	96.15	9.62	19.04	124.80
381	906060077	599.24	59.92	118.65	777.80
382	906070013	497.40	49.74	98.49	645.62
383	906070032	518.40	51.84	102.64	672.88
384	906070079	234.53	23.45	46.44	304.42
385	906081049	81.71	8.17	16.18	106.06
386	906081056	411.40	41.14	81.46	534.00
387	906081067	96.15	9.62	19.04	124.80
388	906082001	257.83	25.78	51.05	334.66
389	906110019	518.40	51.84	102.64	672.88
390	906121021	312.15	31.22	61.81	405.16
391	906121022	497.40	49.74	98.49	645.62
392	906121023	497.40	49.74	98.49	645.62
393	906122001	215.50	21.55	42.67	279.72
394	906122013	571.35	57.14	113.13	741.60
395	906122034	497.00	49.70	98.41	645.10
396	906122049	480.18	48.02	95.08	623.26
397	906152009	944.14	94.41	186.94	1,225.48
398	906154013	518.40	51.84	102.64	672.88
399	906161003	251.11	25.11	49.72	325.94
400	906163020	41.15	4.12	8.15	53.40
401	906163021	99.15	9.92	19.63	128.70
402	906164011	477.74	47.77	94.59	620.10
403	906182032	518.40	51.84	102.64	672.88
404	906182043	481.32	48.13	95.30	624.74
405	906183034	395.66	39.57	78.34	513.56
406	906194047	90.97	9.10	18.01	118.08
407	906194051	1,129.69	112.97	223.68	1,466.34
408	906211003	497.10	49.71	98.43	645.24
409	906211005	95.00	9.50	18.81	123.30
410	906211017	389.00	38.90	77.02	504.92
411	906211025	518.40	51.84	102.64	672.88
412	906270048	497.40	49.74	98.49	645.62
413	906270057	812.27	81.23	160.83	1,054.32
414	906281006	118.30	11.83	23.42	153.54
415	906281007	416.63	41.66	82.49	540.78
416	906281009	497.40	49.74	98.49	645.62
417	906281028	59.13	5.91	11.71	76.74
418	906283003	220.50	22.05	43.66	286.20
419	906283007	451.26	45.13	89.35	585.74
420	906292008	614.73	61.47	121.72	797.92
421	906313008	497.40	49.74	98.49	645.62
422	906313017	669.67	66.97	132.59	869.22
423	906313021	127.74	12.77	25.29	165.80
424	906323008	396.18	39.62	78.44	514.24
425	906362007	481.31	48.13	95.30	624.74
426	906362012	96.15	9.62	19.04	124.80
427	906372009	497.40	49.74	98.49	645.62
428	906372017	221.09	22.11	43.78	286.96
429	906373005	448.48	44.85	88.80	582.12
430	906381002	606.20	60.62	120.03	786.84
431	906381003	497.40	49.74	98.49	645.62
432	906381007	497.40	49.74	98.49	645.62

433	906391030	518.40	51.84	102.64	672.88
434	906400022	518.40	51.84	102.64	672.88
435	906412009	96.15	9.62	19.04	124.80
436	906421012	647.56	64.76	128.22	840.52
437	906472009	99.89	9.99	19.78	129.66
438	906481020	654.86	65.49	129.66	850.00
439	906481037	518.40	51.84	102.64	672.88
440	906531001	497.40	49.74	98.49	645.62
441	906541013	497.40	49.74	98.49	645.62
442	906541015	196.00	19.60	38.81	254.40
443	906542023	259.48	25.95	51.38	336.80
444	906551022	654.86	65.49	129.66	850.00
445	906551044	518.40	51.84	102.64	672.88
446	906561005	482.50	48.25	95.54	626.28
447	906571001	817.25	81.73	161.82	1,060.78
448	906573004	518.40	51.84	102.64	672.88
449	906581038	846.45	84.65	167.60	1,098.68
450	906582020	251.41	25.14	49.78	326.32
451	906591004	127.29	12.73	25.20	165.22
452	906591024	423.91	42.39	83.93	550.24
453	906594005	452.34	45.23	89.56	587.14
454	906602011	497.40	49.74	98.49	645.62
455	906603004	626.42	62.64	124.03	813.08
456	906623011	96.15	9.62	19.04	124.80
457	906631010	500.83	50.08	99.16	650.08
458	906631014	497.40	49.74	98.49	645.62
459	906640010	457.76	45.78	90.64	594.16
460	906650008	99.15	9.92	19.63	128.70
461	906650028	340.31	34.03	67.38	441.72
462	906660011	556.59	55.66	110.20	722.44
463	906662008	937.90	93.79	185.70	1,217.38
464	906681002	623.07	62.31	123.37	808.74
465	906681010	497.40	49.74	98.49	645.62
466	906720002	501.50	50.15	99.30	650.94
467	906730016	344.94	34.49	68.30	447.72
468	906730017	654.86	65.49	129.66	850.00
469	906750015	350.90	35.09	69.48	455.46
470	906751031	309.57	30.96	61.29	401.82
471	906751033	307.15	30.72	60.82	398.68
472	906761019	420.01	42.00	83.16	545.16
473	906761047	175.89	17.59	34.83	228.30
474	906761064	483.25	48.33	95.68	627.26
475	906771002	364.27	36.43	72.13	472.82
476	906771064	376.70	37.67	74.59	488.96
477	908010002	1,010.48	101.05	200.08	1,311.60
478	908010037	439.05	43.91	86.93	569.88
479	908022001	506.47	50.65	100.28	657.40
480	908022024	204.15	20.42	40.42	264.98
481	908022029	426.35	42.64	84.42	553.40
482	908030008	497.40	49.74	98.49	645.62
483	908040020	340.40	34.04	67.40	441.84
484	908041003	96.15	9.62	19.04	124.80
485	908043005	103.00	10.30	20.39	133.68
486	908050003	419.13	41.91	82.99	544.02
487	908050005	371.39	37.14	73.54	482.06

488	908050007	149.03	14.90	29.51	193.44
489	908051007	199.15	19.92	39.43	258.50
490	908052008	170.65	17.07	33.79	221.50
491	908052011	682.42	68.24	135.12	885.78
492	908060012	167.21	16.72	33.11	217.04
493	908062007	518.40	51.84	102.64	672.88
494	908062015	497.40	49.74	98.49	645.62
495	908071013	241.08	24.11	47.73	312.92
496	908073002	417.40	41.74	82.65	541.78
497	908080010	497.40	49.74	98.49	645.62
498	908080019	99.15	9.92	19.63	128.70
499	908080024	571.57	57.16	113.17	741.90
500	908080027	497.40	49.74	98.49	645.62
501	908090012	518.40	51.84	102.64	672.88
502	908091030	398.87	39.89	78.98	517.72
503	908092003	292.57	29.26	57.93	379.76
504	908100008	497.40	49.74	98.49	645.62
505	908101009	518.40	51.84	102.64	672.88
506	908102003	96.15	9.62	19.04	124.80
507	908103001	127.29	12.73	25.20	165.22
508	908104003	470.30	47.03	93.12	610.44
509	908110010	512.27	51.23	101.43	664.92
510	908113007	261.92	26.19	51.86	339.96
511	908121002	497.40	49.74	98.49	645.62
512	908121009	424.13	42.41	83.98	550.52
513	908121017	358.01	35.80	70.89	464.70
514	908124001	199.15	19.92	39.43	258.50
515	908131006	483.33	48.33	95.70	627.36
516	908131020	287.17	28.72	56.86	372.74
517	908140031	96.15	9.62	19.04	124.80
518	908140042	518.40	51.84	102.64	672.88
519	908141002	473.89	47.39	93.83	615.10
520	908141008	98.00	9.80	19.40	127.20
521	908141009	484.96	48.50	96.02	629.48
522	908141016	199.15	19.92	39.43	258.50
523	908141028	682.42	68.24	135.12	885.78
524	908141034	740.31	74.03	146.58	960.92
525	908150003	447.24	44.72	88.55	580.52
526	908150007	497.40	49.74	98.49	645.62
527	908151012	127.29	12.73	25.20	165.22
528	908152007	518.40	51.84	102.64	672.88
529	908152035	391.16	39.12	77.45	507.72
530	908152036	225.66	22.57	44.68	292.90
531	908153017	326.16	32.62	64.58	423.36
532	908153024	497.40	49.74	98.49	645.62
533	908153028	497.40	49.74	98.49	645.62
534	908160013	140.15	14.02	27.75	181.90
535	908160021	641.95	64.20	127.11	833.24
536	908160027	81.82	8.18	16.20	106.20
537	908161011	124.06	12.41	24.56	161.02
538	908161018	448.91	44.89	88.88	582.68
539	908162012	518.40	51.84	102.64	672.88
540	908170003	497.40	49.74	98.49	645.62
541	908170005	518.40	51.84	102.64	672.88
542	908171011	682.42	68.24	135.12	885.78

543	908172002	201.12	20.11	39.82	261.04
544	908172011	93.00	9.30	18.41	120.70
545	908173006	376.68	37.67	74.58	488.92
546	908173016	566.85	56.69	112.24	735.76
547	908173020	132.29	13.23	26.19	171.70
548	908173026	654.86	65.49	129.66	850.00
549	908173028	181.43	18.14	35.92	235.50
550	908173030	76.77	7.68	15.20	99.64
551	908190043	410.03	41.00	81.19	532.22
552	908200016	410.03	41.00	81.19	532.22
553	908200082	331.60	33.16	65.66	430.42
554	908210001	60.04	6.00	11.89	77.92
555	908220009	368.71	36.87	73.00	478.58
556	908220076	410.03	41.00	81.19	532.22
557	908220083	410.03	41.00	81.19	532.22
558	908230049	410.03	41.00	81.19	532.22
559	908240027	69.87	6.99	13.83	90.68
560	908240050	20.90	2.09	4.14	27.12
561	908250013	138.56	13.86	27.43	179.84
562	908250049	410.03	41.00	81.19	532.22
563	908262011	518.40	51.84	102.64	672.88
564	908262018	518.40	51.84	102.64	672.88
565	908263007	96.15	9.62	19.04	124.80
566	908272012	96.15	9.62	19.04	124.80
567	908300011	649.53	64.95	128.61	843.08
568	908300016	654.86	65.49	129.66	850.00
569	908300018	199.15	19.92	39.43	258.50
570	908311005	419.86	41.99	83.13	544.98
571	908311009	365.17	36.52	72.30	473.98
572	908311022	25.62	2.56	5.07	33.24
573	908311030	398.87	39.89	78.98	517.72
574	908311033	457.76	45.78	90.64	594.16
575	908311034	397.40	39.74	78.69	515.82
576	908330001	488.68	48.87	96.76	634.30
577	908331038	199.15	19.92	39.43	258.50
578	908340015	99.89	9.99	19.78	129.66
579	908341001	370.33	37.03	73.33	480.68
580	908350012	497.40	49.74	98.49	645.62
581	908370018	319.21	31.92	63.20	414.32
582	908371003	497.40	49.74	98.49	645.62
583	908371004	654.86	65.49	129.66	850.00
584	908371008	495.07	49.51	98.02	642.60
585	908371009	88.65	8.87	17.55	115.06
586	908371013	634.36	63.44	125.60	823.40
587	908371025	471.75	47.18	93.41	612.32
588	908381001	505.06	50.51	100.00	655.56
589	908390003	497.40	49.74	98.49	645.62
590	908392016	419.13	41.91	82.99	544.02
591	908392032	505.06	50.51	100.00	655.56
592	908400001	505.06	50.51	100.00	655.56
593	908401003	654.86	65.49	129.66	850.00
594	908410006	505.06	50.51	100.00	655.56
595	908410021	259.48	25.95	51.38	336.80
596	908410024	505.06	50.51	100.00	655.56
597	908420026	382.15	38.22	75.67	496.02

598	908420039	59.15	5.92	11.71	76.78
599	908430003	518.40	51.84	102.64	672.88
600	908430005	419.13	41.91	82.99	544.02
601	908431010	497.40	49.74	98.49	645.62
602	908432001	96.15	9.62	19.04	124.80
603	908433010	497.40	49.74	98.49	645.62
604	908441027	127.29	12.73	25.20	165.22
605	908451010	162.73	16.27	32.22	211.22
606	908461008	192.10	19.21	38.04	249.34
607	909020061	518.40	51.84	102.64	672.88
608	909021084	202.47	20.25	40.09	262.80
609	909022036	188.37	18.84	37.30	244.50
610	909022061	149.85	14.99	29.67	194.50
611	909022064	184.86	18.49	36.60	239.94
612	909023044	443.23	44.32	87.76	575.30
613	909023046	331.54	33.15	65.64	430.34
614	909023086	505.06	50.51	100.00	655.56
615	909090005	497.40	49.74	98.49	645.62
616	909100042	440.31	44.03	87.18	571.52
617	909190004	205.07	20.51	40.60	266.18
618	909200002	172.23	17.22	34.10	223.54
619	909220006	682.42	68.24	135.12	885.78
620	909230025	220.71	22.07	43.70	286.48
621	909340015	37.21	3.72	7.37	48.30
622	909410018	477.74	47.77	94.59	620.10
623	910170002	419.13	41.91	82.99	544.02
624	910210019	362.09	36.21	71.69	469.98
625	910450005	485.50	48.55	96.13	630.18
626	910450006	337.71	33.77	66.87	438.34
627	910450009	497.40	49.74	98.49	645.62
628	910450030	654.86	65.49	129.66	850.00
629	910450051	290.30	29.03	57.48	376.80
630	910450055	430.92	43.09	85.32	559.32
631	910450056	119.48	11.95	23.66	155.08
632	910450068	368.27	36.83	72.92	478.00
633	910460007	419.13	41.91	82.99	544.02
634	910460017	127.29	12.73	25.20	165.22
635	910460021	505.06	50.51	100.00	655.56
636	910460023	185.78	18.58	36.78	241.14
637	912052007	653.26	65.33	129.35	847.92
638	912052016	457.76	45.78	90.64	594.16
639	912052020	199.15	19.92	39.43	258.50
640	912052026	518.40	51.84	102.64	672.88
641	912052031	497.40	49.74	98.49	645.62
642	912052034	451.05	45.11	89.31	585.46
643	912065009	246.38	24.64	48.78	319.80
644	912071002	470.71	47.07	93.20	610.98
645	912073013	319.15	31.92	63.19	414.26
646	912073031	96.15	9.62	19.04	124.80
647	912074003	518.40	51.84	102.64	672.88
648	912074016	99.15	9.92	19.63	128.70
649	912074019	497.40	49.74	98.49	645.62
650	912075009	148.65	14.87	29.43	192.94
651	912084004	103.14	10.31	20.42	133.88
652	912084013	497.40	49.74	98.49	645.62

653	912084017	602.32	60.23	119.26	781.80
654	912092001	250.67	25.07	49.63	325.36
655	912092006	497.40	49.74	98.49	645.62
656	912092026	497.40	49.74	98.49	645.62
657	912092030	236.13	23.61	46.75	306.50
658	912101003	307.15	30.72	60.82	398.68
659	912101017	96.15	9.62	19.04	124.80
660	912114003	99.15	9.92	19.63	128.70
661	912121008	199.15	19.92	39.43	258.50
662	912121014	162.95	16.30	32.26	211.50
663	912122009	497.40	49.74	98.49	645.62
664	912122012	654.86	65.49	129.66	850.00
665	912122041	812.27	81.23	160.83	1,054.32
666	912123003	96.15	9.62	19.04	124.80
667	912130015	127.19	12.72	25.18	165.08
668	912130019	812.27	81.23	160.83	1,054.32
669	912153004	99.23	9.92	19.65	128.80
670	912153008	421.12	42.11	83.38	546.60
671	912161028	269.13	26.91	53.29	349.32
672	912171018	106.72	10.67	21.13	138.52
673	912171023	497.40	49.74	98.49	645.62
674	912172007	25.66	2.57	5.08	33.30
675	912173005	168.03	16.80	33.27	218.10
676	912181004	457.76	45.78	90.64	594.16
677	912191016	497.40	49.74	98.49	645.62
678	912192007	172.39	17.24	34.13	223.76
679	912192011	96.15	9.62	19.04	124.80
680	912201002	497.40	49.74	98.49	645.62
681	912202003	306.66	30.67	60.72	398.04
682	912202004	281.94	28.19	55.82	365.96
683	912202022	505.06	50.51	100.00	655.56
684	912211007	682.42	68.24	135.12	885.78
685	912211027	497.40	49.74	98.49	645.62
686	912212020	326.05	32.61	64.56	423.20
687	912212023	121.39	12.14	24.04	157.56
688	912222012	518.40	51.84	102.64	672.88
689	912222018	505.06	50.51	100.00	655.56
690	912231011	497.40	49.74	98.49	645.62
691	912241006	161.79	16.18	32.03	210.00
692	912241016	497.40	49.74	98.49	645.62
693	912261023	362.87	36.29	71.85	471.00
694	912262001	654.86	65.49	129.66	850.00
695	912262009	193.64	19.36	38.34	251.34
696	912271003	341.07	34.11	67.53	442.70
697	912271005	425.49	42.55	84.25	552.28
698	912272028	266.80	26.68	52.83	346.30
699	912273001	98.87	9.89	19.58	128.32
700	912282001	277.54	27.75	54.95	360.24
701	912282012	518.40	51.84	102.64	672.88
702	912282029	444.33	44.43	87.98	576.74
703	912283014	497.40	49.74	98.49	645.62
704	912284005	86.54	8.65	17.13	112.32
705	912291003	154.65	15.47	30.62	200.74
706	912291010	407.65	40.77	80.71	529.12
707	912291026	54.68	5.47	10.83	70.96

708	912292004	326.69	32.67	64.68	424.04
709	912293001	138.68	13.87	27.46	180.00
710	912293010	682.42	68.24	135.12	885.78
711	912311008	211.21	21.12	41.82	274.14
712	912311016	86.89	8.69	17.20	112.78
713	912312002	77.61	7.76	15.37	100.74
714	912312008	497.40	49.74	98.49	645.62
715	912322024	96.15	9.62	19.04	124.80
716	912322025	192.10	19.21	38.04	249.34
717	912333013	647.59	64.76	128.22	840.56
718	912333015	631.09	63.11	124.96	819.14
719	912334007	127.29	12.73	25.20	165.22
720	912334021	497.40	49.74	98.49	645.62
721	912351014	367.80	36.78	72.82	477.40
722	912351035	433.66	43.37	85.86	562.88
723	912351039	311.52	31.15	61.68	404.34
724	912351040	275.94	27.59	54.64	358.16
725	912351054	487.35	48.74	96.50	632.58
726	912362013	484.26	48.43	95.88	628.56
727	913031007	519.74	51.97	102.91	674.62
728	913031010	199.15	19.92	39.43	258.50
729	913031022	96.15	9.62	19.04	124.80
730	913032038	96.15	9.62	19.04	124.80
731	913042004	419.13	41.91	82.99	544.02
732	913051010	410.03	41.00	81.19	532.22
733	913062016	198.15	19.82	39.23	257.20
734	913062022	307.15	30.72	60.82	398.68
735	913063003	410.03	41.00	81.19	532.22
736	913074001	241.72	24.17	47.86	313.74
737	913081007	410.03	41.00	81.19	532.22
738	913082012	208.35	20.84	41.25	270.44
739	913091002	415.03	41.50	82.18	538.70
740	913091003	415.03	41.50	82.18	538.70
741	913091009	76.32	7.63	15.11	99.06
742	913092013	321.25	32.13	63.61	416.98
743	913120007	410.03	41.00	81.19	532.22
744	913120009	410.03	41.00	81.19	532.22
745	913120010	410.03	41.00	81.19	532.22
746	913140002	100.03	10.00	19.81	129.84
747	913140008	98.64	9.86	19.53	128.02
748	913140013	215.03	21.50	42.58	279.10
749	913180006	497.40	49.74	98.49	645.62
750	913180009	403.13	40.31	79.82	523.26
751	913180012	347.15	34.72	68.74	450.60
752	913180044	497.40	49.74	98.49	645.62
753	913180074	419.13	41.91	82.99	544.02
754	913221007	546.81	54.68	108.27	709.76
755	913221017	497.40	49.74	98.49	645.62
756	913221025	497.40	49.74	98.49	645.62
757	913261007	421.59	42.16	83.47	547.22
758	913270003	419.13	41.91	82.99	544.02
759	913291002	377.74	37.77	74.79	490.30
760	913292005	682.42	68.24	135.12	885.78
761	913292014	216.00	21.60	42.77	280.36
762	913292037	168.43	16.84	33.35	218.62

763	913292040	518.40	51.84	102.64	672.88
764	913292044	199.15	19.92	39.43	258.50
765	913292046	184.79	18.48	36.59	239.86
766	913292048	497.40	49.74	98.49	645.62
767	913301020	591.96	59.20	117.21	768.36
768	913302050	96.15	9.62	19.04	124.80
769	913311011	234.48	23.45	46.43	304.36
770	913312005	227.73	22.77	45.09	295.58
771	913312033	497.40	49.74	98.49	645.62
772	913312035	518.40	51.84	102.64	672.88
773	913320004	199.15	19.92	39.43	258.50
774	913333015	497.40	49.74	98.49	645.62
775	913341013	181.95	18.20	36.03	236.16
776	913342002	497.40	49.74	98.49	645.62
777	913342006	654.86	65.49	129.66	850.00
778	913343001	581.60	58.16	115.16	754.92
779	913363019	456.89	45.69	90.46	593.04
780	913371014	661.76	66.18	131.03	858.96
781	913372012	312.15	31.22	61.81	405.16
782	913381004	249.65	24.97	49.43	324.04
783	913381011	447.40	44.74	88.59	580.72
784	913381016	190.81	19.08	37.78	247.66
785	913381021	207.89	20.79	41.16	269.84
786	913382006	674.30	67.43	133.51	875.24
787	913382019	99.13	9.91	19.63	128.66
788	913382028	127.29	12.73	25.20	165.22
789	913382043	682.42	68.24	135.12	885.78
790	913384001	49.15	4.92	9.73	63.80
791	913385003	118.07	11.81	23.38	153.24
792	913385017	93.00	9.30	18.41	120.70
793	913390006	139.55	13.96	27.63	181.14
794	913390015	497.40	49.74	98.49	645.62
795	913390018	182.83	18.28	36.20	237.30
796	913390023	518.40	51.84	102.64	672.88
797	913390043	519.62	51.96	102.88	674.46
798	913390054	585.01	58.50	115.83	759.34
799	913400001	199.15	19.92	39.43	258.50
800	913400012	452.38	45.24	89.57	587.18
801	913400039	204.15	20.42	40.42	264.98
802	913411023	682.42	68.24	135.12	885.78
803	913411027	497.40	49.74	98.49	645.62
804	913411029	497.40	49.74	98.49	645.62
805	913411030	497.40	49.74	98.49	645.62
806	916052002	199.15	19.92	39.43	258.50
807	916052022	437.98	43.80	86.72	568.50
808	916062008	242.99	24.30	48.11	315.40
809	916063008	158.43	15.84	31.37	205.64
810	916121002	183.69	18.37	36.37	238.42
811	916122031	101.92	10.19	20.18	132.28
812	916122040	133.04	13.30	26.34	172.68
813	916130005	96.15	9.62	19.04	124.80
814	916130011	158.94	15.89	31.47	206.30
815	916130018	565.43	56.54	111.96	733.92
816	916130021	647.54	64.75	128.21	840.50
817	916130032	427.76	42.78	84.70	555.22

818	916142033	186.85	18.69	37.00	242.52
819	916191002	497.40	49.74	98.49	645.62
820	916192004	169.48	16.95	33.56	219.98
821	916205003	424.13	42.41	83.98	550.52
822	916205024	307.15	30.72	60.82	398.68
823	916211029	518.40	51.84	102.64	672.88
824	916222019	440.31	44.03	87.18	571.52
825	916222023	654.86	65.49	129.66	850.00
826	916230015	372.44	37.24	73.74	483.42
827	916241003	518.40	51.84	102.64	672.88
828	916241006	561.10	56.11	111.10	728.30
829	916263003	497.40	49.74	98.49	645.62
830	916263021	505.06	50.51	100.00	655.56
831	916264007	276.23	27.62	54.69	358.54
832	916271013	96.15	9.62	19.04	124.80
833	916271096	103.64	10.36	20.52	134.52
834	916273021	169.47	16.95	33.56	219.96
835	916281012	812.27	81.23	160.83	1,054.32
836	916283007	209.15	20.92	41.41	271.48
837	916290004	497.40	49.74	98.49	645.62
838	916290005	518.40	51.84	102.64	672.88
839	916290019	650.44	65.04	128.79	844.26
840	916290023	245.46	24.55	48.60	318.60
841	916290030	602.77	60.28	119.35	782.40
842	916290032	311.52	31.15	61.68	404.34
843	916301039	137.14	13.71	27.15	178.00
844	916303018	347.40	34.74	68.79	450.92
845	916303020	497.40	49.74	98.49	645.62
846	916303030	104.89	10.49	20.77	136.14
847	916312003	317.92	31.79	62.95	412.66
848	916312010	651.30	65.13	128.96	845.38
849	916315003	505.62	50.56	100.11	656.28
850	916316006	96.15	9.62	19.04	124.80
851	916581006	497.40	49.74	98.49	645.62
852	916582032	96.15	9.62	19.04	124.80
853	916582036	505.06	50.51	100.00	655.56
854	916590001	497.40	49.74	98.49	645.62
855	916591016	497.40	49.74	98.49	645.62
856	916591022	199.30	19.93	39.46	258.68
857	916592002	497.40	49.74	98.49	645.62
858	916592014	440.78	44.08	87.27	572.12
859	916602003	96.15	9.62	19.04	124.80
860	916602005	776.67	77.67	153.78	1,008.12
861	916610003	90.24	9.02	17.87	117.12
862	916610009	122.19	12.22	24.19	158.60
863	916610016	693.87	69.39	137.39	900.64
864	916630003	646.86	64.69	128.08	839.62
865	916712038	269.68	26.97	53.40	350.04
866	916712042	221.41	22.14	43.84	287.38
867	916712064	497.40	49.74	98.49	645.62
868	916713018	385.12	38.51	76.25	499.88
869	916713039	261.59	26.16	51.79	339.54
870	916713073	196.00	19.60	38.81	254.40
871	916713083	125.98	12.60	24.94	163.52
872	916721029	127.61	12.76	25.27	165.64

873	916721072	74.15	7.42	14.68	96.24
874	916721073	497.40	49.74	98.49	645.62
875	947062012	497.40	49.74	98.49	645.62
876	947072016	497.10	49.71	98.43	645.24
877	947092004	96.15	9.62	19.04	124.80
878	947092022	688.40	68.84	136.30	893.54
879	947093013	49.21	4.92	9.74	63.86
880	947093024	478.28	47.83	94.70	620.80
881	947102018	119.13	11.91	23.59	154.62
882	947102022	361.73	36.17	71.62	469.52
883	947103011	497.40	49.74	98.49	645.62
884	947122007	497.40	49.74	98.49	645.62
885	947131003	497.40	49.74	98.49	645.62
886	947131004	45.46	4.55	9.00	59.00
887	947132005	664.94	66.49	131.66	863.08
888	947132013	96.15	9.62	19.04	124.80
889	947133015	518.40	51.84	102.64	672.88
890	947134001	497.40	49.74	98.49	645.62
891	947142005	518.40	51.84	102.64	672.88
892	947151003	295.37	29.54	58.48	383.38
893	947152017	317.92	31.79	62.95	412.66
894	947155011	171.15	17.12	33.89	222.14
895	947160008	497.10	49.71	98.43	645.24
896	947160033	518.40	51.84	102.64	672.88
897	947171009	61.12	6.11	12.10	79.32
898	947171010	481.32	48.13	95.30	624.74
899	947171016	457.76	45.78	90.64	594.16
900	947172005	92.15	9.22	18.25	119.60
901	947172060	202.15	20.22	40.03	262.38
902	947172065	252.48	25.25	49.99	327.72
903	947181003	107.15	10.72	21.22	139.08
904	947181011	518.40	51.84	102.64	672.88
905	947182022	101.40	10.14	20.08	131.62
906	947182025	405.72	40.57	80.33	526.62
907	947182026	518.40	51.84	102.64	672.88
908	947182048	497.40	49.74	98.49	645.62
909	947201019	1,010.48	101.05	200.08	1,311.60
910	947201020	497.00	49.70	98.41	645.10
911	947202014	138.59	13.86	27.44	179.88
912	947211001	99.89	9.99	19.78	129.66
913	947212017	343.69	34.37	68.05	446.10
914	947222005	642.46	64.25	127.21	833.90
915	947223005	518.40	51.84	102.64	672.88
916	947223012	157.15	15.72	31.12	203.98
917	947233001	497.40	49.74	98.49	645.62
918	947233006	307.15	30.72	60.82	398.68
919	947233009	491.28	49.13	97.27	637.68
920	947250031	162.73	16.27	32.22	211.22
921	947250053	299.73	29.97	59.35	389.04
922	947271057	171.59	17.16	33.97	222.72
923	947271060	77.79	7.78	15.40	100.96
924	947283018	419.13	41.91	82.99	544.02
925	947284010	497.40	49.74	98.49	645.62
926	947285001	502.20	50.22	99.44	651.86
927	947286001	199.15	19.92	39.43	258.50

928	947291019	518.40	51.84	102.64	672.88
929	947292004	440.31	44.03	87.18	571.52
930	947292022	114.99	11.50	22.77	149.26
931	947293008	20.11	2.01	3.98	26.10
932	947293011	497.40	49.74	98.49	645.62
933	947303015	377.40	37.74	74.73	489.86
934	947312022	199.15	19.92	39.43	258.50
935	947312024	224.13	22.41	44.38	290.92
936	947312028	497.40	49.74	98.49	645.62
937	947321008	96.15	9.62	19.04	124.80
938	947325006	285.83	28.58	56.59	371.00
939	947333004	497.40	49.74	98.49	645.62
940	947333008	291.52	29.15	57.72	378.38
941	947333013	969.59	96.96	191.98	1,258.52
942	947333015	398.87	39.89	78.98	517.72
943	947334004	204.15	20.42	40.42	264.98
944	947342012	398.87	39.89	78.98	517.72
945	947342023	518.40	51.84	102.64	672.88
946	947343008	518.40	51.84	102.64	672.88
947	947343010	120.06	12.01	23.77	155.84
948	947351038	147.65	14.77	29.23	191.64
949	947351056	505.06	50.51	100.00	655.56
950	947351057	291.44	29.14	57.71	378.28
951	947352044	189.07	18.91	37.44	245.40
952	947352045	207.89	20.79	41.16	269.84
953	947360088	93.00	9.30	18.41	120.70
954	947391003	312.15	31.22	61.81	405.16
955	947391013	259.48	25.95	51.38	336.80
956	947391034	483.93	48.39	95.82	628.14
957	947392022	502.82	50.28	99.56	652.66
958	947401010	39.71	3.97	7.86	51.54
959	947403004	477.74	47.77	94.59	620.10
960	947432065	93.00	9.30	18.41	120.70
961	947443019	300.00	30.00	59.40	389.40
962	947443021	518.40	51.84	102.64	672.88
963	947444001	194.15	19.42	38.44	252.00
964	947451015	497.30	49.73	98.47	645.50
965	947452006	104.89	10.49	20.77	136.14
966	947453009	153.38	15.34	30.37	199.08
967	947453026	216.85	21.69	42.94	281.46
968	947463014	94.94	9.49	18.80	123.22
969	947470016	497.40	49.74	98.49	645.62
970	947470034	440.31	44.03	87.18	571.52
971	947470035	86.15	8.62	17.06	111.82
972	947480006	497.40	49.74	98.49	645.62
973	947480012	497.40	49.74	98.49	645.62
974	947512010	96.15	9.62	19.04	124.80
975	947520070	96.15	9.62	19.04	124.80
976	947530001	99.89	9.99	19.78	129.66
977	947542006	654.86	65.49	129.66	850.00
978	947544007	505.06	50.51	100.00	655.56
979	947544040	296.48	29.65	58.70	384.82
980	947562002	434.13	43.41	85.96	563.50
981	947583003	219.60	21.96	43.48	285.04
982	947601008	207.89	20.79	41.16	269.84

983	947630049	96.15	9.62	19.04	124.80
984	947640046	497.40	49.74	98.49	645.62
985	947661013	199.15	19.92	39.43	258.50
986	947661020	99.89	9.99	19.78	129.66
987	947662009	207.89	20.79	41.16	269.84
988	947681025	490.07	49.01	97.03	636.10
989	947690018	497.40	49.74	98.49	645.62
990	947741009	313.72	31.37	62.12	407.20
991	947741015	518.40	51.84	102.64	672.88
992	947742004	518.40	51.84	102.64	672.88
993	947751015	518.40	51.84	102.64	672.88
994	947751016	518.40	51.84	102.64	672.88
995	947752016	682.42	68.24	135.12	885.78
996	947761032	162.15	16.22	32.11	210.46
997	947762015	477.74	47.77	94.59	620.10
998	947781020	96.15	9.62	19.04	124.80
999	947781026	67.15	6.72	13.30	87.16
1000	947792012	66.09	6.61	13.09	85.78
1001	947793008	497.40	49.74	98.49	645.62
1002	947802001	136.72	13.67	27.07	177.46
1003	947802010	471.39	47.14	93.34	611.86
1004	947802022	218.74	21.87	43.31	283.92
1005	947802028	455.12	45.51	90.11	590.74
1006	947811006	24.32	2.43	4.82	31.56
1007	947812005	293.85	29.39	58.18	381.42
1008	947821010	147.15	14.72	29.14	191.00
1009	947821013	470.54	47.05	93.17	610.76
1010	947822009	320.77	32.08	63.51	416.36
1011	947841001	42.52	4.25	8.42	55.18
1012	947841004	96.15	9.62	19.04	124.80
1013	947841007	307.15	30.72	60.82	398.68
1014	947841020	497.40	49.74	98.49	645.62
1015	947852016	654.86	65.49	129.66	850.00
1016	948031007	128.98	12.90	25.54	167.42
1017	948031013	497.40	49.74	98.49	645.62
1018	948041003	497.40	49.74	98.49	645.62
1019	948042005	241.66	24.17	47.85	313.66
1020	948042008	219.13	21.91	43.39	284.42
1021	948042016	477.86	47.79	94.62	620.26
1022	948042019	505.06	50.51	100.00	655.56
1023	948045003	424.13	42.41	83.98	550.52
1024	948051011	96.15	9.62	19.04	124.80
1025	948051012	518.40	51.84	102.64	672.88
1026	948052001	497.40	49.74	98.49	645.62
1027	948054025	846.45	84.65	167.60	1,098.68
1028	948054028	148.76	14.88	29.45	193.08
1029	948060039	98.87	9.89	19.58	128.32
1030	948071014	505.06	50.51	100.00	655.56
1031	948081003	497.40	49.74	98.49	645.62
1032	948081007	477.74	47.77	94.59	620.10
1033	948081013	194.15	19.42	38.44	252.00
1034	948081020	104.15	10.42	20.62	135.18
1035	948094004	497.40	49.74	98.49	645.62
1036	948111010	199.15	19.92	39.43	258.50
1037	948111013	412.41	41.24	81.66	535.30

1038	948111015	457.76	45.78	90.64	594.16
1039	948111030	477.74	47.77	94.59	620.10
1040	948112003	578.96	57.90	114.63	751.48
1041	948112022	127.29	12.73	25.20	165.22
1042	948112027	187.15	18.72	37.06	242.92
1043	948124004	518.40	51.84	102.64	672.88
1044	948124007	497.40	49.74	98.49	645.62
1045	948131011	317.15	31.72	62.80	411.66
1046	948132024	62.15	6.22	12.31	80.66
1047	948132057	518.40	51.84	102.64	672.88
1048	948132061	57.15	5.72	11.32	74.18
1049	948132062	199.15	19.92	39.43	258.50
1050	948132064	518.40	51.84	102.64	672.88
1051	948141010	199.15	19.92	39.43	258.50
1052	948141029	307.15	30.72	60.82	398.68
1053	948141032	307.15	30.72	60.82	398.68
1054	948141035	518.40	51.84	102.64	672.88
1055	948141047	101.15	10.12	20.03	131.28
1056	948141063	434.13	43.41	85.96	563.50
1057	948142005	96.15	9.62	19.04	124.80
1058	948151048	497.40	49.74	98.49	645.62
1059	948152013	497.40	49.74	98.49	645.62
1060	948152032	47.69	4.77	9.44	61.90
1061	948161003	463.09	46.31	91.69	601.08
1062	948161004	99.26	9.93	19.65	128.84
1063	948161010	300.49	30.05	59.50	390.04
1064	948161021	339.40	33.94	67.20	440.54
1065	948162004	483.33	48.33	95.70	627.36
1066	948162007	654.86	65.49	129.66	850.00
1067	948162012	518.40	51.84	102.64	672.88
1068	948162013	96.15	9.62	19.04	124.80
1069	948162026	185.09	18.51	36.65	240.24
1070	948163007	96.15	9.62	19.04	124.80
1071	948163024	518.40	51.84	102.64	672.88
1072	948163035	377.70	37.77	74.78	490.24
1073	948164003	85.22	8.52	16.87	110.62
1074	948164011	101.15	10.12	20.03	131.28
1075	948172006	198.52	19.85	39.31	257.68
1076	948172010	248.59	24.86	49.22	322.66
1077	948172042	470.81	47.08	93.22	611.10
1078	948173030	518.40	51.84	102.64	672.88
1079	948181005	475.56	47.56	94.16	617.28
1080	948182002	505.06	50.51	100.00	655.56
1081	948182003	459.14	45.91	90.91	595.96
1082	948182036	518.40	51.84	102.64	672.88
1083	948182043	682.42	68.24	135.12	885.78
1084	948191002	264.05	26.41	52.28	342.74
1085	948192018	682.42	68.24	135.12	885.78
1086	948193010	653.36	65.34	129.37	848.06
1087	948210004	364.93	36.49	72.26	473.68
1088	948231005	96.15	9.62	19.04	124.80
1089	948231021	505.06	50.51	100.00	655.56
1090	948231022	758.25	75.83	150.13	984.20
1091	948231026	411.73	41.17	81.52	534.42
1092	948233012	497.40	49.74	98.49	645.62

1093	948241013	189.57	18.96	37.53	246.06
1094	948251033	497.40	49.74	98.49	645.62
1095	948251035	512.60	51.26	101.49	665.34
1096	948252005	497.40	49.74	98.49	645.62
1097	948262005	518.40	51.84	102.64	672.88
1098	948272009	160.10	16.01	31.70	207.80
1099	948282005	139.07	13.91	27.54	180.50
1100	948282017	542.37	54.24	107.39	704.00
1101	948291002	96.15	9.62	19.04	124.80
1102	948291016	497.40	49.74	98.49	645.62
1103	948293002	99.15	9.92	19.63	128.70
1104	948303008	682.42	68.24	135.12	885.78
1105	948331001	497.40	49.74	98.49	645.62
1106	948332002	407.10	40.71	80.61	528.42
1107	948332007	505.06	50.51	100.00	655.56
1108	948333001	497.40	49.74	98.49	645.62
1109	948333006	419.13	41.91	82.99	544.02
1110	948333008	454.24	45.42	89.94	589.60
1111	948333015	338.60	33.86	67.04	439.50
1112	948341012	189.00	18.90	37.42	245.32
1113	948351011	616.61	61.66	122.09	800.36
1114	948351020	244.24	24.42	48.36	317.02
1115	948351027	497.40	49.74	98.49	645.62
1116	948353019	157.98	15.80	31.28	205.06
1117	948361003	518.40	51.84	102.64	672.88
1118	948363008	599.14	59.91	118.63	777.68
1119	948371015	96.15	9.62	19.04	124.80
1120	948371026	391.68	39.17	77.55	508.40
1121	948371037	497.40	49.74	98.49	645.62
1122	948372004	199.15	19.92	39.43	258.50
1123	948381005	497.40	49.74	98.49	645.62
1124	948382006	518.40	51.84	102.64	672.88
1125	948382009	504.25	50.43	99.84	654.52
1126	948383004	518.40	51.84	102.64	672.88
1127	948384007	459.87	45.99	91.05	596.90
1128	948384021	472.20	47.22	93.50	612.92
1129	948385003	497.40	49.74	98.49	645.62
1130	948392014	497.40	49.74	98.49	645.62
1131	948393007	505.06	50.51	100.00	655.56
1132	948402004	497.40	49.74	98.49	645.62
1133	948402021	505.06	50.51	100.00	655.56
1134	948412016	312.27	31.23	61.83	405.32
1135	948412028	621.18	62.12	122.99	806.28
1136	948413011	682.42	68.24	135.12	885.78
1137	948421001	374.91	37.49	74.23	486.62
1138	948421009	477.69	47.77	94.58	620.04
1139	948423021	654.86	65.49	129.66	850.00
1140	948431011	654.86	65.49	129.66	850.00
1141	948433004	671.22	67.12	132.90	871.24
1142	948433005	505.06	50.51	100.00	655.56
1143	948441003	75.55	7.56	14.96	98.06
1144	948441005	60.45	6.05	11.97	78.46
1145	948441006	475.41	47.54	94.13	617.08
1146	948442001	497.40	49.74	98.49	645.62
1147	948443001	505.06	50.51	100.00	655.56

1148	948443005	223.51	22.35	44.25	290.12
1149	948443010	440.31	44.03	87.18	571.52
1150	948443018	497.40	49.74	98.49	645.62
1151	948443021	812.27	81.23	160.83	1,054.32
1152	948443024	497.40	49.74	98.49	645.62
1153	948443025	518.40	51.84	102.64	672.88
1154	948451006	518.40	51.84	102.64	672.88
1155	948451018	477.74	47.77	94.59	620.10
1156	948452007	96.15	9.62	19.04	124.80
1157	948453012	419.13	41.91	82.99	544.02
1158	948461008	518.40	51.84	102.64	672.88
1159	948471004	391.17	39.12	77.45	507.74
1160	948471006	497.10	49.71	98.43	645.24
1161	948473002	518.40	51.84	102.64	672.88
1162	948482003	356.85	35.69	70.66	463.18
1163	948482005	101.15	10.12	20.03	131.28
1164	948482012	106.41	10.64	21.07	138.12
1165	948483003	225.07	22.51	44.56	292.14
1166	948492013	649.76	64.98	128.65	843.38
1167	948524001	455.43	45.54	90.18	591.14
1168	948540015	272.83	27.28	54.02	354.12
1169	948540023	497.40	49.74	98.49	645.62
1170	948540024	66.15	6.62	13.10	85.86
1171	948550023	477.74	47.77	94.59	620.10
1172	948561008	37.31	3.73	7.39	48.42
1173	949043002	57.15	5.72	11.32	74.18
1174	949043013	643.73	64.37	127.46	835.56
1175	949043014	654.86	65.49	129.66	850.00
1176	949043033	186.17	18.62	36.86	241.64
1177	949043037	441.21	44.12	87.36	572.68
1178	949051001	518.40	51.84	102.64	672.88
1179	949051012	457.73	45.77	90.63	594.12
1180	949052007	518.40	51.84	102.64	672.88
1181	949052023	454.86	45.49	90.06	590.40
1182	949052028	398.87	39.89	78.98	517.72
1183	949061007	199.15	19.92	39.43	258.50
1184	949061029	382.10	38.21	75.66	495.96
1185	949071017	518.40	51.84	102.64	672.88
1186	949071018	118.04	11.80	23.37	153.22
1187	949072027	647.12	64.71	128.13	839.96
1188	949073002	116.53	11.65	23.07	151.26
1189	949073011	94.89	9.49	18.79	123.16
1190	949081011	477.74	47.77	94.59	620.10
1191	949081039	91.00	9.10	18.02	118.12
1192	949081072	497.40	49.74	98.49	645.62
1193	949081081	444.02	44.40	87.92	576.34
1194	949081086	274.74	27.47	54.40	356.60
1195	949081087	152.68	15.27	30.23	198.18
1196	949082015	203.48	20.35	40.29	264.12
1197	949141005	237.85	23.79	47.09	308.72
1198	949141011	497.40	49.74	98.49	645.62
1199	949142005	479.63	47.96	94.97	622.56
1200	949142020	775.85	77.59	153.62	1,007.04
1201	949151007	654.86	65.49	129.66	850.00
1202	949153002	165.15	16.52	32.70	214.36

1203	949153013	96.15	9.62	19.04	124.80
1204	949153048	170.40	17.04	33.74	221.18
1205	949154010	618.58	61.86	122.48	802.92
1206	949163007	197.40	19.74	39.09	256.22
1207	949180017	47.29	4.73	9.36	61.38
1208	949180029	518.40	51.84	102.64	672.88
1209	949251013	188.06	18.81	37.24	244.10
1210	949252010	488.68	48.87	96.76	634.30
1211	949252020	288.51	28.85	57.12	374.48
1212	949252021	496.07	49.61	98.22	643.90
1213	949254002	148.72	14.87	29.45	193.04
1214	949261004	497.40	49.74	98.49	645.62
1215	949261036	249.15	24.92	49.33	323.40
1216	949263035	518.40	51.84	102.64	672.88
1217	949272033	505.06	50.51	100.00	655.56
1218	949272056	73.39	7.34	14.53	95.26
1219	949282005	112.15	11.22	22.21	145.56
1220	949283007	464.66	46.47	92.00	603.12
1221	949283017	760.53	76.05	150.58	987.16
1222	949284024	170.98	17.10	33.85	221.92
1223	949291014	257.53	25.75	50.99	334.26
1224	949293002	96.15	9.62	19.04	124.80
1225	949294009	518.40	51.84	102.64	672.88
1226	949301016	98.00	9.80	19.40	127.20
1227	949301028	274.61	27.46	54.37	356.44
1228	949301044	682.42	68.24	135.12	885.78
1229	949303009	497.40	49.74	98.49	645.62
1230	949311012	654.86	65.49	129.66	850.00
1231	949314008	41.15	4.12	8.15	53.40
1232	949314010	258.98	25.90	51.28	336.16
1233	949314015	178.85	17.89	35.41	232.14
1234	949314018	208.68	20.87	41.32	270.86
1235	949315004	74.36	7.44	14.72	96.52
1236	949315008	49.15	4.92	9.73	63.80
1237	949315009	477.74	47.77	94.59	620.10
1238	949323010	510.73	51.07	101.12	662.92
1239	949323012	413.21	41.32	81.82	536.34
1240	949323022	518.40	51.84	102.64	672.88
1241	949331012	654.86	65.49	129.66	850.00
1242	949332005	497.40	49.74	98.49	645.62
1243	949332015	497.40	49.74	98.49	645.62
1244	949332020	846.45	84.65	167.60	1,098.68
1245	949332038	439.07	43.91	86.94	569.90
1246	949332049	457.76	45.78	90.64	594.16
1247	949332058	358.90	35.89	71.06	465.84
1248	949332063	497.40	49.74	98.49	645.62
1249	949342003	307.15	30.72	60.82	398.68
1250	949343003	57.47	5.75	11.38	74.60
1251	949344001	231.62	23.16	45.86	300.64
1252	949345005	497.40	49.74	98.49	645.62
1253	949350007	159.03	15.90	31.49	206.42
1254	949350008	497.40	49.74	98.49	645.62
1255	949350009	497.40	49.74	98.49	645.62
1256	949350011	682.42	68.24	135.12	885.78
1257	949350012	255.52	25.55	50.59	331.66

1258	949361006	421.32	42.13	83.42	546.86
1259	949361011	425.25	42.53	84.20	551.96
1260	949361042	90.00	9.00	17.82	116.82
1261	949371011	103.14	10.31	20.42	133.88
1262	949371021	497.40	49.74	98.49	645.62
1263	949381002	91.15	9.12	18.05	118.30
1264	949381006	443.04	44.30	87.72	575.06
1265	949392004	415.32	41.53	82.23	539.08
1266	949392016	573.61	57.36	113.57	744.54
1267	949402011	93.00	9.30	18.41	120.70
1268	949402016	537.10	53.71	106.35	697.16
1269	949412022	231.07	23.11	45.75	299.92
1270	949413007	654.86	65.49	129.66	850.00
1271	949421003	846.45	84.65	167.60	1,098.68
1272	949422005	139.48	13.95	27.62	181.04
1273	949422019	497.40	49.74	98.49	645.62
1274	949432011	518.40	51.84	102.64	672.88
1275	949433015	131.49	13.15	26.04	170.66
1276	949442005	312.15	31.22	61.81	405.16
1277	949444001	497.40	49.74	98.49	645.62
1278	949456009	457.04	45.70	90.49	593.24
1279	949461006	96.15	9.62	19.04	124.80
1280	949461014	505.06	50.51	100.00	655.56
1281	949461015	497.40	49.74	98.49	645.62
1282	949462002	96.15	9.62	19.04	124.80
1283	949462005	497.40	49.74	98.49	645.62
1284	949465001	388.77	38.88	76.98	504.62
1285	949482004	450.14	45.01	89.13	584.28
1286	949482016	497.40	49.74	98.49	645.62
1287	949491001	497.40	49.74	98.49	645.62
1288	949491026	518.40	51.84	102.64	672.88
1289	949492001	518.40	51.84	102.64	672.88
1290	949492010	654.86	65.49	129.66	850.00
1291	949502004	533.01	53.30	105.54	691.84
1292	949504001	199.15	19.92	39.43	258.50
1293	949504004	497.40	49.74	98.49	645.62
1294	949512022	654.86	65.49	129.66	850.00
1295	949512032	497.40	49.74	98.49	645.62
1296	949521024	470.17	47.02	93.09	610.28
1297	949522009	307.15	30.72	60.82	398.68
1298	949533003	59.15	5.92	11.71	76.78
1299	949533010	215.26	21.53	42.62	279.40
1300	949540022	654.86	65.49	129.66	850.00
1301	949571016	164.09	16.41	32.49	212.98
1302	949572002	169.13	16.91	33.49	219.52
1303	949611019	518.40	51.84	102.64	672.88
1304	949612014	297.40	29.74	58.89	386.02
1305	949612018	255.58	25.56	50.60	331.74
1306	949612030	748.63	74.86	148.23	971.72
1307	949612041	373.06	37.31	73.87	484.22
1308	949612042	239.13	23.91	47.35	310.38
1309	949612045	96.15	9.62	19.04	124.80
1310	949612058	503.08	50.31	99.61	653.00
1311	949621020	497.40	49.74	98.49	645.62
1312	949630002	440.31	44.03	87.18	571.52

1313	949630014	654.86	65.49	129.66	850.00
1314	949642011	453.30	45.33	89.75	588.38
1315	949642017	96.15	9.62	19.04	124.80
1316	949642021	424.13	42.41	83.98	550.52
1317	949642023	654.86	65.49	129.66	850.00
1318	949643010	220.57	22.06	43.67	286.30
1319	949643038	96.15	9.62	19.04	124.80
1320	949691014	422.17	42.22	83.59	547.98
1321	949691029	93.24	9.32	18.46	121.02
1322	949691044	188.28	18.83	37.28	244.38
1323	949691046	99.14	9.91	19.63	128.68
1324	949691055	149.15	14.92	29.53	193.60
1325	949691057	89.15	8.92	17.65	115.72
1326	949691084	42.11	4.21	8.34	54.66
1327	949691088	96.15	9.62	19.04	124.80
1328	949692003	114.91	11.49	22.75	149.14
1329	949692015	529.80	52.98	104.90	687.68
1330	949692020	497.40	49.74	98.49	645.62
1331	949710023	196.70	19.67	38.95	255.32
1332	949710025	470.53	47.05	93.16	610.74
1333	949710035	91.15	9.12	18.05	118.30
1334	949710062	477.47	47.75	94.54	619.76
1335	949720047	497.40	49.74	98.49	645.62
1336	949720053	49.15	4.92	9.73	63.80
1337	949731006	140.00	14.00	27.72	181.72
1338	949731009	259.08	25.91	51.30	336.28
1339	949731021	77.79	7.78	15.40	100.96
1340	963522005	100.05	10.01	19.81	129.86
1341	963532027	91.15	9.12	18.05	118.30
1342	964610029	497.40	49.74	98.49	645.62



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 9.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Bernard Molloy, Fire Chief

PREPARED BY: Sue Ann Herring, Senior Management Analyst - Fire

SUBJECT: Fiscal Year 2025/26 Fire Suppression Assessment

RECOMMENDATION

Adopt Resolution No. MFD 25-226 entitled: *A Resolution of the Board of Directors of the Murrieta Fire District Levying the Fiscal Year 2025/26 Fire Suppression Assessment Fee and Standby or Availability Charge*; and

Authorize the General Manager to execute the associated Proposition 218 Compliance Letter.

PRIOR ACTION/VOTE

On July 21, 2020, the City Council, acting as the Board of Directors of the Murrieta Fire District, adopted Resolution No. MFD 20-206, approving the annual Fire Suppression Assessment for 2020/21 and approving the Proposition 218 Compliance Letter (Vote: 4-0-1).

On July 6, 2021, the City Council, acting as the Board of Directors of the Murrieta Fire District, adopted Resolution No. MFD 21-212, approving the annual Fire Suppression Assessment for 2021/22 and approving the Proposition 218 Compliance Letter (Vote: 5-0).

On June 21, 2022, the City Council, acting as the Board of Directors of the Murrieta Fire District, adopted Resolution No. MFD 22-218, approving the annual Fire Suppression Assessment for 2022/23 and approving the Proposition 218 Compliance Letter (Vote: 5-0).

On July 20, 2023, the City Council acting as the Board of Directors of the Murrieta Fire District adopted Resolution No. MFD 23-220, approving the annual Fire Suppression Assessment for 2023/24 and approving the Proposition 218 Compliance Letter (Vote: 4-1-0).

On July 2, 2024, the City Council acting as the Board of Directors of the Murrieta Fire District adopted Resolution No. MFD 24-224, approving the annual Fire Suppression Assessment for 2024/25 and approving the Proposition 218 Compliance Letter (Vote: 5-0).

CITY COUNCIL GOAL

Maintain a high performing organization that values fiscal sustainability, transparency, accountability and

organizational efficiency.

BACKGROUND

In 1981, the voters in Murrieta approved a unit of benefit Fire Suppression Assessment by a 79 percent margin. The annual fire assessment has been approved by the City Council each year since 1993, when the Fire District became a subsidiary of the City of Murrieta (City). Before 1993, the independent Murrieta Fire Protection District Board of Directors adopted the unit of benefit Fire Suppression Assessment annually. All properties within the Fire District are assessed and aligned equitably with each property's proportional share of special benefits. The method of apportionment established for most districts formed under the 1972 Benefit Act utilizes a weighted method of apportionment known as an Equivalent Benefit Unit (EBU) methodology that uses the single-family home site as the basic unit of assessment. A single-family home site equals one EBU. All other land uses are converted to a weighted EBU based on an assessment formula that equates the property's specific development status, type of development (land use), and the property's size compared to a single-family home site. The purpose of the annual Fire Suppression Assessment is to supplement a portion of the income loss to the Murrieta Fire District due to the result of Proposition 13 and to support operational expenses for fire suppression.

The maximum fee per unit of benefit is \$40.00. Each unit of benefit is assessed at approximately 1,000 gallons of fire hydrant water flow per parcel, up to a maximum of twelve units of benefit. The \$40.00 fee is levied regardless of the property valuation, with most single-family homes paying this fixed amount. Commercial and multi-family residential zoned parcels pay up to the maximum of twelve units of benefit, depending on the fire flow requirements. Vacant parcels and outbuildings will not be assessed this fee. The approval of the suppression fee is an annual process required by the Riverside County Auditor-Controller.

In November 1996, California voters passed Proposition 218, the "Right to Vote on Taxes Act." This constitutional amendment protects taxpayers by limiting the methods by which local governments can create or increase taxes and fees without taxpayer consent. Proposition 218 requires voter approval before imposing or increasing general taxes, assessments, and specific user fees. The attached Proposition 218 Compliance Letter certifies that the City of Murrieta Fire District is compliant with the laws governing special assessment taxes imposed upon property owners as stipulated in Proposition 218.

FISCAL IMPACT

The revenues generated from the Fire Suppression Assessment for FY 2025/26 will be approximately \$1,588,134.40 to Organizational Code 1513520 under Fire Administration, Revenue Object Code 40041 under Special Assessment-Unit of Benefit Assessment.

ATTACHMENTS

1. Resolution No. MFD 25-226
2. Proposition 218 Compliance Letter

RESOLUTION NO. MFD 25-226

A RESOLUTION OF THE BOARD OF DIRECTORS OF THE MURRIETA FIRE DISTRICT LEVYING THE 2025/2026 FIRE SUPPRESSION ASSESSMENT FEE AND STANDBY OR AVAILABILITY CHARGE, AND AUTHORIZING THE GENERAL MANAGER TO EXECUTE THE ASSOCIATED PROPOSITION 218 COMPLIANCE LETTER

WHEREAS, Government Code section 53973 authorizes the levy or standby or availability charges approved by the voters prior to the effective date of that section, which was in 1982; and

WHEREAS, a Fire Suppression Assessment, alternatively designated a Standby or Availability Charge, was duly approved by the voters and assessed in 1981; and

WHEREAS, the Board of Supervisors of Riverside County established the Murrieta Fire District as a subsidiary district of the City of Murrieta via Resolution 93-364; and

WHEREAS, the purpose of the annual Standby or Availability Charge is to supplement the income loss to the Murrieta Fire District as a result of Proposition 13 to support operational expenses for fire suppression.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE MURRIETA FIRE DISTRICT, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. That the Standby or Availability Charge shall be levied at a rate not to exceed more than forty (\$40) dollars per unit of benefit on each residential use by benefit unit or a fraction thereof and each commercial and industrial use by the unit of benefit received based on the Insurance Services Office (ISO) fire flow guidelines, using 1,000 gallons per minute equal to 1.0 unit of benefit, to a maximum of 12.0 units of benefit.

Section 2. That the Murrieta Fire Protection District hereby certifies that it has, without limitations, complied with all legal procedures and requirements necessary for the levying and imposition of the general or special taxes, assessments or property-related fees or charges, including compliance with Government Code sections 53720-53730 inclusive, that the charge is levied without regard to property valuation, and that the charge for the Fiscal Year 2025/2026 will be set at the maximum allowed.

Section 3. That the General Manager of the Murrieta Fire District is authorized and directed to execute a letter to the Riverside County Auditor-Controller confirming that the assessments are exempt from Proposition 218 since voter approval was obtained in 1981.

Section 4. That the County Auditor-Controller or other appropriate County officer is hereby requested to place the above-described charges and assessments on the tax roll.

Section 5. That the Secretary shall certify to the adoption of this Resolution.

PASSED AND ADOPTED this 1st day of July 2025.

Cindy Warren, General Manager

ATTEST:

Cristal McDonald, Secretary

APPROVED AS TO FORM:

Tiffany Israel, General Counsel

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF MURRIETA)

I, Cristal McDonald, Secretary of the Murrieta Fire District, do hereby certify that the forgoing Resolution No. MFD 25-226 was duly passed and adopted by the Fire District of the City of Murrieta at the regular meeting thereof, held on the 1st day of July 2025, and was signed by the General Manager of the said City, and that the same was passed and adopted by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, Secretary



CITY OF MURRIETA

To: Mr. Ben J. Benoit
Riverside County Auditor-Controller
Property Tax Section
4080 Lemon Street, 11th Floor
P.O. Box 1326
Riverside, CA 92502

From: City of Murrieta

Subject: Compliance with Proposition 218

Date: July 1, 2025

Dear Mr. Benoit:

The City of Murrieta represents that the charges associated with property tax fund numbers identified on the County Tax Roll as:

68-0022-FC	L&L District No. 29	68-4372-FC	L&L District No. 15
68-0101-FC	Murrieta CFD 2005-5 IA B	68-4373-FC	L&L District No. 16
68-2717-FC	L&L District No. 31	68-4374-FC	L&L District No. 17
68-4264-FC	Refuse and Recycling	68-4375-FC	L&L District No. 18
68-4265-FC	Community Services District	68-4376-FC	L&L District No. 19
68-4266-FC	Parks and Recreation Tax	68-4377-FC	L&L District No. 20
68-4268-FC	L&L District No. 02	68-4378-FC	L&L District No. 21
68-4269-FC	L&L District No. 01	68-4379-FC	L&L District No. 22
68-4341-FC	Fire Protection District	68-4380-FC	Murrieta CFD 2000-1
68-4350-FC	Murrieta AD 95-1R	68-4381-FC	Murrieta CFD 2001-1 IA A
68-4357-FC	L&L District No. 25	68-4382-FC	Murrieta CFD 2003-2
68-4358-FC	L&L District No. 24	68-4383-FC	Murrieta CFD 2003-4
68-4359-FC	L&L District No. 23	68-4384-FC	Murrieta CFD 2000-2 IA A
68-4360-FC	L&L District No. 03	68-4385-FC	Murrieta CFD 2003-1
68-4361-FC	L&L District No. 04	68-4386-FC	Murrieta CFD 2003-3
68-4362-FC	L&L District No. 05	68-4387-FC	Murrieta CFD 2004-1
68-4363-FC	L&L District No. 06	68-4388-FC	Murrieta CFD 2004-2
68-4364-FC	L&L District No. 07	68-4389-FC	Murrieta CFD 2005-1
68-4365-FC	L&L District No. 08	68-4390-FC	Murrieta CFD 2001-1 IA B
68-4366-FC	L&L District No. 09	68-4391-FC	Murrieta CFD 2000-2 IA B
68-4367-FC	L&L District No. 10	68-4392-FC	Murrieta CFD 2004-3
68-4368-FC	L&L District No. 11	68-4393-FC	L&L District No. 26
68-4369-FC	L&L District No. 12	68-4394-FC	L&L District No. 27
68-4370-FC	L&L District No. 13	68-4395-FC	L&L District No. 28
68-4371-FC	L&L District No. 14	68-4397-FC	Murrieta CFD 2005-5 IA A

are in compliance with the articles of Proposition 218 cited below.

The County Auditor-Controller/County of Riverside agrees to enter all assessments, fees, charges, or taxes for the City of Murrieta upon receipt of such roll on or about August 10, 2025 based upon such certification.

The City of Murrieta shall be solely liable and responsible, and will defend, indemnify and hold the County and this office harmless from any liability as a result of claims or claims for refunds and related interest due filed by taxpayers against any assessments, fees, charges or taxes placed on the roll for the City of Murrieta by the County.

The City of Murrieta understands and agrees that the Auditor Controller's Office shall not be held responsible for processing claims for refund that fall outside of the normal correction processing outlined within the procedures in the Fixed Charge Processing packet. Notwithstanding the foregoing, the Auditor Controller's Office may, at its sole discretion, agree by a separate, written agreement to process such refunds. All associated costs and fees shall be charged to the district.

Article XIII C. Sec. 2 (c) "Any general tax imposed, extended, or increased, without voter approval, by any local government on or after January 1, 1995, and prior to the effective date of this article, shall continue to be imposed only if approved by a majority vote of the voters voting in an election on the issue of the imposition, which election shall be held within two years of the effective date of this article and in compliance with subdivision (b)."

Article XIII D. Sec. 5 "...this article shall become effective the day after the election unless otherwise provided. Beginning July 1, 1997, all existing, new, or increased assessments shall comply with this article."

Article XIII D. Sec. 6 (d) "Beginning July 1, 1997, all fees or charges shall comply with this section."

City of Murrieta

Attested By:

Justin Clifton, City Manager

Cristal McDonald, City Clerk

Date

Date



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 10.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Brian Ambrose, Community Services Director

PREPARED BY: Lea Kolek, Parks and Community Service Manager

SUBJECT: Murrieta Community Services District Levy of Annual Assessments

RECOMMENDATION

Conduct the Public Hearing;

Adopt Resolution No. CSD 25-286 entitled: *A Resolution of the Board of Directors of the Murrieta Community Services District, (1) Amending and/or Approving the Engineer's Annual Levy Report for the Levy and Collection of Rates and Charges within the Murrieta Community Services District for Fiscal Year 2025/26, and (2) Ordering the Levy and Collection of Rates and Charges within the Murrieta Community Services District for Fiscal Year 2025/26; and*

Direct the Board Secretary to file the levy with the County Auditor upon adoption.

PRIOR ACTION/VOTE

On May 6, 2025, the Community Services District Board of Directors adopted Resolution No. CSD 25-283, declaring its intention to levy the annual rates and charges for services within the Murrieta Community Services District, Fiscal Year 2025/26, preliminarily approving the Engineer's Annual Levy Report for Community Service District for Fiscal Year 2025/26 and designating the time and place for the Public Hearing on these matters for July 1, 2025 (Vote: 5-0).

CITY COUNCIL GOAL

Maintain a high performing organization that values fiscal sustainability, transparency, accountability and organizational efficiency.

BACKGROUND

On May 6, 2025, the Community Services District (CSD) Board of Directors (Board) adopted a Resolution for the approval of the preliminary Engineer's Levy Report and initiated proceedings for the levy and collection of annual assessments to be placed on the County tax rolls for parcels within the City's limits. There were no proposed changes by the Board, and the final Engineer's Annual Levy Report, including the annual assessments, is presented herein for approval. These assessments provide funding for costs and expenses

required for the following services provided by the CSD for Fiscal Year 2025-26:

- a) Local Benefit Zone: Personnel and expenditures required for maintenance, servicing, and operations of the local parks and open space areas, local perimeter and parkways, and local street lighting.
- b) Exempt Services: Personnel and expenditures required for maintenance, servicing, and operations of flood/drainage control improvements, and street sweeping services.

The CSD was formed in 1992, with rates and charges set and established annually pursuant to *Community Services District Law 61000, Section 61621* (repealed in 2005 and replaced with *Section 61115*), *Title 6, Division 3 of the California Government Code* (CSD Code) and in compliance with the substantive and procedural requirements of the *California State Constitution Article XIID*. The parcels receiving this assessment are identified by their own Assessor's Parcel Number (APN). The County Auditor/Controller uses APNs to identify on the tax roll properties charged for this special district benefit. In accordance with the State Constitutional amendments set forth in Proposition 218 (approved by California Voters in November 1996), the costs, rates, and charges associated with the services and improvements by the CSD were re-established for the services listed above.

"Local Benefit Zones" are comprised of fourteen (14) zones. The rates and charges (Assessments) to each APN in its respective zone are directly related to the improvements, the number and types of services provided, the cost associated with those improvements and services, and the number and types of parcels that benefit from those improvements. Much of the development within the City consists of planned developments referred to as Specific Plans. Most of the zones can be identified geographically by Specific Plan boundaries or by individual tract boundaries. The annual assessments associated with local improvements are budgeted separately for each zone and charged to only those APNs or parcels that benefit from those improvements and services. The annual assessment for each zone varies and is based on the services received, ranging from \$45.44 for just flood/drainage control and street sweeping to \$751.16, which includes landscape maintenance and local street lighting in a commercial business center. Please refer to the charts on pages 18-20 of the Engineer's Report for each zone assessment.

In 1997, the Board initiated and conducted property owner protest ballot proceedings establishing the charges for the local improvements and services in each zone. The property owners approved the local benefit assessments for each zone that established a maximum rate for each zone. ***These assessments have not increased for this next fiscal year and continue to be levied at the rate approved by the property owners in 1997.*** Any future increase to the approved assessments will require additional property owner ballot proceedings and approval of the affected properties.

The annual assessments are for "Exempt Services" for flood/drainage control at \$39.72 per APN and street sweeping at \$5.72 per applicable APN in specific residential tracts and developments. These improvements and services continue to be levied at the same rates and methods of apportionment established prior to Proposition 218.

Pursuant to the CSD Code, annual notices were mailed to each parcel owner subject to the annual rates and charges, indicating that an Engineer's Report has been filed, and the time and place of the Public Hearing to be held before the Board. Following consideration of public comments and any written protest presented to the Board, the Board may order amendments to the Engineer's Report or approve the report and confirmation of the rates and charges. The Board may then order the levy and collection of the charges for Fiscal Year 2025/26 through approval of the presented resolutions.

FISCAL IMPACT

The CSD levy assessment amount for Fiscal Year 2025/26 is estimated to be \$2,854,180.17. The levy and collection of these annual assessments will help pay for the costs associated with the services provided by the CSD.

ATTACHMENTS

1. Resolution No. CSD 25-286
2. Engineer's Annual Levy Report for the CSD for Fiscal Year 2025/26

RESOLUTION NO. CSD 25 -286

A RESOLUTION OF THE BOARD OF DIRECTORS OF THE MURRIETA COMMUNITY SERVICES DISTRICT, (1) AMENDING AND/OR APPROVING THE ENGINEER'S ANNUAL LEVY REPORT FOR THE LEVY AND COLLECTION OF RATES AND CHARGES WITHIN THE MURRIETA COMMUNITY SERVICES DISTRICT FOR FISCAL YEAR 2025/26, AND (2) ORDERING THE LEVY AND COLLECTION OF RATES AND CHARGES WITHIN THE MURRIETA COMMUNITY SERVICES DISTRICT FOR FISCAL YEAR 2025/26

WHEREAS, on May 6, 2025, The Board of Directors (Board) of the Murrieta Community Services District (District), pursuant to the provisions of the Community Services District Law, California Government Code section 61000, et seq (Code), did initiate proceedings for and declare its intent to levy and collect rates and charges within the District for Fiscal Year 2025/26; and

WHEREAS, on May 6, 2025, the Board duly provided notice of a public hearing on the intent to levy and collect rates and charges within the District for Fiscal Year 2025/26; and

WHEREAS, on July 1, 2025, the Board received and approved the Engineer's Annual Levy Report Fiscal Year 2025/26, by Willdan Financial Services (Report), which, pursuant to the Code, described the rates and charges against parcels of land within the District for the fiscal year commencing July 1, 2025, and ending June 30, 2026 and provides for the collection of rates and charges by the County of Riverside for the District to pay for the operation, maintenance and services that the District is authorized to provide by the Code; and

WHEREAS, the Board has examined and reviewed the Report and is satisfied with the District, the budget items and documents set forth therein, and is satisfied that the proposed rates and charges have been appropriated in accordance with the benefits received from the improvements, operation, maintenance and services to be performed within the District and each benefit zone, as set forth in the Report; and

WHEREAS, the rates and charges described in the Report are consistent with the charges approved by the property owners within the District, in accordance with the requirements of the California Constitution, Article XIID; and

WHEREAS, following notice duly given, the Board has held a full and fair public hearing regarding its approval of the Report and the levy and collection of rates and charges, and has considered oral and written statements, protests, and communications made or filed by interested persons; and

WHEREAS, the Board desires to approve the Report and levy and collect rates and charges against parcels of land within the District for Fiscal Year 2025/26 to pay for the operation, maintenance, and services authorized for the District,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE MURRIETA COMMUNITY SERVICES DISTRICT AS FOLLOWS:

Section 1. That the Report, attached to the Agenda Report as Attachment 2, is approved and ordered to be filed in the Office of the Secretary of the Board as a permanent record and to remain open to public inspection.

Section 2. Based upon its review (and amendments, if any) of the Report, a copy of which has been presented to the Board and which has been filed with the Secretary of the Board, the Board hereby finds and determines that:

- a) The land within the District will be benefited by the operation, maintenance and services, and appurtenant facilities and administration related thereto; and
- b) The District includes the lands so benefited; and
- c) The net amount to be levied upon the lands within the District is in accordance with the rates and charges previously approved by the property owners within the District and is apportioned by a formula and method that fairly distributes the net amount among eligible parcels in proportion to the benefits received by each parcel.

Section 3. That the Report and charges as presented to the Board, and on file in the Office of the Secretary of the Board, are hereby confirmed as filed.

Section 4. That the Board hereby orders the proposed improvements to be made, which improvements are briefly described as follows: the operation, maintenance and services the District is authorized to provide, including street lighting, landscaping, flood and drainage control, park and open space maintenance, street-sweeping and appurtenant facilities, and administration related thereto.

Section 5. That reference is hereby made to the Report for a description of improvements, the boundaries of the District and zones within the District, and the proposed rates and charges upon lots and parcels of land within the District.

Section 6. That the maintenance, operation, and services shall be performed pursuant to the Code and the County Auditor of the County of Riverside shall enter on the County Assessment Roll opposite each parcel of land the amount of levy and such levies shall be collected at the same time and in the same manner as the County taxes are collected. After collection by the County, the net amount of the levy shall be paid to the City Treasurer.

Section 7. That the Treasurer of the City of Murrieta shall deposit money representing rates and charges collected by the County for the District to the credit of the Murrieta Community Services District, and such money shall be expended only for the maintenance, operation, services, and administration as described in Section 4.

Section 8. That the adoption of this Resolution constitutes the District levy for the fiscal year commencing July 1, 2025, and ending June 30, 2026.

Section 9. That the Secretary of the Board is hereby authorized and directed to file the levy with the County Auditor upon adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 1st of July, 2025.

Cindy Warren, President

ATTEST:

Cristal McDonald, Secretary

APPROVED AS TO FORM:

Tiffany Israel, General Counsel

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE)§
CITY OF MURRIETA)

I, Cristal McDonald, Secretary of the Murrieta Community Services District do hereby certify that the foregoing Resolution No. CSD 25-286 was duly passed and adopted by the Board of Directors of the Murrieta Community Services District at the regular meeting thereof, held on the 1st day of July, 2025, and was signed by the President of the said District, and that the same was passed and adopted by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, Secretary



City of Murrieta

Community Services District

2025/2026 ENGINEER'S ANNUAL LEVY REPORT

Intent Meeting: May 6, 2025
Public Hearing: July 1, 2025

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ENGINEER'S REPORT AFFIDAVIT

Murrieta Community Services District

City of Murrieta

Riverside County, State of California

This Report identifies the parcels within the District and relevant zones therein including the improvements, budgets, parcels, and assessments to be levied for fiscal year 2025/2026, as they existed at the time of the passage of the Resolution of Intention. Reference is hereby made to the Riverside County Assessor's parcel maps for a detailed description of the lines and dimensions of parcels within the District. The undersigned respectfully submits the enclosed Report as directed by the City Council.

Dated this 8th day of May, 2025.

Willdan Financial Services
Assessment Engineer
On Behalf of the City of Murrieta

By: Michelle Laase

Michelle Laase, Project Manager
District Administration Services

By: Tyrone Peter

Tyrone Peter
P.E. # C 81888

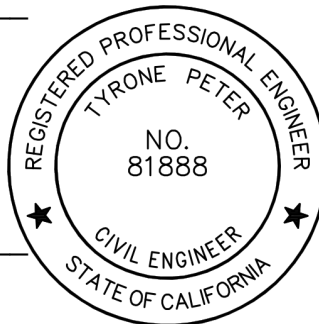


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I. OVERVIEW

A. INTRODUCTION

The Murrieta Community Services District (“District”) was formed in 1992 through a resolution of the Local Agency Formation Commission (LAFCO) under provisions of the District Reorganization Act, and pursuant to the provisions of the California Government Code, Section 56100, to continue services previously provided by Riverside County (“County”). The boundaries of the original District and the subsequent annexations have been approved by LAFCO, and the boundaries of the District are coterminous with the boundaries of the City of Murrieta (“City”). The District was formed with rates and charges set and established annually pursuant to Section 61000, et seq., Title 6, Division 3 “Community Services Districts” of the California Government Code, (the “CSD Code”) and in compliance with the substantive and procedural requirements of the California State Constitution Article XIID (the “Constitution”).

This Engineer’s Annual Levy Report (“Report”) describes the District, any changes to the District and the proposed rates and charges for fiscal year 2025/2026 based on the estimated budget (cost) to provide services and maintain improvements within the District. Each eligible parcel charged receives direct benefit from various improvements and services provided through the District. Charges are apportioned by a formula and method that fairly distributes the net amount to provide each improvement and service among the eligible parcels in proportion to the benefits to each parcel.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number (“APN”) by the County Assessor’s Office. The County Auditor/Controller uses APNs and specific Fund Numbers to identify on the tax roll properties charged for special district benefits.

Pursuant to the CSD Code annual notices are mailed to the parcels subject to the annual rates and charges indicating that a Report has been filed and the time and place of the Public Hearing to be held before the Community Services District Board of Directors (“Board”). At the Public Hearing, the Board shall allow the public an opportunity to hear and be heard regarding the District. Following consideration of the public comments and any written protest, the Board may order amendments to the Report. Following final approval of the Report and confirmation of the rates and charges therein, the Board may then order the levy and collection of the charges for fiscal year 2025/2026. In such case, the levy information will be submitted to the County Auditor/Controller and included on the property tax roll for each parcel in fiscal year 2025/2026.

B. DISTRICT BACKGROUND

Historically, the District provides services and the maintenance of specific improvements within public right-of-ways and dedicated landscape easements that benefit various parcels and properties throughout the City. Pursuant to the original formation documents, the District has the authority to provide and collect charges for several services and improvements. These services and improvements encompass but are not limited to eight (8) different categories. The categories of services and improvements that may be provided through the District include:

- Community Parks and Recreation Services
- Law Enforcement
- Landscape Maintenance
- Street Lighting
- Street Sweeping
- Trash Control (Refuse Collection/Recycling)
- Traffic Signals
- Flood/Drainage Control

Although the District is authorized to provide a wide range of services and improvements, only flood/drainage control, street sweeping, street lighting and landscape maintenance service continue to be levied as District rates and charges. In fiscal year 1995/1996 the rates and charges for law enforcement and trash control (Refuse Collection/Recycling) were no longer budgeted or levied through the District.

In accordance with the Constitutional amendments set forth in Proposition 218 (approved by California Voters in November 1996) the costs and charges associated with the services and improvements provided by the District were reviewed. The improvements and services provided by the District and the corresponding charges were identified as general benefit, special benefit, or exempt charges. Based on this review, the following changes were made to the District in fiscal year 1997/1998:

- Those services and improvements identified primarily as general benefit were eliminated and no longer levied through District rate and charges, including the rates and charges for Traffic Signals, the Community Parks and Recreation services.
- The costs and charges associated with flood/drainage control improvements and street sweeping services throughout the District were determined to be exempt from the substantive and procedural requirements of the Constitution (Articles XIID Section 5a). These improvements and services continue to be levied at the same rates and method of apportionment established prior to the Constitutional amendment.
- The rates and charges for the remaining improvements, services and associated costs were identified as special benefits and subject to both the substantive and procedural requirements of the Constitution. Parcels receiving special benefits from these various improvements and services were identified and the applicable rates and charges to the affected properties within the District were submitted to the property owners for approval. The Board initiated and conducted property owner protest ballot proceedings for the special benefit (local improvement) charges applicable to the various Zones within the District and the properties within those Zones. The property owner ballots returned were tabulated separately for each Zone to determine if majority protest existed. The tabulation of the ballots indicated that majority protest did not exist and that the property owners approved the special benefit rates and charges for the improvements and services within each of the

District Zones. The rates and charges approved by the property owner balloting established a maximum rate for each of the local services and improvements provided in each Zone. Any future increase to the approved rates and charges will require additional property owner ballot proceedings and approval of the affected properties.

Although many of the charges historically levied for the District have been eliminated, the District continues to have the authority to provide the original services and to levy rates and charges for these services, provided the charges are in compliance with the provisions of the Constitution. For example, although the District no longer includes refuse and recycling collection charges as part of the regular District charges, the District has the authority to levy such charges. The costs associated with this service are currently billed directly by the waste hauler to each of the property owners receiving this service, but the District may still levy a charge against properties as deemed necessary by the Board for services rendered by the District or its contractor related to refuse collection, recycling, weed abatement or nuisance abatement.

II. DESCRIPTION OF THE DISTRICT

A. SERVICES

The following describes the services and improvements authorized and currently provided by the District. Those improvements and services identified as “General Benefit” are not funded through District rates and charges. The services and improvements identified as flood/drainage control or street maintenance (street sweeping) are classified as “Exempt Benefits” and levied district-wide utilizing the rates and method established prior to the passage of Proposition 218 (Expenses not recovered through District charges will be funded from other revenue sources). Those District services and improvements identified as “Special Benefits” and the corresponding charges were approved through a property owner protest ballot proceeding and shall be levied at a rate equal to or less than the amount approved by the property owners. Any subsequent increase to rates and charges shall be subject to the procedural and approval process required by law.

Flood/Drainage Control — This service provides for the maintenance and improvement of detention basins, storm drains, landscaped slopes, flood channels, parkland and open space areas that are directly related to flood/drainage control throughout the City. The District charges related to the maintenance of these improvements are identified as exempt from the substantive and procedural requirements of the Constitution at the current rate and method of apportionment. The funds required for flood/drainage control within the District that are not funded by rates and charges are provided through other revenue sources.

Street Sweeping — The District contracts with professionals for regular street sweeping services of paved streets that the District has contracted to sweep. This service helps ensure both the beauty of the City and the quality of life for the property owners. Since the primary function of street sweeping is to maintain the roads and drainage system from debris, the charges associated with this service (local street sweeping) are

identified as exempt from the substantive and procedural requirements of the Constitution at the current rate and method of apportionment. Although this service is applicable district-wide, the charge is applied to only specific residential tracts and developments where local street sweeping services are performed (in-tract and adjacent streets), including the new residential developments. Street sweeping on the major streets and arterial streets (Citywide services) are funded through other revenue sources and are not part of the street sweeping charges levied through the District. The parcels, tracts, subdivisions, and developments that are provided local street sweeping services proportionately share in the costs associated with this service.

Local Landscape Maintenance — This service provides for labor, material, administration, personnel, equipment, and utilities necessary to maintain landscaped improvements within the public right-of-ways, parkways, slopes, local parks, open space areas and other public easements funded by the District. Improvements include, but are not limited to: turf, ground cover, shrubs, trees, hardscape, irrigation systems, lighting, water features, playground equipment, fencing, entry monuments, drainage systems and associated appurtenances. The parcels that receive special benefit from the improvements proportionately share in the improvement costs. The local parks and landscaped areas maintained by the District provide a special benefit to various developments that may include parcels within specific commercial developments, residential tracts, individual residential units, and multi-family residential units. Parcels in the District are charged for only the local parks and landscape improvements and services that are considered a special benefit to the parcels within each respective Zone.

Street Lighting — Street lighting is provided throughout the City including those on major streets and intersections as well as locally (within specific developments). The City pays Southern California Edison Company to furnish power and perform maintenance and repairs for the streetlights. The costs associated with streetlights on the arterial and major streets have been identified primarily as a general benefit and these costs are not budgeted or levied through the District rates and charges. Local street lighting is identified as a special benefit to the parcels within the developments that have these facilities. These improvements provide no measurable benefit to the public at large and therefore, local street lighting improvements provided through the District are funded by the benefiting parcels through annual rates and charges.

B. BENEFIT ZONES

The District provides some improvements and services that benefit the eligible parcels within the District, while other improvements and services benefit specific areas or groups of parcels. To address these differences, the District is comprised of fourteen (14) Zones, each identified with specific improvements, and combinations of services or types of service that benefit the parcels within that Zone. The overall charge to each parcel within the District and respective Zone is directly related to the improvements, the number and types of services provided, the cost associated with those improvements and services, and the number and types of parcels that benefit from those improvements.

Much of the development within the City of Murrieta consists of planned developments referred to as Specific Plans. Within each of these Specific Plan areas, the services and

improvements provided by the District specifically benefit the parcels in that particular area and were installed as an integral part of developing the area. To this extent, most of the Zones within the District can be identified geographically by Specific Plan boundaries or by individual tract boundaries.

The costs associated with the exempt improvements (flood/drainage control and street sweeping) are budgeted district-wide and apportioned to each of the Zones based on the total proportionate benefit of parcels within that Zone. However, the costs associated with local improvements are budgeted separately for each Zone and charged to only those parcels that benefit from those improvements. The Zones within the District were created to identify specific developments or regions of the District that have similar local improvements provided to properties within that area (similar benefits). However, within a particular Zone some parcels may be charged different amounts for local improvements depending on their special benefit and association with each type of improvement provided. While most parcels within a Zone typically benefit from similar improvements (i.e., landscaped parkways, local parks, and street lighting), some parcels (specific developments) may not benefit from one or more of these improvements. These parcels are charged for only those improvements that benefit the property and are not charged for the other local improvements that may be provided in that Zone.

The following is a brief description of the Zone designations and their general geographical location:

- **Zone A** — Parcels within this Zone include the areas known as Alta Murrieta and Rancho Acacia Specific Plans. This Zone is generally located East of Interstate 215, West of the Rancho California Line, South of the Murrieta City Limits and North of Murrieta Hot Springs Road. The major streets in this Zone include Whitewood Road, Los Alamos Road, and Alta Murrieta Drive.
- **Zone B** — Parcels within this Zone include the area generally known as the California Oaks Specific Plan. This Zone generally includes developments and planned developments East of Interstate 15, West and South of the Murrieta City Limits and North of Los Alamos Road including the gated community known as the Colony. The major streets in this Zone include California Oaks Road, Jackson Avenue, Nutmeg Street and Clinton Keith Road.
- **Zone C** — Parcels within this Zone are known as the Jefferson Avenue Development. This Zone includes specific tracts along Jefferson Avenue North of Lemon Street and South of the Murrieta City Limits. This Zone includes but is not limited to the Antigua development (Tracts 216191-01, 22346-00, and 22603-00); the Montafino development (Tract 21759-00); and the San Raphael development (Tract 23127-00).
- **Zone D** — Parcels within this Zone include the area known as the Rancho Las Brisas Specific Plan. This Zone consists of developments and planned developments between California Oaks Road and Interstate 215, North of Murrieta Hot Springs Road. The major streets in this Zone include Los Alamos Road, Hancock Avenue and Las Brisas Road.

- **Zone E** — Parcels within this Zone are known as the Washington Avenue Development. This Zone includes but is not limited to specific tracts west of Washington Avenue just South of Lemon Street. This Zone includes the Northfork Development and the Standard Pacific Development (Tracts 23095).
- **Zone F** — Parcels within this Zone are known as the Rancon Business Center. This Zone includes the commercial development and planned commercial development between Jefferson Avenue and Adams Avenue, North of Reagan Avenue and South of Elm Street known as the Rancon Business Center.
- **Zone G** — Parcels within this Zone are known as the Rural Development. This Zone generally includes the parcels within the original District boundaries that were not within a Specific Plan area or planned development. This Zone includes a large number of undeveloped parcels, rural residential parcels, older residential tracts and both new and older commercial developments.
- **Zone H** — Parcels within this Zone are known as the Spirit and Continental developments of the Bear Valley area. These developments are located South of Clinton Keith Road near Calle Del Oso Oro. This Zone includes the Spirit development (Tracts 23879-00, 23879-01, 23879-02, and 23879-03); and the Continental Homes development (Tracts 23880-00 and 23881-00).
- **Zone I** — Parcels within this Zone are known as the Vineyard Knolls. This Zone is located South of Clinton Keith Road near Calle Del Oso Oro and is within the area known as the Bear Valley. This Zone includes the Vineyard Knolls development (Tract 21419-00). This particular development currently has a Homeowner's Association that maintains the local landscape amenities in and around the development.
- **Zone J** — Parcels within this Zone are mainly within the gated community development known as Bear Creek. This Zone is just South of the Murrieta City Limits and North of Clinton Keith Road. This particular Zone currently has a Homeowner's Association that services and maintains the local streetlights and landscape amenities in and around the development.
- **Zone K** — Parcels within this Zone originally consisted of the planned development areas within the region known as Bear Valley that had not been previously subdivided. As development progressed in this region, Landscaping and Lighting Districts were formed to provide for local improvements associated with new developments and the properties within these developments were re-designated within the District as Zone L. The remaining parcels within Zone K now include only the development known as Lake Villas Bear Valley (Tracts 21370-00 and 21370-01) adjacent to Bear Creek.
- **Zone L** — This Zone was originally established in the District in fiscal year 1999/2000 as a result of new development within the City after the original

District Zones (A through K) were balloted and established in fiscal year 1997/1998. Parcels within this Zone consist of new developments within the District that are subject to exempt charges (flood/drainage control and street sweeping), but their local improvements are funded and levied through other revenue sources (specifically, the Murrieta Consolidated Landscape Maintenance District). This Zone will continue to be expanded in future years to identify parcels, properties, and subdivisions throughout the District for which their local landscaping and lighting improvements are funded through another District rather than through the Community Services District.

- **Zone M** — Parcels within this Zone consist of the territory annexed to the City of Murrieta in February 1999 and included in the District charges beginning in fiscal year 2000/2001. This Zone and territory are generally located East of Interstate 215, South of Scott Road and North of Clinton Keith Road and includes a number of undeveloped parcels, new developments, and some rural residential parcels. Most of the properties within this Zone are part of a proposed Specific Plan Area known as the Golden City/Murrieta Highlands area. Properties within Zone M are subject to exempt District charges (flood/drainage control and street sweeping) based on their current land use. However, the services in this Zone may be expanded in future years to include specific improvements and services necessary for the development of properties within this region of the City. These new services and improvements may be added to the District rates and charges or funded through other special districts. The new residential subdivisions developed in this area since the territory was annexed to the City and District, are being conditioned to form and/or annex to a Landscaping and Lighting District to fund their local improvements.
- **Zone N** – Parcels within this Zone consists of the territory annexed to the City of Murrieta and the District in fiscal year 2002/2003 (July 2002). This Zone is generally South of Clinton Keith Road, West of Winchester Road, North of the Murrieta/Temecula City Limits and East of the previously established Murrieta City Limits. The properties within this annexation territory include both developed and undeveloped properties including several residential tracts. Properties within this Zone are subject to exempt District charges (flood/drainage control and street sweeping) based on their current land use. In conjunction with the annexation of this territory to the City and District, several Landscaping and Lighting Districts were formed in fiscal year 2002/2003 to continue the maintenance and operation of local landscaping and lighting improvements previously provided to specific developments by County Service Area 143, County Service Area 103, or Valleywide Park and Recreation District. These properties and developments are now part of the Consolidated Landscaping and Lighting District.

III. CHANGES TO THE DISTRICT

A. GENERAL PROVISIONS

Modifications to the District structure, if any, could include, but are not limited to: changes in the types of services provided; changes or expansion of existing services; addition of new Zones or restructuring of the current Zones; annexation of parcels into the District; addition or restructuring of services or service levels; or revisions in the method of apportionment.

B. HISTORICAL CHANGES TO THE DISTRICT

Prior to the levy of rates and charges for fiscal year 1997/1998, an extensive review of the District was conducted to ensure full compliance with both the substantive and procedural requirements set forth in the California Constitution Article XIID. This review resulted in the following:

- General Benefit services and improvements were eliminated from the District rates and charges. These improvements and services included recreational services and programs, much of the arterial and park landscaping, arterial street lighting and traffic signals.
- Services and improvements related to street maintenance and flood/drainage control were carefully reviewed and identified within the District. The existing cost and charges related to these improvements and services were identified as exempt from the substantive and procedural requirements of the Constitutional amendment. These improvements and services include portions of landscaped slopes, open space areas, park areas, detention and retention basins specifically identified as flood/drainage control areas; as well as local street sweeping services. Although the City provides street sweeping on arterial and major streets, this service was not funded through District charges prior to fiscal year 1997/1998 and therefore not included as part of the exempt charges. The rates and charges for flood/drainage control and street sweeping were fixed at the existing rates and method of calculation, which means the only increase in revenue for these services will be the result of parcel land use changes, parcel subdivisions, or annexations to the District.
- Local improvements that provide special benefit to specific parcels were identified. These improvements included local parks, open space areas, perimeter and parkway landscaping, slope landscaping, and local street lighting and were identified and associated with specific Zones and the parcels within those Zones. At that time, there were eleven Zones (A through K), each representing regional areas of the District and the improvements and services provided in those areas. These local improvements and the costs associated with the improvements including personnel and administration were apportioned to each parcel benefiting from the specific improvements in each Zone to establish a maximum rate and charge. The property owners, through the required balloting process subsequently approved the maximum rate and charges for these improvements and services in each Zone.

In conjunction with establishing the maximum local improvement rate and charges in each of the Zones, the method of apportionment was reviewed and modified to directly reflect the special benefits provided to the properties within each Zone. Most of the local improvements and services are specifically related to the residential developments within the Zones including parcels within specific residential subdivisions, individual single family residential units, and multi-family residential units, however there are some exceptions such as Zone F (Rancon Business Center), which includes only commercial and industrial properties.

Although the Community Services District has the authority to provide a wide range of services and improvements, it was recognized that as the City continues to grow, creating numerous benefit zones within the District to address specific local and special benefit improvements for new developments was not efficient. Therefore, in fiscal year 1999/2000 the City began to establish Landscaping and Lighting Districts to address local improvements associated with most of these new developments. A new zone “Zone L” was established within the District to identify these properties and developments. Properties designated as “Zone L” continue to be subject to District rates and charges for flood/drainage control and street sweeping, but their local landscaping and lighting improvements are provided through a landscaping and lighting district.

In fiscal year 2000/2001 “Zone M” was established within the District. This zone designation identified the territory annexed to the City and the District in February 1999 and is commonly known as the Golden City/Murrieta Highlands area. Properties within this Zone are subject to exempt District charges (flood/drainage control and street sweeping). As this area develops, the improvement and services provided to this region of the City will likely require additional funding. This funding may be from other revenue sources or from an expansion and increase of the District charges. An increase to the District rates and charges would require property owner ballot proceedings.

In fiscal year 2002/2003 “Zone N” was established within the District to designate the territory annexed to the City and the District in July 2002. Properties within this Zone are subject to exempt District charges (flood/drainage control and street sweeping). However, unlike Zone M, which was largely undeveloped at the time of annexation, this annexation territory was comprised of several existing commercial and residential developments. For most of the residential developments, local landscaping and lighting improvements were being funded by assessments through a County Service Area or the Valley-wide Park and Recreation District. Rather than establishing several new zones within the District for these special benefit improvements, the City converted the pre-existing assessments to assessments levied under the provisions of the Landscaping and Lighting Act of 1972. These developments are now designated as Zone L and the remaining parcels within the annexation territory are included in Zone N. In conjunction with this annexation, the apportionment of rates and charges for flood/drainage control applied to mobile homes within a mobile home park or development was reduced from one (1.0) benefit units per mobile home to half (0.5) benefit units per mobile home. This modification is now applied to this Land Use classification throughout the District. This change did not impact or increase the rates and charges to any other Land Use classification.

IV. METHOD OF APPORTIONMENT

A. GENERAL

The revenues collected through District rates and charges will partially cover annual operation and maintenance costs, and administrative expenses related thereto, as stated in the Budget section of this Report. Since the rates and charges are for the annual operation, maintenance and servicing of the improvements, the cost of providing these improvements shall be established annually and there is no prepayment option afforded to the property owners.

The CSD Code permits the establishment of rates and charges for the purpose of providing certain public improvements and services authorized for the Agency. The cost to provide services within the District is fairly distributed among each eligible parcel based on the services and improvements provided to that parcel. The formula used to determine rates and charges is based on the land use, size, development limitations, and development status of each parcel as compared to other parcels that benefit from a specific improvement or service.

Section 4 of the Constitution requires that a parcel's charge may not exceed the reasonable cost of the proportional special benefit conferred on that parcel and further requires that the District must separate the general benefits from the special benefits, only levying charges for special benefits. (The existing charges for streets and flood/drainage control services are considered exempt charges under the provisions of the Constitution unless the charge is increased).

B. SPECIAL BENEFIT ANALYSIS

The formula used for calculating the District charges reflects the composition of the parcels, the improvements and services provided, and fairly apportions the costs to each parcel. Pursuant to the provisions of the Constitution, properties may only be levied charges for improvements and services that are identified as either exempt charges or special benefit charges.

Exempt Rates and Charges

It has been determined that the rates and charges associated with flood/drainage control improvements and street sweeping services throughout the District were identified as exempt charges pursuant to the Constitution, Section 5a. The rates and method of apportionment established prior to the passage of Proposition 218 shall be applied to the future charges for these services. The costs associated with streets and flood/drainage control related services and improvements have historically been levied as a district-wide service to specific property types. Because the rates and charges for these services and improvements are considered exempt, at their current rate they will continue to be spread district-wide utilizing the existing Equivalent Benefit Unit (EBU) method of apportionment.

Special Benefit Rates and Charges (Local Improvements)

The improvement and services identified and levied as local improvement charges in various Zones of the District enhance the desirability of the benefiting properties by the presence of well-maintained local parks, parkway landscaping, open space areas, street lighting and appurtenant facilities in close proximity to those properties. Having well-maintained local landscaping and local park improvements means that the assessed properties and property owners may enjoy the benefits of having such improvements associated with their property.

The special benefits associated with landscape improvements, open space areas and local parks include:

- The aesthetic value of green space.
- Improved aesthetic appeal of nearby parcels.
- Enhanced adaptation of the urban environment within the natural environment.
- Improved erosion resistance.
- Improved dust and debris control.
- Enhanced availability and access to nearby open space areas, parks and facilities that are safe and well maintained for the local residents and their families.
- Reduced noise and air pollution (environmental enhancement).
- Enhanced sense of pride within the development and community.
- Reduced property-related crimes (especially vandalism) against properties through the abatement of graffiti.

The special benefits of local street lighting are the convenience, safety, and security of property, improvements, and goods. Specifically:

- Enhanced deterrence of crime and the aid to police protection.
- Increased nighttime safety on roads and highways.
- Improved ability of pedestrians and motorists to see.
- Improved ingress and egress to property.
- Reduced vandalism and other criminal acts and damage to improvements or property.
- Improved traffic circulation and reduced nighttime accidents and personal property loss.
- Increased promotion of business during nighttime hours in the case of commercial properties.

The preceding special benefits contribute to a specific enhancement and desirability of each of the benefiting parcels within the District Zones.

General Benefits

Those services and improvements that were previously provided by the District but were considered (in whole or in part) to be a general benefit to the public at large are no longer levied through the District charges. These improvements and services included recreational services and programs, portions of the landscape improvements on arterial streets and within the community parks, arterial street lighting and traffic signals.

C. RATE AND CHARGES METHODOLOGY

Equivalent Benefit Units:

To apportion property benefits equitably, it is necessary to relate the different types of parcels benefiting from specific improvements to each other. The Equivalent Benefit Unit (EBU) method of apportioning benefits is typically seen as the most appropriate and equitable methodology for maintenance type districts, as the benefit to each parcel from the improvements are apportioned as a function of land-use type, size, and development. This method of apportioning benefits typically uses the single-family home as the base unit of comparison (A single family home is assigned one EBU). Every other land-use is converted to EBU's based on a formula that equates the property's specific land-use to a single-family home and is considered appropriate for the improvements and service provided in this District. However, because the improvements provided and the properties benefiting from those improvements may vary, the weighting factors (EBU) applied to a particular Zone or improvement may be altered to appropriately reflect the proportional benefit to the properties.

Every parcel in the District is assigned a weighting factor known as a Benefit Unit Factor (BUF). The BUF reflects the parcel's land use and planned or potential development. Similar parcel types and development benefiting from the same improvements are assigned a similar BUF. The BUF factor in conjunction with each parcel's specific characteristics such as size, number of units, development status, and development limitations is used to establish each parcel's individual EBU. The EBU calculated for each parcel therefore provides a direct comparison to other parcels and proportional relationship of benefit received by each parcel from a specific improvement or group of improvements. Although some parcels may require special calculations due to specific development restrictions or unique circumstances, generally a parcel's BUF, multiplied by its acres or units determines the parcel's EBU.

$$\text{Parcel BUF} \times (\text{Acre or Units}) = \text{Parcel EBU}$$

The Total Equivalent Benefit Units (EBU's) in a Zone or for a specific improvement or service is the sum of the EBU's for parcels that benefit from the improvements. Taking the Total Service Cost to be levied and dividing that amount by the Total EBU of the parcels benefiting from that specific service establish a Rate Per EBU for each service provided.

$$\text{Total Service Cost} / \text{Total EBU (for Service)} = \text{Rate per EBU (for Service)}$$

This rate is then applied back to each parcel's individual EBU to determine the parcel's charge and proportionate benefit from that service.

$$\text{Parcel EBU} \times \text{Rate per EBU (for Service)} = \text{Parcel Charge (for Service)}$$

A parcel's Total District charge is the accumulation of the services they receive benefit from, at the rate established for each service. Therefore, each parcel is charged for only the services they benefit from, and similar parcels receiving similar benefits will be charged the same amount.

$$\text{Parcel Total Charge} = \text{Sum of Applicable Charges for each Service}$$

Exempt Services

The rates and charges calculated for flood/drainage control and street sweeping are identified as exempt charges and not subject to the substantive and procedural requirements of the Constitution, Article XIID at the existing rate and method of apportionment. Changes in property development such as land use changes or parcel splits that facilitate changes in a parcel's charges for these services are not considered new or increased charges. The following two tables provide the Benefit Unit Factors (BUF) and applicable multiplier used to calculate the EBU and charges applied to various property types for flood/drainage control within the District.

Land Use/Equivalent Benefit Unit Calculations

Property Type	Land Use Code	Benefit Unit Factor	Multiplier
Vacant Commercial	CMV	0.5	Per Parcel
Commercial Developed	COM	4.0	Per Acre
Residential Multi-Family	MFR	1.0	Per Unit
Vacant Multi-Family	MFV	0.5	Per Parcel
Mobile Home Park	MHP	0.5	Per Unit
Recreational	REC	2.0	Per Acre
Residential Single-Family	SFR	1.0	Per Unit
Vacant Single-Family	SFV	0.5	Per Parcel
Commercial Under-Developed	UDC	2.0	Per Acre
Residential Under-Developed	UDR	1.0	Per Unit
Vacant Undefined	UDV	0.0	Per Parcel
Government/Public Owned Property	NON	0.0	Per Parcel

For Flood/Drainage Control
Sample Calculations
For Flood/Drainage Control Charges

Property Type	Land Use Code	BUF	x	Acres Units	=	Parcel EBU	x	Charge per EBU	=	Parcel Charge
Commercial Developed	COM	4.0	x	1.85	=	7.40	x	\$39.72	=	\$293.92
Residential Single-Family	SFR	1.0	x	1.00	=	1.00	x	\$39.72	=	\$39.72
Residential Multi-Family	MFR	1.0	x	30.00	=	30.00	x	\$39.72	=	\$1,191.60
Vacant Single-Family	SFV	0.5	x	1.00	=	0.50	x	\$39.72	=	\$19.86
Vacant Undefined	UDV	0.0	x	1.75	=	0.00	x	\$39.72	=	\$0.00

Street sweeping charges are typically applied to residential developments, but there are some commercial developments, such as Zone F (Rancon Business Center) in which these charges are applicable. The street sweeping charge of \$5.72 is applied equally to the parcels that receive this service regardless of the parcel's size or development status (per parcel charge).

Local Improvement and Services — Zone F

The improvements and services identified as special benefits within Zone F (Rancon Business Center) include local street lighting and perimeter and parkway landscaping associated with this commercial development.

- **Local Street Lighting** — Street lighting provides safety and security related benefits to properties. To this extent, it was determined that the properties within the Zone regardless of size or location benefit equally from street lighting. Therefore, the apportionment of special benefit shall be per parcel. Each benefiting parcel within the Zone will share equally in the costs associated with the streetlights.
- **Local Landscaping** — The special benefits properties receive from landscaping are more related to the special enhancement of the property rather than safety and security and each parcel's use and optimum development potential must be considered. Since the benefiting properties are zoned for commercial use, it was determined the most equitable apportionment of special benefit for landscape improvements should be based on the size of the property (reflective of potential use and benefit). The acreage of each parcel provides a proportional comparison of benefit received by each parcel in relationship to other parcels.

Government-owned land and public utility-owned property may not be excluded from charges unless they clearly derive no special benefit. As noted previously, the special benefits properties receive from the landscaping are directly related to aesthetics and special enhancement of the property. For street lighting the special benefits are safety and security related, and to a lesser degree enhancement of the property. Each parcel within Zone F has been carefully evaluated for current land use and potential uses. It has been determined that ten (10) of the parcels within Zone F currently do not receive identifiable benefits or special enhancement of the property from the landscaping improvements and are not charged.

APN	Acreage	Property Description
909-353-028	3.36	Common Area
909-354-007	2.67	Common Area
909-390-016	3.18	Common Area
909-353-028	1.22	Common Area
909-300-050	0.10	Non-Buildable sliver parcel (easement)
909-300-046	0.44	Street Parcel (Beckman Court)
909-300-047	0.39	Street Parcel (Kelvin Court)
909-300-048	0.50	Street Parcel (Deere Court)
909-352-011	0.89	Telephone relay station (GTE of California)
909-300-056	4.36	Warm Springs Creek (Flood Channel)

Nine (9) of the parcels listed above have no development potential, and include designated streets, common areas, a flood control channel, and a sliver parcel that is part of a street easement. The other property is a telephone substation which does not benefit from the improvements and clearly receives no special enhancement of the property.

Similarly, twelve (12) of the existing one hundred nineteen (119) parcels within Zone F are not charged for street lighting improvements. These twelve (12) parcels include:

APN	Acreage	Property Description
909-300-016	0.30	Bifurcated: (This parcel and 909-300-052 are charged as one lot)
909-351-002	0.49	Bifurcated: (This parcel and 909-351-001 are charged as one lot)
909-301-003	1.22	Common Area
909-353-028	3.36	Common Area
909-354-007	2.67	Common Area
909-390-016	3.18	Common Area
909-352-011	0.89	Telephone relay station (GTE of California)
909-300-050	0.10	Non-Buildable sliver parcel (easement)
909-300-046	0.44	Street Parcel (Beckman Court)
909-300-047	0.39	Street Parcel (Kelvin Court)
909-300-048	0.50	Street Parcel (Deere Court)
909-300-056	4.36	Warm Springs Creek (Flood Channel)

Nine (9) of the parcels listed above have no development potential and include designated streets, common areas, a flood control channel, and a sliver parcel that is part of a street easement. The remaining parcels include one (1) telephone substation and two (2) are part of bifurcated lots. A bifurcated lot is a single lot split by a tax rate area code into more than one APN. These parcels are treated as part of their larger corresponding parcel and are levied as one parcel for street lighting.

Local Improvement and Services — Zones A, B, C, D, E, H, and I

The local improvements and services that have been identified as special benefits in Zones A, B, C, D, E, H, and I provide a special benefit to only residential developments, including the parcels within specific residential tracts, individual single family residential units, and multi-family residential units. The local improvements and services provided by the District in these Zones are directly associated with improvements installed as part of the residential developments and Specific Plans.

- **Local parks** — Residential properties within Zones A, B, C, D and H benefit from the local parks and open space areas provided in each respective Zone, (local parks are not associated with Zones E and I). Each parcel is charged at a minimum of one EBU (including vacant residential tract lots), and Multi-family dwelling units are charged one EBU per Unit. Developed Residential parcels within a Zone but not within a tract development are charged for local parks if they are within similar proximity to the park improvements and benefit from those improvements.
- **Local landscaping**— Residential properties within Zones A, B, C, D, E and H benefit from the local landscaping adjacent to their parcel or tract development within each Zone, (local landscaping for Zone I is provided by the Homeowner's Association for properties in this Zone). Each parcel is charged at one EBU including Vacant Single-family residential tract lots and Multi-family residential parcels. Residential units or developments not adjacent to or associated with the improvements receive no special benefit and are not charged.
- **Local street lighting**—the Residential Tracts within Zones A, B, C, D, E, H, and I have local streetlights that are provided and funded by District charges. These parcels receive special benefits from this improvement that is not provided by the District to other residential properties. No distinction is made between developed or vacant residential lots within a tract; each shares equally in the cost of local streetlights and is assigned one EBU per parcel. Residential parcels that have no in-tract street lighting are not charged for this improvement.

Local Improvement and Services — Zones G, J, K, M and N

Those properties identified within Zones G, J, K, M and N are not charged for local landscape improvements and services (landscaping, parks, and streetlights). The District does not currently maintain any specific local

improvements in these areas identifiable as local special benefits. As future development occurs in these areas and local improvements are installed, the affected properties could be reassigned to Zone L with their local improvements funded through a separate maintenance district. Any new or increased charge will be subject to both the substantive and procedural requirements of the Constitution.

Local Improvement and Services —Zone L

Those properties identified within Zone L are not charged for local landscape and lighting improvements and services through the District. Properties included in Zone L are part of a separate maintenance district and the local improvements that provide special benefits to these parcels are funded through a Landscaping and Lighting District.

V. DISTRICT BUDGETS

The fiscal year 2025/2026 District Budgets are summarized in the following tables.

District Budgets for (Zones: A, B, C, D and E)

Budget Item	Zone A Amount	Zone B Amount	Zone C Amount	Zone D Amount	Zone E Amount
Local Parks and Open Space	\$98,578.41	\$223,784.11	\$18,937.54	\$50,490.00	\$0.00
Perimeter and Parkway Maintenance	91,994.18	171,092.08	18,937.54	39,166.28	8,744.34
Reserve/Improvement Fund	0.00	0.00	0.00	0.00	0.00
Total Landscape Maintenance	\$190,572.59	\$394,876.19	\$37,875.08	\$89,656.28	\$8,744.34
Local Streetlights	91,340.51	203,832.08	18,645.27	66,949.36	18,600.00
Total Local Benefit Service Costs	\$281,913.11	\$598,708.26	\$56,520.35	\$156,605.64	\$27,344.33
Fund Balance Contribution	0.00	(135,733.72)	(14,486.26)	0.00	0.00
General Fund Contribution	(93,341.79)	0.00	0.00	(55,227.70)	(12,920.27)
Balance To Levy (Local Benefit)	\$188,571.32	\$462,974.54	\$42,034.30	\$101,377.93	\$14,424.06
EBU (Parks/Open Space)	2,665.00	7,840.00	515.00	2,764.00	0.00
Rate per EBU (Parks/Open Space)	\$29.08	\$17.28	\$29.74	\$4.80	\$0.00
EBU (Perimeter/Parkway)	2,487.00	5,994.00	515.00	2,144.10	427.00
Rate per EBU (Perimeter/Parkway)	\$21.66	\$29.64	\$28.86	\$18.14	\$10.76
EBU (Streetlights)	2,485.00	6,509.00	515.00	2,138.00	427.00
Rate per EBU (Streetlights)	\$23.02	\$23.02	\$23.02	\$23.02	\$23.02
Maximum & Applied Levy Rate (Local Benefit)	\$73.76	\$69.94	\$81.62	\$45.96	\$33.78
Flood/Drainage Control	\$167,374.57	\$462,547.50	\$28,009.98	\$158,853.19	\$23,278.19
Street Sweeping	14,219.92	38,032.28	2,951.52	12,280.84	2,442.44
Reserve/Improvement Fund	0.00	0.00	0.00	0.00	0.00
Total Exempt Service Costs	\$181,594.49	\$500,579.78	\$30,961.50	\$171,134.03	\$25,720.63
General Fund Contribution	(45,140.24)	(124,747.17)	(7,554.18)	(42,842.06)	(6,278.03)
Balance To Levy (Exempt Services)	\$136,454.25	\$375,832.61	\$23,407.32	\$128,291.97	\$19,442.60
EBU (Flood/Drainage Control)	3,077.40	8,504.54	515.00	2,920.72	428.00
Rate per EBU (Flood/Drainage Control)	\$39.72	\$39.72	\$39.72	\$39.72	\$39.72
EBU (Street Sweeping)	2,486.00	6,649.00	516.00	2,147.00	427.00
Rate per EBU (Street Sweeping)	\$5.72	\$5.72	\$5.72	\$5.72	\$5.72
Maximum Levy Rate (Exempt Services)	\$45.44	\$45.44	\$45.44	\$45.44	\$45.44
Balance To Levy (All Services)	\$325,025.57	\$838,807.15	\$65,441.62	\$229,669.91	\$33,866.66
Maximum Rate (All Applicable Service)	\$119.20	\$115.38	\$127.06	\$91.40	\$79.22

Note: The rates shown per EBU for Parks/Open Space, Food/Drainage Control, and Perimeter/Parkway are net of General Fund Contributions. Slight differences in totals are due to rounding.

District Budgets for (Zones: F, G, H, I and J)

Budget Item	Zone F Amount	Zone G Amount	Zone H Amount	Zone I Amount	Zone J Amount
Local Parks and Open Space	\$0.00	\$0.00	\$94,346.02	\$0.00	\$0.00
Perimeter and Parkway Maintenance	49,788.95	0.00	94,346.02	0.00	0.00
Reserve/Improvement Fund	0.00	0.00	0.00	0.00	0.00
Total Landscape Maintenance	\$49,788.95	\$0.00	\$188,692.05	\$0.00	\$0.00
Local Streetlights	7,629.54	0.00	31,858.50	4,695.32	0.00
Total Local Benefit Service Costs	\$57,418.49	\$0.00	\$220,550.55	\$4,695.32	\$0.00
Fund Balance Contribution	(3,580.42)	0.00	0.00	(22.26)	0.00
General Fund Contribution	0.00	0.00	(84,721.01)	0.00	0.00
Balance To Levy (Local Benefit)	\$53,838.06	\$0.00	\$135,829.54	\$4,673.06	\$0.00
EBU (Parks/Open Space)	0.00	0.00	457.00	0.00	0.00
Rate per EBU (Parks/Open Space)	\$0.00	\$0.00	\$181.74	\$0.00	\$0.00
EBU (Perimeter/Parkway)	75.32	0.00	457.00	0.00	0.00
Rate per EBU (Perimeter/Parkway)	\$682.70	\$0.00	\$92.46	\$0.00	\$0.00
EBU (Streetlights)	105.00	0.00	457.00	203.00	0.00
Rate per EBU (Streetlights)	\$23.02	\$0.00	\$23.02	\$23.02	\$0.00
Maximum & Applied Levy Rate (Local Benefit)	\$705.72	\$0.00	\$297.22	\$23.02	\$0.00
Flood/Drainage Control	\$15,020.96	\$569,481.68	\$24,855.45	\$11,040.83	\$29,315.30
Street Sweeping	612.04	10,233.08	2,614.04	1,161.16	3,111.68
Reserve/Improvement Fund	0.00	0.00	0.00	0.00	0.00
Total Exempt Service Costs	\$15,633.00	\$579,714.76	\$27,469.49	\$12,201.99	\$32,426.98
General Fund Contribution	(4,051.09)	(153,586.88)	(6,703.41)	(2,977.67)	(7,906.22)
Balance To Levy (Exempt Services)	\$11,581.91	\$426,127.88	\$20,766.08	\$9,224.32	\$24,520.76
EBU (Flood/Drainage Control)	276.18	10,470.66	457.00	203.00	539.00
Rate per EBU (Flood/Drainage Control)	\$39.72	\$39.72	\$39.72	\$39.72	\$39.72
EBU (Street Sweeping)	107.00	1,789.00	457.00	203.00	544.00
Rate per EBU (Street Sweeping)	\$5.72	\$5.72	\$5.72	\$5.72	\$5.72
Maximum Levy Rate (Exempt Services)	\$45.44	\$45.44	\$45.44	\$45.44	\$45.44
Balance To Levy (All Services)	\$65,419.97	\$426,127.88	\$156,595.62	\$13,897.38	\$24,520.76
Maximum Rate (All Applicable Service)	\$751.16	\$45.44	\$342.66	\$68.46	\$45.44

Note: The rates shown per EBU for Parks/Open Space, Food/Drainage Control, and Perimeter/Parkway are net of General Fund Contributions. Slight differences in totals are due to rounding.

District Budgets for (Zones: K, L, M, N, and the District Totals)

Budget Item	Zone K Amount	Zone L Amount	Zone M Amount	Zone N Amount	District Totals
Local Parks and Open Space	\$0.00	\$0.00	\$0.00	\$0.00	\$486,136.07
Perimeter and Parkway Maintenance	0.00	0.00	0.00	0.00	474,069.39
Reserve/Improvement Fund	0.00	0.00	0.00	0.00	0.00
Total Landscape Maintenance	\$0.00	\$0.00	\$0.00	\$0.00	\$960,205.47
Local Streetlights	0.00	0.00	0.00	0.00	443,550.57
Total Local Benefit Service Costs	\$0.00	\$0.00	\$0.00	\$0.00	\$1,403,756.04
Fund Balance Contribution	0.00	0.00	0.00	0.00	(153,822.67)
General Fund Contribution	0.00	0.00	0.00	0.00	(246,211.77)
Balance To Levy (Local Benefit)	\$0.00	\$0.00	\$0.00	\$0.00	\$1,003,722.82
EBU (Parks/Open Space)	0.00	0.00	0.00	0.00	14,241.00
Rate per EBU (Parks/Open Space)	\$0.00	\$0.00	\$0.00	\$0.00	
EBU (Perimeter/Parkway)	0.00	0.00	0.00	0.00	12,099.42
Rate per EBU (Perimeter/Parkway)	\$0.00	\$0.00	\$0.00	\$0.00	
EBU (Streetlights)	0.00	0.00	0.00	0.00	12,839.00
Rate per EBU (Streetlights)	\$0.00	\$0.00	\$0.00	\$0.00	
Maximum & Applied Levy Rate (Local Benefit)	\$0.00	\$0.00	\$0.00	\$0.00	
Flood/Drainage Control	\$3,943.15	\$295,019.56	\$132,359.38	\$403,938.67	\$2,325,038.40
Street Sweeping	417.56	26,660.92	9,969.96	27,764.88	152,472.32
Reserve/Improvement Fund	0.00	0.00	0.00	0.00	0.00
Total Exempt Service Costs	\$4,360.71	\$321,680.48	\$142,329.34	\$431,703.55	\$2,477,510.72
General Fund Contribution	(1,063.45)	(79,565.57)	(35,696.78)	(108,940.61)	(627,053.36)
Balance To Levy (Exempt Services)	\$3,297.26	\$242,114.91	\$106,632.55	\$322,762.94	\$1,850,457.36
EBU (Flood/Drainage Control)	72.50	5,424.32	2,433.60	7,426.94	42,748.87
Rate per EBU (Flood/Drainage Control)	\$39.72	\$39.72	\$39.72	\$39.72	
EBU (Street Sweeping)	73.00	4,661.00	1,743.00	4,854.00	26,656.00
Rate per EBU (Street Sweeping)	\$5.72	\$5.72 *	\$5.72	\$5.72	
Maximum Levy Rate (Exempt Services)	\$45.44	\$45.44	\$45.44	\$45.44	
Balance To Levy (All Services)	\$3,297.26	\$242,114.91	\$106,632.55	\$322,762.94	\$2,854,180.17
Maximum Rate (All Applicable Service)	\$45.44	\$45.44	\$45.44	\$45.44	N/A

Note: The rates shown per EBU for Parks/Open Space, Food/Drainage Control, and Perimeter/Parkway are net of General Fund Contributions. Slight differences in totals are due to rounding.

* This rate is not applied to parcels located within the boundaries of Landscape and Lightning No.15 (Greer Ranch).

APPENDIX A — TRACTS CHARGED FOR STREET SWEEPING

Zone	Tract No.	Development	Zone	Tract No.	Development
A	20150-00	SHADOW OAKS	A	20150-01	SHADOW OAKS
A	20562-00	COUNTRY WALK	A	21261-00	SUMMERHILL
A	21562-00	COUNTRY WALK	A	21563-00	THE TERRACES
A	21563-01	THE TERRACES	A	21563-02	THE TERRACES
A	21713-00	PACESETTER	A	21714-00	MONTECITO
A	21715-00	ALTA MURRIETA A/TR 21715-00	A	21716-00	MESA DEL REY
A	21864-00	WHITEWOOD ESTATES	A	21865-00	WHITEWOOD ESTATES
A	21866-00	EASTGATE	A	21868-00	CASHEL GLEN
A	21869-00	CIMMARON	A	21870-00	CIMMARON
A	21871-00	MESA DEL REY	A	21934-00	SUMMERHILL
A	21934-01	ACACIA PARK	A	21934-02	MONTERO
A	23340-00	EAST GATE	A	27808-01	BARCLAY HEIGHTS
A	27808-02	INLAND PACIFIC HOMES	A	27808-03	BARCLAY HEIGHTS
A	27808-04	BARCLAY HEIGHTS	A	27808-05	BARCLAY HEIGHTS
A	27808-06	BARCLAY HEIGHTS	A	27808-07	BARCLAY HEIGHTS
A	27808-08	BARCLAY HEIGHTS	B	20840-00	MONTEREY
B	20840-01	WILLOW GLEN	B	20840-02	WILLOW GLEN
B	20840-03	MONTEREY	B	20840-04	WILLOW GLEN
B	20840-05	MONTEREY	B	20840-06	MONTEREY
B	20841-00	SIENA & SIERRA	B	20841-01	SIENA & SIERRA
B	20841-02	SIENA & SIERRA	B	20841-03	SIENA & SIERRA
B	20841-04	SIENA & SIERRA	B	20841-05	SIENA & SIERRA
B	21071-01	THE COLONY	B	21071-02	THE COLONY
B	21072-01	THE COLONY	B	21072-02	THE COLONY
B	21072-03	THE COLONY	B	21072-04	THE COLONY
B	21072-05	THE COLONY	B	21072-07	THE COLONY
B	21072-07A	THE COLONY	B	21072-08	THE COLONY
B	21072-09	THE COLONY	B	21072-10	THE COLONY
B	21072-11	THE COLONY	B	21072-12	THE COLONY
B	21514-00	ANTELOPE RUN	B	21515-00	SAN MIGUEL
B	21515-01	SAN MIGUEL	B	21515-02	SAN MIGUEL
B	21987-00	ALICANTE	B	21987-01	ALICANTE
B	22076-00	PROVENCE/ENCANTO	B	22076-01	PROVENCE/ENCANTO
B	22077-A0	FALCON'S VIEW	B	22077-C0	MALAGUENA
B	22077-C1	MALAGUENA	B	22077-D	ATHENA
B	22077-D1	ATHENA	B	22077-D2	ATHENA
B	22077-D4	ATHENA	B	22077-D5	ATHENA
B	22077-D6	ATHENA	B	22077-D7	ATHENA
B	22437-00	FONTENAY	B	22490-00	PREMIER
B	22491-00	ACACIA CREST	B	22819-00	SORRENTO
B	22819-01	SORRENTO	B	22819-02	SORRENTO
B	23049-01	MANDALAY	B	23049-02	MANDALAY

APPENDIX A — TRACTS CHARGED FOR STREET SWEEPING

Zone	Tract No.	Development	Zone	Tract No.	Development
B	23208-04	MONTERRAT	B	23208-05	CORTA BELLA
B	23329-00	CAL OAKS WEST COAST DEV	B	23435-00	BUIE HOMES-CALIFORNIA OAKS
B	23435-01	BUIE HOMES-CALIFORNIA OAKS	B	23435-02	BUIE HOMES-CALIFORNIA OAKS
B	23435-03	BUIE HOMES-CALIFORNIA OAKS	B	23435-04	BUIE HOMES-CALIFORNIA OAKS
B	23435-05	BUIE HOMES-CALIFORNIA OAKS	B	24557-00	SORRENTO
B	24592-00	MCCUNE DEVELOPMENT PM 22436	B	24592-01	MCCUNE DEVELOPMENT
B	25362-00	MURA HOMES-CALIFORNIA OAKS	B	25362-01	MURA HOMES
B	25362-03	MURA HOMES-CALIFORNIA OAKS	B	26097-00	CAL OAKS: TRACT 26097-00
B	28509-00	MONTERRAT II	B	28509-01	MONTERRAT II
B	29231-00	LENNAR HOMES	C	21691-01	ANTIGUA
C	21759-00	MONTAFINO	C	22346-00	ANTIGUA
C	22603-00	ANTIGUA	C	23127-00	SAN RAPHAEL
D	20899-00	IMPRESSIONS	D	20908-00	IMPRESSIONS
D	20908-01	IMPRESSIONS	D	20908-02	IMPRESSIONS
D	21151-00	BAUER/BARRATT	D	21152-00	SUMMERWIND
D	21153-00	PORTRAITS	D	21154-00	BAUER/BARRATT
D	21283-00	ECHO RIDGE	D	21283-01	ECHO RIDGE
D	21283-02	ECHO RIDGE	D	21284-00	CHAPARRAL
D	21289-00	VISTA VERDE	D	21290-00	VISTA VERDE
D	21346-00	DEL BRISAS	D	21347-00	DEL BRISAS
D	21712-00	CENTURY HOMES	D	21862-00	ST TROPEZ
D	21872-00	RICHMOND AMERICAN HOMES	D	21999-00	PALMERA
D	22022-00	BAUER/BARRATT	D	23146-00	FELICIATAS
D	23146-01	BROCK	D	23146-02	BROCK
D	23282-00	BARRATT	D	23282-01	BARRATT
D	24459-00	VAN DAELE	D	29078-00	MURRIETA EUCALYPTUS TRACT
D	29079-00	MURRIETA EUCALYPTUS TRACT	E	23095-01	NORTHFORK
E	23095-02	NORTHFORK	E	23095-03	STANDARD PACIFIC DEVELOPMENT
E	23095-04	STANDARD PACIFIC DEVELOPMENT	F	PM 21184-01	RANCON CENTER
F	PM 21660-00	RANCON CENTER	F	PM 22318-01	RANCON CENTER
F	PM 24382-00	RANCON CENTER	F	PM 29844	
G	25273-01	MURRIETA ESTATES	G	26262-00	RAFCO DEVELOPMENT
G	31467	MURRIETA 64	G	34250	GALLERY ESTATES
H	23879-00	SPIRIT	H	23879-01	SPIRIT
H	23879-02	SPIRIT	H	23879-03	SPIRIT
H	23880-00	CONTINENTAL HOMES	H	23881-00	CONTINENTAL HOMES
I	21419-00	VINEYARD KNOLLS	J	14854-01	BEAR CREEK
J	14854-02	BEAR CREEK	J	14854-03	BEAR CREEK
J	19204-01	BEAR CREEK	J	19204-02	BEAR CREEK
J	19204-03	BEAR CREEK	J	19535-00	BEAR CREEK
J	19883-00	BEAR CREEK	J	20403-00	BEAR CREEK
J	20403-01	BEAR CREEK	J	20403-02	BEAR CREEK
J	20829-00	BEAR CREEK	J	21371-00	BEAR CREEK
K	21370	LAKE VILLAS BEAR VALLEY			

APPENDIX A — TRACTS CHARGED FOR STREET SWEEPING

Zone	Tract No.	Development	Zone	Tract No.	Development
L	23187-02		L	23187-03	
L	23187-04		L	27973-00	WESTERN PACIFIC HOUSING
L	27974-00	WESTERN PACIFIC HOUSING	L	28333-01	GRIZZLEY RIDGE
L	28333-02	GRIZZLEY RIDGE	L	28333-03	GRIZZLEY RIDGE
L	28333-04	GRIZZLEY RIDGE	L	28379	
L	28677-01	COPPER CANYON (SHEFFIELD)	L	28677-02	COPPER CANYON (SHEFFIELD)
L	28677-03	COPPER CANYON (SHEFFIELD)	L	28677-04	COPPER CANYON (SHEFFIELD)
L	28677-05	COPPER CANYON (SHEFFIELD)	L	28677-06	COPPER CANYON (SHEFFIELD)
L	28677-07	COPPER CANYON SPECIFIC PLAN	L	28677-08	COPPER CANYON-STANDARD PACIFIC
L	28677-09	COPPER CANYON-STANDARD PACIFIC	L	28677-10	COPPER CANYON (CENTEX HOMES)
L	28677-11	COPPER CANYON-CENTEX HOMES	L	28677-12	COPPER CANYON-STANDARD PACIFIC
L	28677-13	COPPER CANYON-STANDARD PACIFIC	L	28677-14	COPPER CANYON-STANDARD PACIFIC
L	28993-01	MURRIETA RANCHOS (CURTIS DEV)	L	28993-02	MURRIETA RANCHOS (CURTIS DEV)
L	28993-03	MURRIETA RANCHOS (CURTIS DEV)	L	29026-00	PACIFIC CENTURY-ALTA MURRIETA
L	29069-01	GRIZZLEY RIDGE	L	29069-02	GRIZZLEY RIDGE
L	29217-01		L	29217-02	
L	29217-03		L	29361	
L	29403		L	29448	
L	29448-01		L	29453-00	WESTERN PACIFIC HOUSING
L	29545-00	WESTERN PACIFIC HOUSING	L	29602-00	COPPER CREEK (CONTINENTAL)
L	29640	GREER RANCH	L	29717-00	PACIFIC CENTURY-ALTA MURRIETA
L	30273		L	30280	
L	30727		L	30867	
L	30954		L	31121	
L	31167		L	31878	
L	31956		L	32050	
L	36496		L	36629	
L	PM 28648	CHERRY STREET BUSINESS PARK	L	PM 29626	CHERRY STREET BUSINESS PARK
M	17510-01		M	28532-01	
M	28532-02		M	28532-03	
M	28532-04		M	28532-05	
M	28533-01		M	28533-02	
M	28533-03		M	28533-04	
M	28533-05		M	28533-06	
M	28533-07		M	28533-08	
M	28533-09		M	28533-10	
M	31168		M	31375	
M	32266	LANTANA	M	34445	
M	PM 30775				

APPENDIX A — TRACTS CHARGED FOR STREET SWEEPING

Zone	Tract No.	Development	Zone	Tract No.	Development
N	04476-00		N	04986-00	
N	05916-00		N	15285-01	
N	21560-00		N	21560-01	
N	21560-02		N	21560-03	
N	21560-04		N	21957-00	
N	23246-00		N	23246-01	
N	23404-00		N	23486-00	
N	23486-01		N	23486-02	
N	23486-03		N	23486-04	
N	23626-00		N	23627-00	
N	23627-01		N	23628-00	
N	23628-01		N	23628-02	
N	23629-00		N	23629-01	
N	24159-00		N	24159-01	
N	24159-02		N	24159-03	
N	24799-00		N	27348-00	
N	28184-00		N	28423-00	
N	28460-00		N	28674-00	
N	28733-00		N	28778-00	
N	29111-00		N	29111-01	
N	29120-00		N	29144-00	
N	29218-00		N	29224	
N	29250-00		N	29396-00	
N	29397-00		N	29398	
N	29707-02		N	29707-04	
N	29707-05		N	29707-06	
N	30643		N	30690	
N	30691				

APPENDIX B — TRACTS CHARGED FOR LOCAL LANDSCAPING

Zone	Tract No.	Development	Zone	Tract No.	Development
A	20150-00	SHADOW OAKS	A	20150-01	SHADOW OAKS
A	20562-00	COUNTRY WALK	A	21261-00	SUMMERHILL
A	21562-00	COUNTRY WALK	A	21563-00	THE TERRACES
A	21563-01	THE TERRACES	A	21563-02	THE TERRACES
A	21713-00	PACESETTER	A	21714-00	MONTECITO
A	21715-00	ALTA MURRIETA A/TR 21715-00	A	21716-00	MESA DEL REY
A	21864-00	WHITEWOOD ESTATES	A	21865-00	WHITEWOOD ESTATES
A	21866-00	EASTGATE	A	21868-00	CASHEL GLEN
A	21869-00	CIMMARON	A	21870-00	CIMMARON
A	21871-00	MESA DEL REY	A	21934-00	SUMMERHILL
A	21934-01	ACACIA PARK	A	21934-02	MONTERO
A	23340-00	EAST GATE	A	27808-01	BARCLAY HEIGHTS
A	27808-02	INLAND PACIFIC HOMES	A	27808-03	BARCLAY HEIGHTS
A	27808-04	BARCLAY HEIGHTS	A	27808-05	BARCLAY HEIGHTS
A	27808-06	BARCLAY HEIGHTS	A	27808-07	BARCLAY HEIGHTS
A	27808-08	BARCLAY HEIGHTS	B	00000-0BM	CAL OAKS APARTMENTS
B	20840-00	MONTEREY	B	20840-01	WILLOW GLEN
B	20840-02	WILLOW GLEN	B	20840-03	MONTEREY
B	20840-04	WILLOW GLEN	B	20840-05	MONTEREY
B	20840-06	MONTEREY	B	20841-00	SIENA & SIERRA
B	20841-01	SIENA & SIERRA	B	20841-02	SIENA & SIERRA
B	20841-03	SIENA & SIERRA	B	20841-04	SIENA & SIERRA
B	20841-05	SIENA & SIERRA	B	21071-01	THE COLONY
B	21071-02	THE COLONY	B	21072-01	THE COLONY
B	21072-02	THE COLONY	B	21072-03	THE COLONY
B	21072-04	THE COLONY	B	21072-05	THE COLONY
B	21072-07	THE COLONY	B	21072-07A	THE COLONY
B	21072-08	THE COLONY	B	21072-09	THE COLONY
B	21072-10	THE COLONY	B	21072-11	THE COLONY
B	21072-12	THE COLONY	B	21514-00	ANTELOPE RUN
B	21515-00	SAN MIGUEL	B	21515-01	SAN MIGUEL
B	21515-02	SAN MIGUEL	B	21987-00	ALICANTE
B	21987-01	ALICANTE	B	22076-00	PROVENCE/ENCANTO
B	22076-01	PROVENCE/ENCANTO	B	22077-A0	FALCON'S VIEW
B	22077-C0	MALAGUENA	B	22077-C1	MALAGUENA
B	22077-C2	MALAGUENA	B	22077-D	ATHENA
B	22077-D1	ATHENA	B	22077-D2	ATHENA
B	22077-D4	ATHENA	B	22077-D5	ATHENA
B	22077-D6	ATHENA	B	22077-D7	ATHENA
B	22437-00	FONTENAY	B	22490-00	PREMIER 2
B	22491-00	ACACIA CREST	B	22819-00	SORRENTO

APPENDIX B — TRACTS CHARGED FOR LOCAL LANDSCAPING

Zone	Tract No.	Development	Zone	Tract No.	Development
B	22819-01	SORRENTO	B	22819-02	SORRENTO
B	23051-00	CAL OAKS WEST COAST DEV	B	23108-0BM	AMANDA PARK APARTMENTS
B	23134-01	WOODCREST HILLS	B	23155-00	CRYSTALLAIRE
B	23208-01	CORTA BELLA	B	23208-02	MONTERRAT
B	23208-03	MONTERRAT	B	23208-04	MONTERRAT
B	23208-05	CORTA BELLA	B	23329-00	CAL OAKS WEST COAST DEV
B	23435-00	BUIE HOMES-CALIFORNIA OAKS	B	23435-01	BUIE HOMES
B	23435-02	BLUE HOMES-CALIFORNIA OAKS	B	23435-03	BUIE HOMES-CALIFORNIA OAKS
B	23435-04	BLUE HOMES-CALIFORNIA OAKS	B	23435-05	BUIE HOMES-CALIFORNIA OAKS
B	24557-00	SORRENTO	B	24592-00	MCCUNE DEVELOPMENT PM 22436
B	24592-01	MCCUNE DEVELOPMENT	B	25362-00	MURA HOMES-CALIFORNIA OAKS
B	25362-01	MURA HOMES	B	25362-02	MURA HOMES
B	25362-03	MURA HOMES-CALIFORNIA OAKS	B	26097-00	CAL OAKS: TRACT 26097-00
B	28509-00	MONTERRAT II	B	28509-01	MONTERRAT II
B	29231-00	LENNAR HOMES	C	21691-01	ANTIGUA
C	21759-00	MONTAFINO	C	22346-00	ANTIGUA
C	22603-00	ANTIGUA	C	23127-00	SAN RAPHAEL
D	00000-ODM	LOS ALMOS APARTMENTS	D	20899-00	IMPRESSIONS
D	20908-00	IMPRESSIONS	D	20908-01	IMPRESSIONS
D	20908-02	IMPRESSIONS	D	21151-00	BAUER/BARRATT
D	21152-00	SUMMERWIND	D	21153-00	PORTRAITS
D	21154-00	BAUER/BARRATT	D	21283-00	ECHO RIDGE
D	21283-01	ECHO RIDGE	D	21283-02	ECHO RIDGE
D	21284-00	CHAPARRAL	D	21289-00	VISTA VERDE
D	21290-00	VISTA VERDE	D	21346-00	DEL BRISAS
D	21347-00	DEL BRISAS	D	21712-00	CENTURY HOMES
D	21862-00	ST TROPEZ	D	21872-00	RICHMOND AMERICAN HOMES
D	21999-00	PALMERA	D	22022-00	BAUER/BARRATT
D	23146-00	FELICIATAS	D	23146-01	BROCK
D	23146-02	BROCK	D	23282-00	BARRATT
D	23282-01	BARRATT	D	24459-00	VAN DAELE
D	29078-00	MURRIETA EUCALYPTUS TRACT	D	29079-00	MURRIETA EUCALYPTUS TRACT
D	PM 23580	PLAZA LAS BRISAS	E	23095-01	NORTHFORK
E	23095-02	NORTHFORK	E	23095-03	STANDARD PACIFIC DEVELOPMENT
E	23095-04	STANDARD PACIFIC DEVELOPMENT	F	PM 21184-01	RANCON CENTER
F	PM 21660-00	RANCON CENTER	F	PM 22318-01	RANCON CENTER
F	PM 24382-00	RANCON CENTER	F	PM 29844	
H	23879-00	SPIRIT	H	23879-01	SPIRIT
H	23879-02	SPIRIT	H	23879-03	SPIRIT
H	23880-00	CONTINENTAL HOMES	H	23881-00	CONTINENTAL HOMES

APPENDIX C — TRACTS CHARGED FOR LOCAL PARKS

Zone	Tract No.	Development	Zone	Tract No.	Development
A	20150-00	SHADOW OAKS	A	20150-01	SHADOW OAKS
A	20562-00	COUNTRY WALK	A	21261-00	SUMMERHILL
A	21562-00	COUNTRY WALK	A	21563-00	THE TERRACES
A	21563-01	THE TERRACES	A	21563-02	THE TERRACES
A	21713-00	PACESETTER	A	21714-00	MONTECITO
A	21715-00	ALTA MURRIETA A/TR 21715-00	A	21716-00	MESA DEL REY
A	21864-00	WHITEWOOD ESTATES	A	21865-00	WHITEWOOD ESTATES
A	21866-00	EASTGATE	A	21868-00	CASHEL GLEN
A	21869-00	CIMMARON	A	21870-00	CIMMARON
A	21871-00	MESA DEL REY	A	21934-00	SUMMERHILL
A	21934-01	ACACIA PARK	A	21934-02	MONTERO
A	23340-00	EAST GATE	A	27808-01	BARCLAY HEIGHTS
A	27808-02	INLAND PACIFIC HOMES	A	27808-03	BARCLAY HEIGHTS
A	27808-04	BARCLAY HEIGHTS	A	27808-05	BARCLAY HEIGHTS
A	27808-06	BARCLAY HEIGHTS	A	27808-07	BARCLAY HEIGHTS
A	27808-08	BARCLAY HEIGHTS	B	00000-0BM	CAL OAKS APARTMENTS
B	20840-00	MONTEREY	B	20840-01	WILLOW GLEN
B	20840-02	WILLOW GLEN	B	20840-03	MONTEREY
B	20840-04	WILLOW GLEN	B	20840-05	MONTEREY
B	20840-06	MONTEREY	B	20841-00	SIENA & SIERRA
B	20841-01	SIENA & SIERRA	B	20841-02	SIENA & SIERRA
B	20841-03	SIENA & SIERRA	B	20841-04	SIENA & SIERRA
B	20841-05	SIENA & SIERRA	B	21071-01	THE COLONY
B	21071-02	THE COLONY	B	21072-01	THE COLONY
B	21072-02	THE COLONY	B	21072-03	THE COLONY
B	21072-04	THE COLONY	B	21072-05	THE COLONY
B	21072-07	THE COLONY	B	21072-07A	THE COLONY
B	21072-08	THE COLONY	B	21072-09	THE COLONY
B	21072-10	THE COLONY	B	21072-11	THE COLONY
B	21072-12	THE COLONY	B	21514-00	ANTELOPE RUN
B	21515-00	SAN MIGUEL	B	21515-01	SAN MIGUEL
B	21515-02	SAN MIGUEL	B	21987-00	ALICANTE
B	21987-01	ALICANTE	B	22076-00	PROVENCE/ENCANTO
B	22076-01	PROVENCE/ENCANTO	B	22077-A0	FALCON'S VIEW
B	22077-C0	MALAGUENA	B	22077-C1	MALAGUENA
B	22077-C2	MALAGUENA	B	22077-D	ATHENA
B	22077-D1	ATHENA	B	22077-D2	ATHENA
B	22077-D4	ATHENA	B	22077-D5	ATHENA
B	22077-D6	ATHENA	B	22077-D7	ATHENA
B	22437-00	FONTENAY	B	22490-00	PREMIER 2
B	22491-00	ACACIA CREST	B	22819-00	SORRENTO
B	22819-01	SORRENTO	B	22819-02	SORRENTO
B	23049-01	MANDALAY	B	23049-02	MANDALAY

APPENDIX C — TRACTS CHARGED FOR LOCAL PARKS

Zone	Tract No.	Development	Zone	Tract No.	Development
B	23049-03	MANDALAY	B	23049-04	MANDALAY
B	23050-01	ANTELOPE RUN II	B	23505-02	ANTELOPE RUN II
B	23051-00	CAL OAKS WEST COAST DEV	B	23108-0BM	AMANDA PARK APARTMENTS
B	23110-00	CALIFORNIA SPRINGS	B	23134-00	WOODCREST HILLS
B	23134-01	WOODCREST HILLS	B	23155-00	CRYSTALL AIRE
B	23208-01	CORTA BELLA	B	23208-02	MONTERRAT
B	23208-03	MONTERRAT	B	23208-04	MONTERRAT
B	23208-05	CORTA BELLA	B	23329-00	CAL OAKS WEST COAST DEV
B	23435-00	BUIE HOMES-CALIFORNIA OAKS	B	23435-01	BUIE HOMES
B	23435-02	BUIE HOMES-CALIFORNIA OAKS	B	23435-03	BUIE HOMES-CALIFORNIA OAKS
B	23435-04	BUIE HOMES-CALIFORNIA OAKS	B	23435-05	BUIE HOMES-CALIFORNIA OAKS
B	24557-00	SORRENTO	B	24592-00	MCCUNE DEVELOPMENT PM 22436
B	24592-01	MCCUNE DEVELOPMENT	B	25362-00	MURA HOMES-CALIFORNIA OAKS
B	25362-01	MURA HOMES	B	25362-02	MURA HOMES
B	25362-03	MURA HOMES-CALIFORNIA OAKS	B	26097-00	CAL OAKS: TRACT 26097-00
B	28509-00	MONTERRAT II	B	28509-01	MONTERRAT II
B	29231-00	LENNAR HOMES	B	PM 13347	
B	PM 14469		B	PM 14983	
B	PM 29006		B	PM 8280	
C	21691-01	ANTIGUA	C	21759-00	MONTAFINO
C	22346-00	ANTIGUA	C	22603-00	ANTIGUA
C	23127-00	SAN RAPHAEL	D	00000-0DM	LOS ALMOS APARTMENTS
D	20899-00	IMPRESSIONS	D	20908-00	IMPRESSIONS
D	20908-01	IMPRESSIONS	D	20908-02	IMPRESSIONS
D	21151-00	BAUER/BARRATT	D	21152-00	SUMMERWIND
D	21153-00	PORTRAITS	D	21154-00	BAUER/BARRATT
D	21283-00	ECHO RIDGE	D	21283-01	ECHO RIDGE
D	21283-02	ECHO RIDGE	D	21284-00	CHAPARRAL
D	21289-00	VISTA VERDE	D	21290-00	VISTA VERDE
D	21346-00	DEL BRISAS	D	21347-00	DEL BRISAS
D	21712-00	CENTURY HOMES	D	21862-00	ST TROPEZ
D	21872-00	RICHMOND AMERICAN HOMES	D	21999-00	PALMERA
D	22022-00	BAUER/BARRATT	D	23146-00	FELICIATAS
D	23146-01	BROCK	D	23146-02	BROCK
D	23282-00	BARRATT	D	23282-01	BARRATT
D	24459-00	VAN DAELE	D	29078-00	MURRIETA EUCALYPTUS TRACT
D	29079-00	MURRIETA EUCALYPTUS TRACT	D	PM 7143	
D	PM 9126		H	23879-00	SPIRIT
H	23879-01	SPIRIT	H	23879-02	SPIRIT
H	23879-03	SPIRIT	H	23880-00	CONTINENTAL HOMES
H	23881-00	CONTINENTAL HOMES			

APPENDIX D — TRACTS CHARGED FOR LOCAL STREET LIGHTS

Zone	Tract No.	Development	Zone	Tract No.	Development
A	20150-00	SHADOW OAKS	A	20150-01	SHADOW OAKS
A	20562-00	COUNTRY WALK	A	21261-00	SUMMERHILL
A	21562-00	COUNTRY WALK	A	21563-00	THE TERRACES
A	21563-01	THE TERRACES	A	21563-02	THE TERRACES
A	21713-00	PACESETTER	A	21714-00	MONTECITO
A	21715-00	ALTA MURRIETA A/TR 21715-00	A	21716-00	MESA DEL REY
A	21864-00	WHITEWOOD ESTATES	A	21865-00	WHITEWOOD ESTATES
A	21866-00	EASTGATE	A	21868-00	CASHEL GLEN
A	21869-00	CIMMARON	A	21870-00	CIMMARON
A	21871-00	MESA DEL REY	A	21934-00	SUMMERHILL
A	21934-01	ACACIA PARK	A	21934-02	MONTERO
A	23340-00	EAST GATE	A	27808-01	BARCLAY HEIGHTS
A	27808-02	INLAND PACIFIC HOMES	A	27808-03	BARCLAY HEIGHTS
A	27808-04	BARCLAY HEIGHTS	A	27808-05	BARCLAY HEIGHTS
A	27808-06	BARCLAY HEIGHTS	A	27808-07	BARCLAY HEIGHTS
A	27808-08	BARCLAY HEIGHTS	B	20840-00	MONTEREY
B	20840-01	WILLOW GLEN	B	20840-02	WILLOW GLEN
B	20840-03	MONTEREY	B	20840-04	WILLOW GLEN
B	20840-05	MONTEREY	B	20840-06	MONTEREY
B	20841-00	SIENA & SIERRA	B	20841-01	SIENA & SIERRA
B	20841-02	SIENA & SIERRA	B	20841-03	SIENA & SIERRA
B	20841-04	SIENA & SIERRA	B	20841-05	SIENA & SIERRA
B	21071-01	THE COLONY	B	21071-02	THE COLONY
B	21072-01	THE COLONY	B	21072-02	THE COLONY
B	21072-03	THE COLONY	B	21072-04	THE COLONY
B	21072-05	THE COLONY	B	21072-07	THE COLONY
B	21072-07A	THE COLONY	B	21072-08	THE COLONY
B	21072-09	THE COLONY	B	21072-10	THE COLONY
B	21072-11	THE COLONY	B	21072-12	THE COLONY
B	21514-00	ANTELOPE RUN	B	21515-00	SAN MIGUEL
B	21515-01	SAN MIGUEL	B	21515-02	SAN MIGUEL
B	21987-00	ALICANTE	B	21987-01	ALICANTE
B	22076-00	PROVENCE/ENCANTO	B	22076-01	PROVENCE/ENCANTO
B	22077-A0	FALCON'S VIEW	B	22077-C0	MALAGUENA
B	22077-C1	MALAGUENA	B	22077-C2	MALAGUENA
B	22077-D	ATHENA	B	22077-D1	ATHENA
B	22077-D2	ATHENA	B	22077-D4	ATHENA
B	22077-D5	ATHENA	B	22077-D6	ATHENA
B	22077-D7	ATHENA	B	22437-00	FONTENAY
B	22490-00	PREMIER	B	22491-00	ACACIA CREST
B	22819-00	SORRENTO	B	22819-01	SORRENTO
B	22819-02	SORRENTO	B	23049-01	MANDALAY
B	23049-02	MANDALAY	B	23049-03	MANDALAY
B	23049-04	MANDALAY	B	23050-01	ANTELOPE RUN II

APPENDIX D — TRACTS CHARGED FOR STREET LIGHTS

Zone	Tract No.	Development	Zone	Tract No.	Development
B	23050-02	ANTELOPE RUN II	B	23051-00	CAL OAKS WEST COAST DEV
B	23110-00	CALIFORNIA SPRINGS	B	23134-00	WOODCREST HILLS
B	23134-01	WOODCREST HILLS	B	23155-00	CRYSTALLAIRE
B	23208-01	CORTA BELLA	B	23208-02	MONTERRAT
B	23208-03	MONTERRAT	B	23208-04	MONTERRAT
B	23208-05	CORTA BELLA	B	23329-00	CAL OAKS WEST COAST DEV
B	23435-00	BUIE HOMES-CALIFORNIA OAKS	B	23435-01	BUIE HOMES
B	23435-02	BUIE HOMES-CALIFORNIA OAKS	B	23435-03	BLUE HOMES-CALIFORNIA OAKS
B	23435-04	BUIE HOMES-CALIFORNIA OAKS	B	23435-05	BLUE HOMES-CALIFORNIA OAKS
B	24557-00	SORRENTO	B	24592-00	MCCUNE DEVELOPMENT PM 22436
B	24592-01	MCCUNE DEVELOPMENT	B	25362-00	MURA HOMES-CALIFORNIA OAKS
B	25362-01	MURA HOMES	B	25362-02	MURA HOMES
B	25362-03	MURA HOMES-CALIFORNIA OAKS	B	28509-00	MONTERRAT II
B	28509-01	MONTERRAT II	B	29231-00	LENNAR HOMES
C	21691-01	ANTIGUA	C	21759-00	MONTAFINO
C	22346-00	ANTIGUA	C	22603-00	ANTIGUA
C	23127-00	SAN RAPHAEL	D	20899-00	IMPRESSIONS
D	20908-00	IMPRESSIONS	D	20908-01	IMPRESSIONS
D	20908-02	IMPRESSIONS	D	21151-00	BAUER/BARRATT
D	21152-00	SUMMERWIND	D	21153-00	PORTRAITS
D	21154-00	BAUER/BARRATT	D	21283-00	ECHO RIDGE
D	21283-01	ECHO RIDGE	D	21283-02	ECHO RIDGE
D	21284-00	CHAPARRAL	D	21289-00	VISTA VERDE
D	21290-00	VISTA VERDE	D	21346-00	DEL BRISAS
D	21347-00	DEL BRISAS	D	21712-00	CENTURY HOMES
D	21862-00	ST TROPEZ	D	21872-00	RICHMOND AMERICAN HOMES
D	21999-00	PALMERA	D	22022-00	BAUER/BARRATT
D	23146-00	FELICIATAS	D	23146-01	BROCK
D	23146-02	BROCK	D	23282-00	BARRATT
D	23282-01	BARRATT	D	24459-00	VAN DAELE
D	29078-00	MURRIETA EUCALYPTUS TRACT	D	29079-00	MURRIETA EUCALYPTUS TRACT
E	23095-01	NORTHFORK	E	23095-02	NORTHFORK
E	23095-03	STANDARD PACIFIC DEVELOPMENT	E	23095-04	STANDARD PACIFIC DEVELOPMENT
F	PM 21184-01	RANCON CENTER	F	PM 21660-00	RANCON CENTER
F	PM 22318-01	RANCON CENTER	F	PM 24382-00	RANCON CENTER
F	PM 29844		H	23879-00	SPIRIT
H	23879-01		H	23879-02	SPIRIT
H	23879-03		H	23880-00	CONTINENTAL HOMES
H	23881-00		I	21419-00	

APPENDIX E — DISTRICT BOUNDARY MAPS

The Boundary Diagram for the District is coterminous with the City boundary and is available for inspection at the City Clerk's Office and by reference is made part of this Report. The City Boundary Map and the Assessment Roll contained in this Report constitute the Assessment Diagram for the District.



CITY OF MURRIETA

City Council Meeting Agenda Report

7/1/2025
Agenda Item No. 11.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Brian Ambrose, Community Services Director

PREPARED BY: Lea Kolek, Parks and Community Service Manager

SUBJECT: Consolidated Landscaping and Lighting District Levy of Annual Assessments

RECOMMENDATION

Conduct the Public Hearing;

Adopt Resolution No. 25-4865 entitled: *A Resolution of the City Council of the City of Murrieta, California, Confirming Assessments and Providing for Annual Assessment Levy for Fiscal Year 2025/26 in the City of Murrieta Consolidated Landscaping and Lighting District*; and

Authorize the City Clerk to file the assessment roll with the County Auditor.

PRIOR ACTION/VOTE

On May 6, 2025, the City Council adopted Resolution No. 25-4829 ordering the preparation of the Engineer's Annual Levy Report for the Consolidated Landscape and Lighting District (Vote: 5-0).

On May 6, 2025, the City Council adopted Resolution No. 25-4830 approving the Engineer's Report for the Consolidated Landscaping and Lighting District and declaring the City's intention to levy and collect assessments for Fiscal Year 2025/26 in the City of Murrieta Consolidated Landscaping and Lighting District and setting a public hearing for July 1, 2025. (Vote: 5-0).

CITY COUNCIL GOAL

Maintain a high performing organization that values fiscal sustainability, transparency, accountability and organizational efficiency.

BACKGROUND

On May 6, 2025, the City Council of the City of Murrieta (City) adopted Resolutions No. 25-4829 and 25-4830 to initiate proceedings allowing for the levy and collection of annual assessments to be placed on the County tax rolls for parcels within the city limits. The proposed assessments are based on the estimated costs and expenses associated with the regular annual maintenance, operation, and servicing of the landscaping and

lighting improvements within each Zone that resulted from the development of properties within the Community Services District (CSD).

For Fiscal Year 2025/26, the Murrieta Consolidated Landscaping and Lighting District (Consolidated District) consists of 30 primary benefit zones and one (1) zone as dormant (activated only should the HOA fail), and four (4) zones representing a total of 13 sub-zones. Each of the corresponding zones and sub-zones funds specific improvements that benefit parcels within those zones and sub-zones. The parcels receiving this assessment are identified by their own Assessor's Parcel Number (APN). The County Auditor/Controller uses APNs on the tax roll to identify properties charged for this special district benefit. The improvements and the costs of those improvements are identified and budgeted separately for each zone based on the planned services, operation, administration, and maintenance of the Consolidated District improvements authorized under the provisions of the *Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code* (hereinafter referred to as the Act).

Prior to Fiscal Year 1999/2000, local landscaping and lighting improvements associated with new developments and various areas of the city were funded by rates and charges levied through the City's CSD. These specific improvements are still provided and funded through the CSD today. Although the City could have continued using the CSD as the mechanism for maintaining local landscaping and lighting improvements, it was recognized that the CSD was not the most efficient way to address the rapid development within the City. Therefore, between Fiscal Year 1999/2000 and Fiscal Year 2003/04, the City formed various landscaping and lighting districts under the provisions of the Act and the California Constitution Article XIID, to address local improvements associated with these developments.

In Fiscal Year 2003/04, the City consolidated the 17 original districts into a single district pursuant to Section 22605 (d) of the Act and established the Murrieta Consolidated Landscaping and Lighting District. As part of the consolidation, the original districts were established as zones, and any benefit zones within those original districts were established as sub-zones. The consolidation was a necessary step toward reducing the administrative complexities of multiple staff reports and resolutions for each district to be reviewed and adopted each year. The consolidation did not directly impact or change the maximum assessment rates previously approved by the property owners.

The annual assessments associated with local improvements are budgeted separately for each zone and charged to only those APNs or parcels that benefit from those improvements and services. With the formation of each original district and annexation into the Consolidated District, an annual adjustment of two (2) or three (3) percent was approved by the property owners. The annual assessment for each zone varies based upon the services received and the number of parcels within that zone from \$71.72 for Zone 22 streetlights only to \$1,626.94 for Zone 3 for full maintenance and streetlights of that industrial/commercial area. **While some of the zones have no increases for the next fiscal year, those with increases range from \$2.10 to \$81.62 annually.** Please refer to the charts on pages 47-49 of the 2025/26 Engineer's Annual Levy Report for each zone and sub-zone assessment. The July 1, 2025 Public Hearing is scheduled for the consideration of any protests or objections in reference to the annual levy of assessments, to the extent of the maintenance services, and any other matters affecting those property owners.

Notice of the public hearing was published in the Press Enterprise on May 17, 2025.

FISCAL IMPACT

The City of Murrieta Consolidated Landscaping and Lighting District proposed levy amount for Fiscal Year 2025/26 is estimated to be \$5,118,864.58. The levy and collection of these annual assessments will pay for the costs associated with the services provided by the CSD. The revenue and expenditure budgets for each district are included in the Fiscal Year 2025/26 Operating Budget.

ATTACHMENTS

1. Resolution No. 25-4865
2. 2025/26 Engineer's Annual Levy Report for the City of Murrieta Consolidated Landscaping and Lighting District

RESOLUTION NO. 25-4865

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA,
CALIFORNIA, CONFIRMING ASSESSMENTS AND PROVIDING FOR
ANNUAL ASSESSMENT LEVY FOR FISCAL YEAR 2025/26 IN THE CITY OF
MURRIETA CONSOLIDATED LANDSCAPING AND LIGHTING DISTRICT**

WHEREAS, pursuant to Resolution No. 25-4830 on May 6, 2025 (the “Resolution of Intention”), the City Council of the City of Murrieta (City) initiated proceedings for the annual levy of assessments for the landscaping and lighting district known and designated as:

**CITY OF MURRIETA
CONSOLIDATED LANDSCAPING AND LIGHTING
DISTRICT**

(Consolidated District), pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of the State of California* (hereinafter referred to as the Act); and

WHEREAS, the 2025/26 Engineer’s Annual Levy Report (the “Engineer’s Report”) has been prepared by Willdan Financial Services and presented to the City Council in connection with the annual levy of assessments for Fiscal Year 2025/26; and

WHEREAS, pursuant to the Resolution No. 25-4830, the City Council set a public hearing on the Engineer’s Report for July 1, 2025, which public hearing has been duly noticed in accordance with the Act and applicable law; and

WHEREAS, the City Council has duly held a public hearing regarding the proposed landscaping and lighting improvements and the proposed assessments within the Consolidated District for Fiscal Year 2025/26; and

WHEREAS, the City Council has examined and reviewed the Engineer’s Report, considered all testimony and evidence, and now desires to proceed with the annual levy of assessments for the Consolidated District,

**NOW, THEREFORE, THE CITY COUNCIL OF MURRIETA, CALIFORNIA, DOES HEREBY
RESOLVE AS FOLLOWS:**

Section 1. That the above recitals are all true and correct and incorporated herein by this reference.

Section 2. That the assessments, as submitted and contained in the Engineer's Report, is hereby confirmed.

Section 3. That the annual levy of assessments for Fiscal Year 2025/26, in the amounts set forth in the Engineer’s Report and as referred to in the Resolution of Intention, is hereby approved.

Section 4. That the adoption of this Resolution constitutes the levy of the assessment for Fiscal Year 2025/26.

Section 5. That the estimates of costs of improvements, the assessment diagram, the assessments and all other matters, as set forth in the Engineer's Report, pursuant to said Act, are hereby approved, adopted and confirmed.

Section 6. That the maintenance works and improvements contemplated by the Resolution of Intention for Fiscal Year 2025/26 shall be performed pursuant to law.

Section 7. That the Auditor of the County of Riverside (County) shall enter on the County Assessment Roll the amount of the Assessments, and said assessments shall then be collected at the same time and in the same manner as the County taxes are collected. After collection by said County, the net amount of the assessment shall be paid to the City Treasurer of the City.

Section 8. That the City Treasurer has previously established a special fund known as:

CITY OF MURRIETA CONSOLIDATED LANDSCAPING AND LIGHTING DISTRICT

into which the City Treasurer shall place all monies collected by the Tax Collector pursuant to the provisions of this Resolution and to law and including any surplus amounts in those funds established for the Consolidated District, and said transfer shall be made and accomplished as soon as said monies have been made available to said City Treasurer.

Section 9. That the City Clerk is hereby ordered and directed to file the assessment roll with the County Auditor, together with a certified copy of this Resolution upon its adoption.

Section 10. That a certified copy of the Engineer's Report shall be filed in the office of the City Engineer, with a duplicate copy on file in the Office of the City Clerk and open for public inspection.

PASSED AND ADOPTED this 1st day of July, 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

City Attorney

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE)§
CITY OF MURRIETA)

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify that the foregoing Resolution No. 25-4865 was duly passed and adopted by the City Council of the City of Murrieta at the regular meeting thereof, held on the 1st day of July, 2025, and was signed by the Mayor of the said City, and that the same was passed and adopted by the following vote:

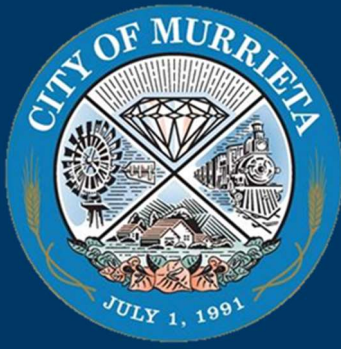
AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, City Clerk



City of Murrieta

Consolidated Landscaping and Lighting District

2025/2026 ENGINEER'S ANNUAL LEVY REPORT

Intent Meeting: May 6, 2025

Public Hearing: July 1, 2025

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ENGINEER'S REPORT AFFIDAVIT

Establishment of Annual Assessments for the:

Murrieta Consolidated Landscaping and Lighting District

City of Murrieta

Riverside County, State of California

This Report identifies the parcels within the District and relevant zones therein including the improvements, budgets, parcels, and assessments to be levied for fiscal year 2025/2026, as they existed at the time of the passage of the Resolution of Intention. Reference is hereby made to the Riverside County Assessor's parcel maps for a detailed description of the lines and dimensions of parcels within the District. The undersigned respectfully submits the enclosed Report as directed by the City Council.

Dated this 8th day of May, 2025.

Willdan Financial Services
Assessment Engineer
On Behalf of the City of Murrieta

By: Michelle Laase

Michelle Laase, Project Manager
District Administration Services

By: Tyrone Peter

Tyrone Peter
P.E. # C 81888

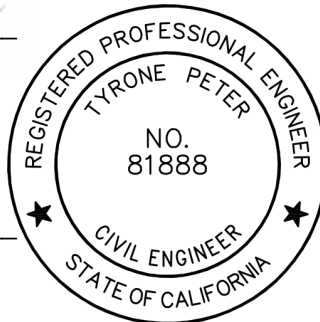


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I. OVERVIEW

A. INTRODUCTION

Since fiscal year 1999/2000 the City of Murrieta (hereafter referred to as “City”), under the provisions of the *Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code* (hereafter referred to as the “1972 Act”) has annually conducted a public hearing and levied assessments on the County tax roll for the maintenance and operation of landscaping and lighting improvements that benefit specific properties and developments within the City.

This Engineer’s Report (“Report”) for the **Murrieta Consolidated Landscaping and Lighting District** (hereafter referred to as the “Consolidated District”) has been prepared pursuant to Sections 22622 of the 1972 Act, and in accordance with Article 4 (commencing with Section 22565) of Chapter 1 of said Act. This Report provides a description of the Consolidated District and the benefit zones therein, as they existed at the time of the passage of the Resolution of Intention including proposed annexations or modifications to the Consolidated District, substantial changes to the improvements, and the proposed budgets and assessments for fiscal year 2025/2026 (July 1, 2025 through June 30, 2026). For fiscal year 2025/2026 the Consolidated District is organized into thirty-one (31) benefit zones (hereafter referred to as “Zones”) that have been established to identify variations in the nature, location, and extent of the improvements and the properties that benefit from those improvements pursuant to Section 22574 of the 1972 Act. In some cases, these Zones may be further divided into Sub-Zones to identify specific Zone improvements that benefit only certain properties. Both the Zones and Sub-Zones may hereinafter be referred to collectively as Zones unless a specific distinction between the Zone and its underlying Sub-Zones is required.

The proposed assessments described in this Report are based on the estimated costs associated with the regular annual maintenance, operation and servicing of the landscaping and lighting improvements within each Zone. The costs of providing the improvements are identified and budgeted separately for each Zone, including expenditures, deficits, surpluses, revenues, and reserves. The total cost of these improvements is proportionately spread to only the properties within each respective Zone based on a method of apportionment that reflects the direct and proportional special benefits to each property.

Prior to fiscal year 1999/2000, local landscaping and lighting improvements associated with new developments and various areas of the City were funded by rates and charges levied through the City’s Community Services District (“CSD”) and these specific local improvements are still provided for and funded through the CSD today. Although the City could have continued using the CSD as the mechanism for maintaining local landscaping and lighting improvements, it was recognized that the CSD was not the most efficient way to address the rapid development within the City. Therefore, between fiscal year 1999/2000 and fiscal year 2003/2004 the City formed various landscaping and lighting districts under the provisions of the 1972 Act and the California Constitution Article XIID, to address local improvements associated with these new developments. During this period of time, the City formed and conducted property owner protest ballot proceedings for fourteen (14) new districts and formed an additional three (3) districts as part of an annexation of territory to the City (Landscaping and Lighting District Numbers 1 through 16 and 18). These seventeen (17) assessment districts (hereafter referred to as “Original Districts”) incorporated specific improvements that were established as part of developing the properties within those *Original* Districts or were installed for the benefit of those properties and are summarized as:

- Landscaping and Lighting District Numbers 1 through 8 were formed prior to fiscal year 2003/2004 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID.

- Landscaping and Lighting District Numbers 10, 11 and 12 were formed in fiscal year 2002/2003 to convert pre-existing assessment districts administered by the County of Riverside or Valley-wide Park and Recreation District, when these areas were annexed into the City. Districts 10 and 12 were originally included in separate portions of County Service Area 143 and District 11 was part of County Service Area 103 and Valley-wide Park and Recreation District (One provided lighting and the other provided landscaping). Property owner approval proceedings for the assessments in each of these Districts had been previously conducted by the County of Riverside or Valley-wide Park and Recreation District, in compliance with the provisions of the California Constitution Article XIID, and were not changed nor required as part of the City's formation process.
- Landscaping and Lighting District Numbers 9 and 13 through 18 were formed in fiscal year 2003/2004 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID.

In fiscal year 2003/2004 the City consolidated the seventeen (17) Original Districts (Landscaping and Lighting District Numbers 1 through 16 and 18) into a single district pursuant to Section 22605 (d) of the 1972 Act and established the Murrieta Consolidated Landscaping and Lighting District. As part of the consolidation, the Original Districts were established as Zones, and any benefit zones within those Original Districts were established as Sub-zones. The consolidation was a necessary step toward reducing the administrative complexities of multiple reports and resolutions to be reviewed and adopted each year, but the consolidation did not directly impact or change the method of apportionment or the maximum assessment rates previously approved by the property owners.

- Landscaping and Lighting District Numbers 19 through 22 were formed in fiscal year 2004/2005 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID.
- Landscaping and Lighting District Numbers 17 and 19 were annexed into the Consolidated District as Zones 17 and 19 in Fiscal year 2004/2005 as Zones 17 and 19 respectively.
- Landscaping and Lighting District Numbers 20 through 22 were annexed into the Consolidated District in fiscal year 2005/2006 as Zones 20 through 22, respectively.
- Landscaping and Lighting District Number 23 (Creekside Village) was formed in fiscal year 2005/2006 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District 23 was annexed into the Consolidated District in fiscal year 2006/2007 as Zone 23
- Landscaping and Lighting District Number 24 (Springbrook) and Landscaping and Lighting District Number 25 (Alderwood – Formerly Golden Cities) were formed in fiscal year 2006/2007 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District Numbers 24 and 25 were annexed into the Consolidated District in fiscal year 2007/2008 as Zones 24 and 25, respectively. In fiscal year 2019/2020, Tract 32718 (Port Royal) was annexed into Zone 25A and added an additional 10 EBUs.
- Landscaping and Lighting District Number 26 was formed and Tract 32050 was annexed into Zone 18 in fiscal year 2007/2008 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District Number 26 was annexed into the Consolidated District as Zone 26.
- Landscaping and Lighting District Number 27 (Hunter's Ridge) was formed in fiscal year 2008/2009 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District Number 27 was annexed into the Consolidated District in fiscal year 2008/2009 as Zone 27.

- Landscaping and Lighting District Number 28 (Lantana) was formed and Tract 32266 was annexed in fiscal year 2011/2012 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District Number 28 was annexed into the Consolidated District as Zone 28.
- Landscaping and Lighting District Number 29 (Gallery Estates) was formed and Tract 34520 was annexed for fiscal year 2017/2018 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District Number 29 was annexed into the Consolidated District as Zone 29.
- Landscape and Lighting District Number 30 (Murrieta 64 – KB Homes) was formed and Tract 31467 was annexed for fiscal year 2019/2020 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District Number 30 was annexed into the Consolidated District as Zone 30.
- Landscape and Lighting District Number 31 (Willow Springs) was formed and Tract 36779 and PM 36733 were annexed for fiscal year 2024/2025 in conjunction with a property owner ballot proceeding conducted by the City in compliance with the provisions of the California Constitution Article XIID. Landscaping and Lighting District Number 31 was annexed into the Consolidated District as Zone 31.

The Consolidated District will be comprised of thirty-one (31) Zones, four (4) of which represent a total of thirteen (13) Sub-zones.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number (“APN”) by the Riverside County Assessor’s Office. The Riverside County Auditor/Controller uses APNs and specific Fund Numbers to identify on the tax roll properties assessed for special district benefit assessments.

The assessments for the Consolidated District and the Zones therein as described in this Report, have been prepared in accordance with the 1972 Act and in compliance with the provisions of the California Constitution Article XIID (hereafter referred to as the “Constitution”). The City Council annually conducts a noticed public hearing to accept property owner and public comments and testimony regarding the Consolidated District and assessments. Following consideration of public comments and written protests, the City Council may confirm the Report (as submitted or amended) and by resolution, order the levy and collection of assessments for the fiscal year as approved. The assessment information so approved will be submitted to the County Auditor/Controller and included on the property tax roll for each benefiting parcels.

B. COMPLIANCE WITH THE CURRENT LEGISLATION

In compliance with the provisions of the Constitution, property owner ballot proceedings have been conducted to approve and confirm the Maximum Assessments described in this Report. The proceedings and approval of the Maximum Assessment Rates and Assessment Range Formulas (inflationary factor) for Zones 1 through 9; Zones 13 through 16 and 18 were conducted by the City as part of the formation process of the original landscaping and lighting districts that were consolidated as part of the Consolidated District in fiscal year 2003/2004. The proceedings and approval of the Maximum Assessments and Assessment Range Formulas (inflationary factor) for Zones 10 and 12 were conducted by the County of Riverside as part of the establishment of these areas within County Service Area 143 (CSA 143). The improvements, boundaries, zones and assessments associated with these properties were converted to Zones 10 and 12 when these territories were annexed to the City in fiscal year 2002/2003.

Similarly, Zone 11 was formed in 2002/2003 when the improvements, boundaries, zones and assessments associated with these properties were annexed to the City. However, unlike Zones 10 and 12, the improvements and assessments associated with Zone 11 were originally levied and administered by two Agencies as two separate districts, one for lighting and one for landscaping. The lighting improvements were provided and assessed by the County of Riverside as part of County Service Area 103 (CSA 103). The landscaping improvements were provided and assessed by Valley-wide Park and Recreation District. Each held separate proceedings for the approval of Maximum Assessments and an Assessment Range Formula (inflationary factor) associated with the improvements and services provided in compliance with Article XIID before the territory was annexed to the City. In fiscal year 2002/2003 the City formed Zone 11 to assume the maintenance, administration and assessments associated with both the lighting and landscaping improvements. For Zone 11, the Maximum Assessment Rate and Assessment Range Formula (inflationary factor) reflects the combined lighting and landscaping assessments balloted and approved by the property owners.

The conversion of the Zones previously administered by the County of Riverside and Valley-wide Park and Recreation District to City administered landscaping and lighting districts and incorporated as Zones 10, 11 and 12 in the Consolidated District in fiscal year 2003/2004, did not change the assessments previously approved by the property owners including any inflationary adjustments authorized. Therefore, either through proceedings conducted by the City or another local agency, it has been determined that the assessments for these Zones identified in this Report as the Maximum Assessment Rates including the applicable inflationary adjustments, have been previously approved by the property owners pursuant to the provisions of the Constitution.

Since the formation of the Consolidated District in fiscal year 2003/2004, the following Zones have been annexed into the Consolidated District. The Maximum Assessment Rates and Assessment Range Formulas (inflationary factor) applicable to these Zones have been established pursuant to the 1972 Act and the provisions of the Constitution.

Zone	Description	Formed
17	Country Gate	July 11, 2003
19	Murrieta Oaks	March 16, 2004
20	Blackmore Ranch	June 1, 2004
21	Murrieta Springs	August 3, 2004
22	US Homes	August 3, 2004
23	Creekside Village	August 2, 2005
24	Springbrook	October 4, 2005
25	Alderwood (Golden Cities)	March 21, 2006
26	Murrieta Fields/Oakmont	August 17, 2007
27	Hunter's Ridge	June 17, 2008
28	Lantana	July 5, 2011
29	Gallery Estates	November 1, 2016
30	Murrieta 64 – KB Homes	November 6, 2018
31	Willow Springs	January 16, 2024

II. DESCRIPTION OF THE DISTRICT

A. ZONES AND SERVICES

The City annually levies and collects assessments in order to maintain and service specific improvements to be provided by the Consolidated District. For fiscal year 2025/2026, the Consolidated District consists of thirty-one (31) primary benefit zones, with Zones 10, 11, 12 and 25 being further defined by Sub-zones (thirteen (13) Sub-zones total). Each of the corresponding Zones and Sub-zones funds specific improvements that benefit the parcels within those Zones and Sub-zones.

The City annually levies special benefit assessments to ensure the ongoing maintenance, operation and servicing of local parks, landscaping, street lighting and associated appurtenances located within the public right-of-ways and dedicated easements installed in connection with development of parcels within the Consolidated District. The annual costs and expenses for which parcels are assessed may include, but are not limited to the materials, equipment, utilities, labor, administrative expenses and other incidental expenses or services necessary for the maintenance and operation of the Consolidated District improvements authorized under the provisions of the 1972 Act and provide special benefits to the parcels within the Consolidated District. The net costs associated with the improvements are equitably spread among benefiting parcels in proportion to a calculation of their special benefits. The improvements and the costs of those improvements are identified and budgeted separately for each Zone based on the planned services, operation, administration, and maintenance required to keep the improvements in a healthy, vigorous, and satisfactory condition including the estimated expenditures, deficits, surpluses, revenues, and fund balances for the fiscal year.

The improvements maintained by the Consolidated District and associated with each Zone vary, but may include the maintenance and servicing of: turf, ground cover, natural vegetation, shrubs and trees, hardscapes, irrigation systems, ornamental lighting, water features, monuments, recreational equipment and facilities, drainage systems, street lighting and associated appurtenances. The proposed improvements to be maintained and funded entirely or partially through the Consolidated District's assessments may include, but are not limited to:

- Parkway and median landscaping along the arterial and collector streets within and adjacent to each Zone;
- Landscaped slopes, entryways, retention basins or other landscaped areas directly associated with the properties or specific developments within the Zone;
- Parkway and perimeter landscaping adjacent and associated with specific properties or developments;
- Natural and passive parks, trails, fire breaks, wet lands, open space areas, channel-ways, and natural habitats that are maintained and/or abated with each Zone;
- Active parks including landscaping, lighting, equipment and facilities (i.e., playgrounds, tot-lots, ball fields, restrooms, sidewalks, landscaped areas and greenbelts) associated with the properties in the respective Zone;
- Public lighting facilities including street lighting, safety lights, traffic signals, lighting within the parks and other public areas of the Zone;
- Appurtenant facilities, equipment, materials and utilities related to the aforementioned improvements.

The estimated annual cost to provide and maintain the improvements within the Consolidated District shall be allocated to each property in proportion to the special benefits received. The Method of Apportionment described in this Report utilizes commonly accepted assessment

engineering practices and have been established pursuant to the 1972 Act and the provisions of the Constitution.

B. AUTHORIZED IMPROVEMENTS AND SERVICES (PURSUANT TO THE 1972 ACT)

As generally defined by the Landscaping and Lighting Act of 1972 and applicable to the Consolidated District, improvements and the associated assessments may include one or more of the following:

- The installation or planting of landscaping;
- The installation or construction of statuary, fountains, and other ornamental structures and facilities;
- The installation or construction of public lighting facilities including but not limited to streetlights and traffic signals;
- The installation of park or recreational improvements including but not limited to the following:
 - a) Land preparation, such as grading, leveling, cutting and filling, sod, landscaping, irrigation systems, sidewalks, and drainage;
 - b) Lights, playground equipment, play courts, and public restrooms;
 - c) The acquisition of land for park, recreational, or open-space purposes;
- The installation or construction of any facilities which are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof;
- The acquisition of any associated existing improvement;
- The maintenance or servicing of any of the foregoing including the furnishing of services and materials for the ordinary and usual maintenance, operation, and servicing of any improvement including, but not limited to:
 - a) Repair, removal, or replacement of improvements or any part thereof;
 - b) Grading, clearing, removal of debris, the installation or construction of curbs, gutters, walls, sidewalks, or paving, or water, irrigation, drainage, or electrical facilities;
 - c) Providing for the life, growth, health, and beauty of landscaping, including cultivation, irrigation, trimming, spraying, fertilizing, or treating for disease or injury;
 - d) The removal of trimmings, rubbish, debris, and other solid waste;
 - e) The cleaning, sandblasting, and painting of walls and other improvements to remove or cover graffiti;
 - f) Electric current or energy, gas, or other illuminating agent for any public lighting facilities or for the lighting or operation of any other improvements;
 - g) Water for the irrigation of any landscaping, the operation of any fountains, or the maintenance of any other improvements.
- Incidental expenses associated with the improvements including, but not limited to:
 - a) The cost of preparation of the report, including plans, specifications, estimates, diagram, and assessment;
 - b) The costs of printing, advertising, and the publishing, posting and mailing of notices;
 - c) Compensation payable to the County for collection of assessments;
 - d) Compensation of any engineer or attorney employed to render services;
 - e) Any other expenses incidental to the construction, installation, or maintenance and servicing of the improvements;

- f) Costs associated with any elections held for the approval of a new or increased assessment.

C. CONSOLIDATED DISTRICT ZONE DESIGNATIONS

The Zones within the Consolidated District in fiscal year 2025/2026 are outlined in the following table:

Zone Number	Zone Name
Zone #01	Copper Canyon
Zone #02	Grizzly Ridge
Zone #03	Cherry Street Business Park
Zone #04	Western Pacific Housing
Zone #05	Murrieta Ranchos
Zone #06	Fallsgrove
Zone #07	Copper Creek
Zone #08	Lincoln Ranch
Zone #09	Tapestry
Zone #10	
Sub-Zone A	Masters Collection
Sub-Zone B	Winchester Road
Sub-Zone C	Veranda
Zone #11	
Sub-Zone A	Highway 79
Sub-Zone B	Hunter Road
Zone #12	Warm Springs
Sub-Zone A	Tracts 29396, 29397, 29398, 29218, 23628, 28184, 23246 and 23246-1
Sub-Zone B	Tracts 23626, 23626-1, 23627, 23627-1, 23628-1 and 23628-2
Sub-Zone C	Tracts 28778 and 29144
Sub-Zone D	Tracts 29111 and 29111-1
Sub-Zone E	Tracts 23629 and 23629-1
Sub-Zone F	Tracts 29120, 28674, 28423 and 28733-1
Zone #13	Rancho Mira Mosa
Zone #14	Sycamore Ranch
Zone #15	Greer Ranch
Zone #16	Mapleton
Zone #17	Country Gate
Zone #18	Vineyards
Zone #19	Murrieta Oaks
Zone #20	Blackmore Ranch

Zone Number	Zone Name
Zone #21	Murrieta Springs
Zone #22	US Homes
Zone #23	Creekside Village
Zone #24	Springbrook/Murrieta Meadows
Zone #25	Alderwood (Formerly Golden Cities)
Sub-Zone A	Residential
Sub-Zone B	Commercial
Zone #26	Murrieta Fields / Oakmont
Zone #27	Hunters Ridge
Zone #28	Lantana
Zone #29	Gallery Estates
Zone #30	Murrieta 64 – KB Homes
Zone #31	Willow Springs

D. PLANS AND SPECIFICATIONS

The boundaries of each Zone, the location of improvements and special benefits received by the parcels are described in this section of the Report. The allocation of special benefit and general benefit from the various improvements are summarized in the Method of Apportionment section of this Report and are addressed in the budget for each Zone.

As applicable within each of the Zones or Sub-zones in the Consolidated District, the following improvements may include, but are not limited to:

Landscaping Improvements to be funded by the assessments may include, but are not limited to: turf; shrubs and plants; trees; ground cover (both hardscape and vegetation); weed and vector control; irrigation and drainage systems; ornamental lighting structures; related sidewalks, masonry walls or other fencing; entryway monuments or other ornamental structures and signs; labor and incidental expenses directly associated with the improvements and deemed necessary by the City for the ongoing maintenance and operation of the Zone and said improvements; and associated appurtenant facilities and utilities located within and associated with the District, as detailed for each Zone or Sub-Zone below.

Local Park and Recreational Improvements may include, but are not limited to, the maintenance and care of landscaping and facilities within designated local park and open space areas including trees, plant material, sod, irrigation systems, sidewalks, drainage facilities, weed control and other abatements, sport fields, courts, lights, playground equipment, play courts, public restrooms, signs, monuments, park lighting, or other public facilities, labor and incidental expenses directly associated with the improvements and deemed necessary by the City for the ongoing maintenance and operation of the Zone and said improvements; and associated appurtenant facilities and utilities. The parks and recreational facilities to be operated maintained and serviced as detailed for each Zone or Sub-Zone below.

Public Street Lighting Improvements may include, but are not limited to, electrical energy, lighting fixtures, poles, meters, conduits, electrical cable labor and incidental expenses directly associated with the improvements and deemed necessary by the City for the ongoing maintenance and operation of the Zone and said improvements; and associated appurtenant facilities and utilities associated as detailed for each Zone or Sub-Zone below.

The maintenance and servicing of the improvements generally include, but are not limited to all materials, equipment, utilities, labor and incidental expenses including administrative expenses required for the annual operation of the Zones or Sub-zones in the District as well as the performance of periodic repairs, replacement and expanded maintenance activities as needed to provide for the growth, health, and beauty of landscaping and/or the proper operation and functioning of lighting, irrigation and drainage systems. Detailed maps and descriptions of the location and extent of the improvements to be maintained are on file at the City in the Office of Community Services, and by reference are made part of this Report.

The estimated annual cost to provide and maintain the improvements within the Zone shall be allocated to each property in proportion to the special benefits received. The Method of Apportionment described in this Report utilizes commonly accepted assessment engineering practices and has been established pursuant to the 1972 Act and the provisions of the California Constitution.

Any portion of the flood control channel within the Zone that is dedicated to flood and drainage control is maintained through the Murrieta Community Services District rates and charges and is not included in the Zone assessments.

Zone #1 (Copper Canyon)

This Zone consists of lots, parcels and subdivisions of land located in the development area and specific plan known as “Copper Canyon” Tracts 28677-00 through 28677-14 and 30727. The Zone (Copper Canyon Specific Plan) covers approximately five hundred seventy-five (575) acres in the Northwest region of the City and is generally located:

- West of the easterly line of the Rancho Santa Rosa line, identified on the County Assessor’s Parcel Maps as the Rancho Temecula/Rancho Santa Rosa Boundary;
- Southwest of the boundary line identified on the County Assessor’s Parcel Maps as the La Laguna Boundary;
- East and Southeast of Clinton Keith Road and the existing gated community known as Bear Creek;
- South of the existing residential developments known as the Vineyard Knolls and the Spirit/Continental Tracts of the Bear Valley; and,
- Generally, North of the southern Murrieta City Limits (East of Cellar Springs Drive, excluding Assessor Parcel Numbers 904-050-046, 904-060-056, and 904-070-093) and North of Calle Rambla Orienta (West of Cellar Springs Drive).

The Zone is primarily comprised of single-family residential subdivisions with some commercial retail development and large areas of open space, trails and parks. The original development plan for the Zone is based on the Copper Canyon Specific Plan and includes:

- Two hundred sixty-five (265) acres of low/medium density single-family residential housing with eight hundred ninety-nine (899) residential units;
- Twenty-two (22) acres of retail commercial development, which was approved in fiscal year 2003/2004 to be re-zoned to residential development of eighty-three (83) single-family residential units;
- Eight (8) acres designated for a school site plus an additional joint use park area of approximately three (3) acres;
- Seven (7) acres designated for an active park site;
- Thirteen (13) acres of oak tree parks, passive parks and trails;
- Four (4) acres of landscaped slopes and streetscape easements;
- Two hundred fifty-four (254) additional acres of open space that includes fuel modification areas (firebreaks), detention basins, and water quality/wet land areas. (There has been some discussion of developing portions of the open space area as a golf course, but no changes to the original development plan have been made).

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

Approximately six acres (253,928 square feet) of parkway and median landscaping (Streetscape) including:

- Parkway landscaping along both sides of Calle Del Oso Oro from the eastern boundary of the Zone (Rancho Temecula/Rancho Santa Rosa line), to the westerly end of the planned residential development within the Zone (the eastern line of Tract 23880 — Continental Homes);

- Parkway landscaping along both sides of Cellar Springs from Calle Del Oso Oro south to the southern end of the planned residential development within the Zone (the northern line of the designated Open Space);
- Parkway landscaping along both sides of Via Moreno from Calle Del Oso Oro north to the northern end of the planned residential development within the Zone (the Northern Zone Boundary);
- Parkway landscaping along the south side of Calle Cipres from Calle Del Oso Oro south a distance of approximately 800 feet;
- Parkway landscaping along the southeast side of Clinton Keith Road from Calle Del Oso Oro southwesterly a distance of approximately 2,100 feet;
- Parkway landscaping along the southwest side of Calle Del Oso Oro from Clinton Keith Road southeasterly a distance of approximately 500 feet.
- Landscaped slopes totaling approximately fourteen acres (604,702 square feet) located in various locations throughout the Zone;
- Entry monuments located at the northern entrance to the Zone on Via Moreno, and the eastern and western entrances to the Zone on Calle Del Oso Oro that includes approximately 9,200 square feet of landscaping.

2. Park and Recreational Improvements

- Over nine acres (417,587 square feet) of active parkland including six acres (269,967 square feet) of dedicated City parkland plus three acres (147,620 square feet) of joint use parkland;
- Multiple oak-tree parks and passive parks located throughout the Zone totaling approximately ten acres (437,253 square feet);
- Landscaped passive parks and trails totaling 354,859 square feet (approximately eight acres) and fuel modification areas totaling 447,402 square feet (approximately ten acres) located between the developments (both residential and commercial) and dedicated open space areas;
- Portions of the dedicated open space areas including wet lands, habitat areas, trails, firebreaks and landscaped detention and retention basins (located primarily in the southern area of the Zone), totaling approximately 250 acres. (Those portions of the open space area related to flood and drainage control are maintained through the Murrieta Community Services District rates and charges and are not included in the Zone assessments).

3. Public Street Lighting Improvements

- Street lighting within the residential subdivisions identified as Tracts 28677-00 through 28677-14;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #2 (Grizzly Ridge)

This Zone consists of lots, parcels and subdivisions of land located in the development area known as the “Grizzly Ridge/Fiesta Development” Tracts 28333-01 through 28333-04 and 29069-01 and 29069-02. The Zone (Grizzly Ridge) covers approximately one hundred eleven (111) acres south of Interstate 15 within the City and is generally located:

- South of Jefferson Avenue;
- North of Washington Avenue;
- West of Nutmeg Street; and
- Generally East of Clinton Keith Road.

The Zone is comprised of two hundred ninety-six (296) single-family residential lots and various areas of landscaped easements, open space areas and other exempt properties associated with:

- Tract 28333-01 representing sixty-one (61) subdivided single-family residential parcels;
- Tract 28333-02 representing fifty-two (52) subdivided single-family residential parcels;
- Tract 28333-03 representing fifty-one (51) subdivided single-family residential parcels;
- Tract 28333-04 representing forty-eight (48) subdivided single-family residential parcels;
- Tract 29069-01 representing forty-five (45) subdivided residential parcels;
- Tract 29069-02 representing thirty-nine (39) subdivided single-family residential parcels;
- Nineteen (19) parcels totaling approximately ten (9.73) acres of landscaped slopes, open space, streetscape and exempt properties.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Parkway landscaping along both sides of Grizzly Ridge Drive that runs through the center of the development connecting Washington Avenue on the south to Jefferson Avenue on the north;
- Parkway landscaping on the south side of Jefferson Avenue along the entire length of Tracts 29069-01 and 29069-02 (the northern boundary of the Zone);
- Parkway landscaping on the north side of Washington Avenue along the entire length of Tracts 28333-01 through 28333-04 (the southern boundary of the Zone).
- 6.53 acres (296,208 square feet) of landscaped open space/slopes located throughout the Zone along Grizzly Ridge Drive. A large portion of these improvements are located between tracts 29069-01, 29069-02, and tracts 28333-01 through 28333-04 and are associated with entire residential development;
- 1.99 acres (90,169 square feet) of non-irrigated open space area located within the Zone.

2. Public Street Lighting Improvements

- Street lighting within the residential subdivisions identified as Tracts 28333-01 through 28333-04, Tract 29069-01 and Tract 29069-02;

- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #3 (Cherry Street Business Park)

This Zone consists of lots, parcels and subdivisions of land located in the development area known as the “Cherry Street Business Park” Parcel Map Number 28648. The Zone covers approximately seventeen (16.73) acres, generally located west of Jefferson Avenue, north of Cherry Street (the Murrieta City limits), east of Adams Avenue and south of Reagan Way. The Zone boundaries are specifically identified as:

- Northwest of Cherry Street centerline (Murrieta City Limit);
- Northeast of Adams Avenue centerline;
- Southeast of Reagan Way centerline;
- Generally Southwest of Jefferson Avenue (the Northeast boundary of Parcel Map 28648).

Parcels within the Zone are within the subdivided commercial/industrial development identified specifically as PM 28648. The commercial properties facing Jefferson Avenue located between Cherry Street and the parallel extension of the Reagan Way centerline are not part of this Zone. These individual property owners maintain the landscaping and lighting improvements associated with their properties. There are currently twenty-seven (27) assessable parcels in this Zone.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Parkway landscaping on the Northwest side of Cherry Street from the Northeast boundary of PM 28648 (the Northeast boundary of Zone) to Adams Avenue (approximately 18,678 square feet of landscaping);
- Parkway landscaping (Streetscape) on the Northeast side of Adams Avenue from the Cherry Street to Reagan Way (approximately 8,598 square feet of landscaping);
- Parkway landscaping (Streetscape) on the Southeast side of Reagan Way from the Adams Avenue to the Northeast end of Reagan Way (approximately 16,122 square feet of landscaping).

2. Public Street Lighting Improvements

- Four (4) streetlights on Cherry Street (Northwest side of the street);
- Two (2) streetlights on Adams Avenue (Northeast side of the street);
- Three (3) streetlights on Reagan Way (Southeast side of the street).
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #4 (Western Pacific Housing)

This Zone consists of lots, parcels and subdivisions of land located in the development area known as the “Western Pacific Housing” Tracts 27973, 27974, 29453 and 29545. The Zone covers approximately seventy-five (75) acres, generally located east of Interstate 215, west of

Margarita Road and south of Murrieta Hot Springs Road. The Zone is in the area commonly known as Warm Springs and is located:

- Southwest of the line located along Pinetree Lane and the Southwest boundary of the Warm Springs Housing Development;
- Northwest of the line located along Sugarberry Lane and Banyan Lane;
- Northeast of the centerline extension of Lincoln Avenue, the South west boundary of Tract 27974;
- Generally Southeast of Fig Street along the Northwest boundary of Tracts 27973, 27974, 29453 and 29545;
- Excluded from the Zone in the general boundaries described above, are the lots and parcels of land not specifically encompassed in Tracts 27973, 27974, 29453 and 29545.
- The Zone is comprised of two hundred seventy (270) single-family residential lots and various areas of landscaped easements associated with:
- Tract 27973 representing one hundred twenty-five (125) subdivided single-family residential parcels;
- Tract 27974 representing one hundred fifteen (115) subdivided residential parcels and five acres (5.24 acres) of open space/Common area identified as parcel 916-241-015;
- Tract 29545 representing six (6) subdivided residential parcels;
- Tract 29453 representing twenty-four (24) subdivided residential parcels.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Parkway and perimeter landscaping on the Northwest side of Sugarberry Lane adjacent to the boundaries of tracts 27974 and 29453 (approximately 7,034 square feet of landscaping);
- Parkway and perimeter landscaping on the Northwest side of Banyan Lane adjacent to the boundaries of tract 27973 (approximately 1,710 square feet of landscaping);
- Parkway and perimeter landscaping on the Southwest side of Pinetree Lane and Hancock Avenue adjacent to the boundaries of tract 27973 (approximately 436 square feet of landscaping).
- Landscaped slopes adjacent to the residential properties located on the West and Southwest boundaries of tract 27974 (approximately 59,474 square feet of landscaped slopes);
- Landscaped slopes adjacent to the residential properties located on the Northwest boundaries of tract 27974 (approximately 13,015 square feet of landscaped slopes);
- Landscaped slopes adjacent to the residential properties located on the Northwest boundaries of tract 27973 (approximately 35,560 square feet of landscaped slopes);
- Landscaped slopes adjacent to the residential properties located on the Northeast boundaries of tract 27973 (approximately 46,269 square feet of landscaped slopes);
- Landscaped slopes adjacent to the residential properties located on the Southeast boundaries of tract 27973 between Sugarberry Lane and Banyan Lane (approximately 10,164 square feet of landscaped slopes).

2. Park and Recreational Improvements

- Lights, playground equipment, play courts, and public restrooms;
- The acquisition of land for park, recreational, or open-space purposes; and said improvements.

3. Public Street Lighting Improvements

- Public street lighting within the residential subdivisions identified as Tracts 27973, 27974, 29453 and 29545;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #5 (Murrieta Ranchos)

This Zone consists of lots, parcels and subdivisions of land located in the development area known as the “Murrieta Ranchos — Curtis Development” Tracts 28993-01, 28993-02, 28993-03 and 28993-04. The Zone covers approximately seventy-nine acres (78.66 acres), generally located:

- Southwest of Washington Avenue;
- Northwest of Nighthawk Way (the Northwest extension of Magnolia Street) and Northwest of Murrieta Valley High School;
- Generally Northeast of Hayes Avenue, but also includes four planned lots of Tract 28993-04 located Northwest of Hayes Avenue;
- Generally Southeast of Nutmeg Street along a line approximately 1250 feet Southeast of Nutmeg Street that parallels Nutmeg Street.

The Zone is comprised of one hundred sixty-one (161) single-family residential lots and various areas of landscaped easements associated with Tracts 28993-01 through 28993-04. The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 10,030 square feet of parkway perimeter landscaping adjacent to the boundaries of Tracts 28993-01 through 28993-04 along the Southwest side of Washington Avenue, extending the length of the development from Nighthawk Way a distance of approximately 1,286 linear feet;
- Approximately 29,373 square feet of parkway and slope perimeter landscaping adjacent to the boundaries of Tracts 28993-01 through 28993-04 along the Northwest side of Nighthawk Way, extending the length of the development from Washington Avenue to Hayes Avenue, a distance of approximately 2,590 linear feet.

2. Public Street Lighting Improvements

- Public street lighting within the residential subdivisions identified as Tracts 28993-01 through 28993-04;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #6 (Falls Grove)

This Zone consists of lots, parcels and subdivisions of land located in the development area known as the “Falls Grove — Pacific Century Homes” Tracts 29026 and 29717. The Zone covers approximately forty-four acres (44.07 acres) and is generally located:

- East of Interstate Highway 215 and north of Los Alamos Road, but more specifically;
- Both the east and west sides of Whitewood Road at the intersection of Busman Road;
- North and east of the Temecula Rancho Line;
- North and west of Los Alamos Road;
- West of Ruth Ellen Way;
- Specifically not included within the Zone, but within the general boundary described herein is 11.28 acres not specifically incorporated into Tracts 29026 and 29717.

The Zone is comprised of one hundred fifty-five (155) single-family residential lots and various areas of landscaped easements associated with:

- Tract 29026 representing one hundred thirty-one (131) subdivided single-family residential parcels and three (3) parcels designated as open space;
- Tract 29717 representing twenty-four (24) subdivided residential parcels and two (2) parcels designated as open space.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 2,145 square feet of parkway landscaping adjacent to the boundaries of Tract 29026 along the Southeast side of Whitewood Road, extending the length of the development;
- Approximately 5,270 square feet of parkway landscaping adjacent to the boundaries of Tract 29717 along the Northwest side of Whitewood Road, extending the length of the development;
- Approximately 3,367 square feet of parkway landscaping within the boundaries of Tract 29026 along Busman Road within the boundaries of the Zone;
- Approximately 7,094 square feet of parkway landscaping adjacent to the boundaries of Tract 29026 along the West side of Ruth Ellen Way, extending the length of the development.
- Approximately 20,104 square feet of perimeter and slope landscaping within the boundaries of Tract 29026 and 29717, including portions of flood channel landscaping.

2. Public Street Lighting Improvements

- Public street lighting within the residential subdivisions identified as Tracts 29026 and 29717;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #7 (Copper Creek)

This Zone consists of lots, parcels and subdivisions of land located in the development known as the “Copper Creek — Continental Homes” Tract 29602. The Zone covers approximately sixty-three acres (62.59 acres), generally located:

- Southwest of Washington Avenue;
- Generally Northwest of Nighthawk Way and directly Northwest of the residential subdivision known as Murrieta Ranchos Tract 28993, also known as Murrieta Landscaping and Lighting Zone Number 05;
- Generally East of Murrieta Creek, but inclusive of Murrieta Creek between the northern and southern boundaries of the development; and
- Generally Southeast of Calle Del Oso Oro along a line parallel to Nutmeg Street (which has been abandoned).

The Zone is comprised of one hundred eighty-two (182) single-family residential lots and various areas of landscaped easements associated with Tract 29602 including a portion of the Murrieta Creek and a well site. The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 5,861 square feet of parkway and slope landscaping adjacent to the boundaries of Tract 29602 along the Southwest side of Washington Avenue, extending the length of the development from the Murrieta Ranchos development to approximately fifty feet north of Jerry Allen Way;
- Approximately 17,031 square feet of parkway and slope landscaping within the boundaries of Tract 29602 along both sides of Jerry Allen Way between Washington Avenue and Wildwood Lane;
- Approximately 630 square feet of parkway landscaping adjacent to the well site within Tract 29602 on Hayes Avenue;
- Approximately 10,125 square feet of perimeter and slope landscaping within the boundaries of Tract 29602 along the Murrieta Creek.

2. Public Street Lighting Improvements

- Public street lighting within the residential subdivisions identified as Tract 29602;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #8 (Lincoln Ranch)

This Zone consists of lots, parcels and subdivisions of land located in the development area known as the “Lincoln Ranch — Richland Properties” Tracts 29217 and 30280 identified as Parcels 1, 2, 3 and A of Parcel Map Number 27379. The Zone covers approximately two hundred acres (207.47 acres) and is generally located:

- North and east of the Temecula Rancho Line;
- East of Interstate Highway 215;
- North of Los Alamos Road and the Falls Grove Development Tracts 29717 and 29026;

- West of Ruth Ellen Way;
- South of Clinton Keith Road;
- Specifically not included within the Zone, but within the general boundary described herein is 37.68 acres identified as Assessor's Parcel Number 900-040-024.

The Zone is comprised of four hundred seventy-nine (479) single-family residential lots and various areas of landscaped easements and open space areas identified as:

- Tract 29217-01 — One hundred fifty-three (153) subdivided single-family residential parcels and approximately two acres of designated open space;
- Tract 29217-02 — Seventy-seven (77) subdivided single-family residential parcels and approximately seventeen acres of designated open space;
- Tract 29217-03 — Two hundred eleven (211) subdivided single-family residential lots;
- Tract 30280-00 — Thirty-eight (38) subdivided single-family residential lots.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 115,610 square feet of streetscape (parkway/slope) landscaping within the public rights-of-way on both sides of Whitewood Road extending from the southern boundary of the Zone to the eastern boundary of the Zone and the west side of Hunter Road/Ruth Ellen Way from Whitewood Road south to the Zone boundary;
- Approximately 18,590 square feet of streetscape (parkway/slope) landscaping within the public rights-of-way on the various other streets within the boundaries of the Zone.
- Approximately 443,120 square feet of non-irrigated and approximately 361,850 square feet of irrigated open space/fuel modification areas directly adjacent to the subdivisions including portions of lots "M", "N" and "O" of tract 29217-1, lot "J" of tract 29217-2, and lot "N" of tract 29217-3;

2. Public Street Lighting Improvements

- Public street lighting within the residential subdivisions identified as Tracts 29217 and 30280;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #9 (Tapestry)

This Zone consists of lots, parcels and subdivisions of land located in the development area known as the "Granite Homes — Tapestry" Tracts 29403 and 29361. The Zone covers approximately forty-seven (47) acres and is generally located:

- Southwest of Jefferson Avenue;
- Northeast of Nutmeg Street (Except that portion of the open space area situated southwest of Nutmeg Street);
- Generally Northeast of Washington Avenue;
- Generally West of Magnolia;
- Generally East of Grizzly Ridge Drive.

The Zone is comprised of two residential tracts totaling one hundred one (101) single-family residential lots and various areas of landscaped easements and open space areas identified as:

- Tract 29403 — Eighty-two (82) subdivided single-family residential parcels;
- Tract 29361 — Nineteen (19) single-family residential parcels located southwest of Jefferson Ave and northwest of Tract 29403.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 127,056 square feet of parkway and rear slope landscaping within and adjacent to the residential parcels within both tracts 29403 and 29361 and appurtenant facilities, and structures associated with these improvements;
- Approximately 172,000 square feet of non-irrigated open space areas directly adjacent to the subdivisions including lot “L” of tract 29403 or portion thereof, and the undesignated open space area south of Nutmeg Street within the boundaries of the Zone;

2. Public Street Lighting Improvements

- Public street lighting within the residential subdivisions identified as Tracts 29403 and 29361;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #10 (Previously part of CSA 143)

This Zone consists of lots, parcels and subdivisions of land located in three residential subdivision areas known as Masters Collections (Tracts 24799 and 29250); Winchester Collections (Tracts 21560, 21560-1, 21560-2, 21560-3, 21560-4, 21957 and 23404); and Veranda (Tract 28460). The properties within this Zone were originally part of County Service Area 143 (CSA 143) and the County established the assessments for the various improvements associated with these developments. These properties were annexed to the City in fiscal year 2002/2003 and the improvements and assessments previously administered by CSA 143 were converted to a City administered landscaping and lighting district. The improvements and assessments associated with these parcels and subdivisions are now identified as three separate Sub-zones within Zone 10:

- Sub-zone A — Masters Collections three hundred twenty-seven (327) single-family residential lots;
- Sub-zone B — Winchester Collections two hundred twenty-five (225) single-family residential lots;
- Sub-zone C — Veranda one hundred eighty-three (183) single-family residential lots.

This Zone and the Sub-zones therein are generally located north of Hunter Road and west of Winchester Road and south of La Alba Drive. The properties within the Zone include primarily single-family residential subdivisions, landscape easements and dedicated parkland.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

Sub-Zone A — Masters Collections

1. Landscape Improvements

- Approximately 156,129 square feet of streetscape landscaping (parkways, entryways, and medians) within and adjacent to the subdivisions of Sub-zone A.

2. Park and Recreational Improvements

- Approximately 168,151 square feet of active parkland (Shady Maple Park).

3. Public Street Lighting Improvements

- Public street lighting within Tracts 24799 and 29250;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-Zone B — Winchester Collections

1. Landscape Improvements

- Approximately 73,384 square feet of streetscape landscaping (parkways, entryways, and medians) within and adjacent to the subdivisions of Sub-zone B.

2. Park and Recreational Improvements

- Approximately 32,996 square feet of active parkland within Sub-zone B.

3. Public Street Lighting Improvements

- Public street lighting within Tracts 21560, 21560-2 and 23404;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-Zone C — Veranda

1. Landscape Improvements

- Approximately 10,537 square feet of streetscape landscaping (parkways, entryways, and medians) within and adjacent to the subdivisions of Sub-zone C.

2. Public Street Lighting Improvements

- Public street lighting within Tract 28460;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Zone #11 (Previously part of VRPD and CSA 103)

This Zone consists of lots, parcels and subdivisions of land located within five single-family residential developments identified as Tracts 27348, 24159-00, 24159-01, 24159-02 and 24159-03. The properties within this Zone were originally part of Valley-wide Recreation and Park District (VRPD) for landscape improvements and County Service Area 103 (CSA 103) for street lighting and the assessments for the various improvements associated with these developments were established by these agencies. These properties were annexed to the City in fiscal year 2002/2003 and the improvements and assessments previously administered by these agencies were converted to a City administered landscaping and lighting district. The

improvements and assessments associated with these various parcels and subdivisions are now identified as two separate Sub-zones within Zone 11:

- Sub-zone A — Highway 79 (Tracts 27348 and 24159-01);
- Sub-zone B — Hunter Road (Tracts 24159, 24159-02 and 24159-03).

This Zone and the Sub-zones therein are generally located south of Hunter Road and west of Winchester Road. The properties within the Zone include a total of two hundred seventy-six (276) single-family residential parcels and landscape easements identified as:

- Sub-zone A — Tract 27348 includes one hundred twelve (112) single-family residential parcels and Tract 24159-01 includes seven (7) single-family residential parcels;
- Sub-zone B —, Tract 24159 includes ninety-three (93) single-family residential parcels; Tract 24159-02 includes twelve (12) single-family residential parcels; and Tract 24159-03 includes fifty-two (52) single-family residential parcels.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

Sub-zone A — Highway 79

1. Landscape Improvements

- Approximately 78,487 square feet of parkway, entryway, and median landscaping (Streetscape) associated with the development of properties within Tracts 27348 and 24159-01 (Sub-zone A).

2. Public Street Lighting Improvements

- Public street lighting within Tracts 27348 and 24159-01;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-zone B — Hunter Road

1. Landscape Improvements

- Approximately 25,960 square feet of parkway, entryway, and median landscaping (Streetscape) associated with the development of properties within Tracts 24159, 24159-02 and 24159-03 (Sub-zone B).

2. Park and Recreational Improvements

- Approximately 171,218 square feet of active parkland associated with the development of properties within Tracts 24159, 24159-02 and 24159-03 (Sub-zone B).

3. Public Street Lighting Improvements

- Public street lighting within Tracts 24159, 24159-02 and 24159-03;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Zone #12 (Warm Springs)

This Zone consists of lots, parcels and subdivisions of land located within specific residential subdivisions in the area commonly referred to as the Warm Springs Area. The properties within

this Zone were originally part of County Service Area 143 (CSA) and the County established the assessments for the various improvements associated with these developments. These properties were annexed to the City in fiscal year 2002/2003 and the improvements and assessments previously administered by CSA 143 were converted to a City administered landscaping and lighting district. The improvements and assessments associated with these parcels and subdivisions are now identified as six separate Sub-zones within Zone 12:

- Sub-Zone A — Tracts 29396, 29397, 29398, 29218, 23628, 28184, 23246 and 23246-1;
- Sub-Zone B — Tracts 23626, 23627, 23627-1, 23628-1 and 23628-2;
- Sub-Zone C — Tracts 28778 and 29144;
- Sub-Zone D — Tracts 29111 and 29111-1;
- Sub-Zone E — Tracts 23629 and 23629-1;
- Sub-Zone F — Tracts 29120, 28674, 28423 and 28733.

This Zone and the Sub-zones therein are generally located south of Murrieta Hot Springs Road and west of Winchester Road along the Margarita Road corridor. The properties within the Zone include a total of one thousand nine hundred seven (1,907) assessable single-family residential parcels, 60 landscape easements and parkland parcels.

- Sub-zone A — Tracts 29396, 29397, 29398, 29218, 23628, 28184, 23246 and 23246-1 includes nine hundred one (901) single-family residential lots;
- Sub-zone B — Tracts 23626, 23627, 23627-1, 23628-1 and 23628-2 includes four hundred eighteen (418) single-family residential parcels;
- Sub-zone C — Tracts 28778 and 29144 includes one hundred sixty-seven (167) single-family residential parcels;
- Sub-zone D — Tracts 29111 and 29111-1 includes one hundred twenty-five (125) single-family residential parcels;
- Sub-zone E — Tracts 23629 and 23629-1 includes one hundred eight (108) single-family residential parcels;
- Sub-zone F — Tracts 29120, 28674, 28423 and 28733 includes one hundred eighty-eight (188) single-family residential parcels.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments include the acquisition of land and construction of Torrey Pines Park. The park consists of eight (8) acres of open turf, ball fields, a Tot Lot and a shade shelter with picnic tables. The park is located at Torrey Pines Rd and Silver Oaks Drive and was completed in fiscal year 2011/2012. The Zone improvements may include, but are not limited to the following:

Sub-zone A

1. Landscape Improvements

- Approximately 149,371 square feet of streetscape landscaping (parkways, entryways, and medians) associated with Tracts 29396, 29397, 29398, 29218, 23628, 28184, 23246 and 23246-1 of Sub-zone A.

2. Public Street Lighting Improvements

- Public street lighting within Tracts 29218, 23628, 28184, 23246 and 23246-1;

- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-zone B

1. Landscape Improvements

- Approximately 75,817 square feet of streetscape landscaping (parkways, entryways, and medians) associated with Tracts 23626, 23627, 23627-1, 23628-1 and 23628-2 of Sub-zone B.

2. Park and Recreational Improvements

- Approximately 171,218 square feet of active parkland in Zone B.

3. Public Street Lighting Improvements

- Public street lighting within Tracts 23626, 23627, 23627-1, 23628-1 and 23628-2;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-zone C

1. Landscape Improvements

- Approximately 85,025 square feet of streetscape landscaping (parkways, entryways, and medians) associated with Tracts 28778 and 29144 of Sub-zone C.

2. Public Street Lighting Improvements

- Public street lighting within Tracts 28778 and 29144;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-zone D

1. Landscape Improvements

- Approximately 102,180 square feet of streetscape landscaping (parkways, entryways, and medians) associated with Tracts 29111 and 29111-1 of Sub-zone D.

2. Public Street Lighting Improvements

- Public street lighting within Tracts 29111 and 29111-1;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-zone E

1. Landscape Improvements

- Approximately 68,190 square feet of streetscape landscaping (parkways, entryways, and medians) associated with Tracts 23629 and 23629-1 of Sub-zone E.

2. Public Street Lighting Improvements

- Public street lighting within Tracts 23629 and 23629-1;

- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Sub-zone F

1. Landscape Improvements

- Approximately 62,674 square feet of streetscape landscaping (parkways, entryways, and medians) associated with Tracts 29120, 28674, 28423 and 28733 of Sub-zone F.

2. Public Street Lighting Improvements

- Public street lighting within Tracts 29120, 28674, 28423 and 28733;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated with properties in the Sub-zone.

Zone #13 (Rancho Mira Mosa)

This Zone consists of lots, parcels and subdivisions of land located in the development known as “Rancho Mira Mosa” Tracts 23486, 23486-1, 23486-2, 23486-3, and 23486-4. The Zone is generally located north of Hunter Road and west of Winchester Road. The Zone is comprised of five hundred twenty-two (522) subdivided single-family residential lots, and twenty-four (24) landscape easements, parkland and open space area parcels.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Parkway landscaping along the north side of Hunter Road and along Via Mira Mosa and one landscaped median on Via Mira Mosa by Hunter Road;
- Inter-parcel landscaping between two parcels east of Calle Lucia and between two parcels east of Sprucewood Lane.
- Slope area along the north side of Hunter Road;
- Slope area along the west side of Calle Andras between the parcels south of Broken Arrow Drive and north of Smokewood Drive;
- Slope area along the east boundary of the natural open space in the northwest section of the Zone boundary;
- Slope area along the southern side of Calle Andras;
- Slope area on the west side of the seven parcels below the reservoir site in the southwest corner of the Zone.

2. Park and Recreational Improvements

- The maintenance of Mira Mosa Park in the north eastern boundary of the Zone east of Via Mira Mosa and north of Calle Andras, including:
- Lighting, equipment and facilities (i.e., tot-lot, ball field, restrooms, drinking fountain, sidewalks, landscaped areas and greenbelts);
- Park slope landscaping totaling approximately 37,225 square feet;
- Park turf landscaping totaling approximately 288,731 square feet.

3. Public Street Lighting Improvements

- Public street lighting within Tracts 23486, 23486-1, 23486-2, 23486-3, and 23486-4;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #14 (Sycamore Ranch)

The Zone consists of lots, parcels and subdivisions of land located in the development known as “Sycamore Ranch” Tract 23187. The Zone is generally located southwest of Washington Avenue, north of Calle Del Oro Oso and southeast of Clinton Keith Road. The Zone is comprised of three hundred (300) single-family residential lots, and four (4) parcels comprising landscape easements and landscaped areas associated with the adjacent flood control channel.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Parkway landscaping along the southwest side of Washington Avenue, along the north side of Calle Del Oro Oso;
- Parkway landscaping along the entrances to Carlie Drive, Alexandra Drive, and Applewood Place;

2. Public Street Lighting Improvements

- Public street lighting within Tract 23187;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #15 (Greer Ranch)

The Zone consists of lots, parcels and subdivisions of land located in the development known as “Greer Ranch” Tracts 29640-1, 29640-2, 29640-3, 29640-4, 29640-5, 29640-6, 29640-7, 29640-8, 29640-9, and 29640-10. The Zone is generally located north of Clinton Keith Road, east of Interstates 15 and west of Highway 215 within City limits. The Zone is currently comprised of six hundred ninety-three (693) single-family residential lots and various landscape easements.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Streetscape landscaping totaling approximately 58,425 square feet along the Greer Road West right-of-way and the Greer Road East right-of-way.
- Slope landscaping totaling approximately 172,523 square feet along Nutmeg and Greer Road West.

Zone #16 (Mapleton)

The Zone consists of lots, parcels and subdivisions of land located in the development area known as “Mapleton” Tracts 28533-1 through 28533-10. The Zone is generally located south of Scott Road, north of Keller Road and east of Antelope Road. At the time this report was prepared, the County assessment roll indicates that the Zone is currently comprised of nine hundred forty-two (942) subdivided single-family residential lots and various landscaped easements and a neighborhood park.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 239,657 square feet of streetscape landscaping including the parkway landscaping along Mapleton Street, Menifee Road, Gladiolus Street, Poinsettia Street, and Keller Road at the entrance to Gladiolus Street.
- Irrigated drainage totaling approximately 693,335 square feet identified as Channel drainage along the northern boundary of the Zone and north of the neighborhood park.

2. Park and Recreational Improvements

- Neighborhood park and open space maintenance landscaping totaling approximately 459,606 square feet located south of Mapleton Street and north of Poinsettia Street and include landscaping, lighting, equipment and facilities (i.e., soccer field, baseball field, basketball court, sand volleyball court, amphitheater, picnic areas, concession stand and restroom facility);

3. Public Street Lighting Improvements

- Public street lighting within Tracts 28533-1 through 28533-10;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #17 (Country Gate)

The Zone consists of lots, parcels and subdivisions of land located in the development area known as “Country Gate” (Tracts 30273 and 31167) and Kenton Place (Tracts 30954 and 31956) which was annexed to this Zone in Fiscal Year 2008/09. The Zone is generally located south of Interstate 15, north of Washington Ave and west of Magnolia Street. The Zone is comprised of two hundred six (206) single-family residential lots and various landscape easements.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Streetscape maintenance along the streets within the Zone;
- Open space landscaping west of Nutmeg Street and north of Adams Avenue;

2. Public Street Lighting Improvements

- Public street lighting within Tracts 30273, 30954, 31167, and 31956;

- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #18 (Vineyards)

The Zone consists of the lots, parcels and subdivisions of land located in the development known as the "Vineyards" Tract 28903 and "Santa Rosa Estates" Tract 32050. The Zone is generally located east of Clinton Keith Road, south of Jefferson Avenue and west of Ivy Street. At the writing of this Report, the zone is comprised of one hundred twenty-two (122) subdivided single family residential parcels, eight (8) easement and open space parcels and twelve (12) vacant parcels that have not been fully subdivided but are planned to include an additional nine hundred sixty-nine (969) single-family residential parcels with various landscape easements, neighborhood parks and open space areas. Due to current development limitations, it has been determined that the twelve vacant parcels do not have access or a direct benefit from the improvements to be maintained for fiscal year 2025/2026 and only the existing subdivided single-family residential parcels receive special benefit from the Zone improvements. Therefore, for the purpose of calculating the assessments and the apportionment of special benefit, the twelve vacant parcels have been identified as "Special Case Parcels" and will not be assessed unless there is a change in the current development limitations.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Parkway landscape maintenance totaling approximately 413,042 square feet along the streets within the Zone excluding the private streets in the western portion of the Zone.
- Slope landscaping totaling approximately 2,707,643 square feet along most of the western portion of the Zone and other smaller portions of the remaining areas of the Zone.
- Streetscape maintenance areas located along Hayes Avenue and Vineyard Parkway, totaling approximately 28,747 square feet.

2. Park and Recreational Improvements

- Neighborhood park and open space landscaping totaling approximately 474,370 square feet located north of Kalmia and west of the Murrieta Creek area.

3. Public Street Lighting Improvements

- Public street lighting within Tracts 28903 and 32050;
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #19 (Murrieta Oaks)

The Zone consists of lots, parcels and subdivisions of land located in the subdivision area known as Murrieta Oaks, Tract 29448. The Zone is generally located south of Catt Road and west of State Highway 215. The Zone is comprised of five hundred thirty-eight (538) single-family residential lots and various landscape easements, neighborhood park and open space areas.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Streetscape maintenance located along: Burr Oaks Avenue, Carleton Oaks Street, Catt Road, Chittam Wood Place, Clinton Keith Road, Desert Willow Street, Greer Road, Laurelwood Avenue, Murrieta Oaks Avenue, Oak Glen Street, Pinyon Street, Silver Oak Terrace Place, Sweetspire Terrace Place, Thousand Oaks Place and Wax Myrtle Place;
- Irrigated slopes located throughout the Zone;
- Open space maintenance north of Carlton Oaks Street, north of Clinton Keith Road, north of Sweetspire Terrace Place, south of Clove Currant Lane, southeast of Thousand Oaks Place, and in the southern corner of the Zone;

2. Park and Recreational Improvements

- Park maintenance including landscaping, lighting, equipment and facilities (i.e., tot-lot, double basketball hoop, small amphitheater, park benches and shade structure) at the neighborhood park located north of Carlton Oaks Street and east of Murrieta Oaks Avenue;
- Park maintenance including landscaping, lighting, equipment and facilities (i.e., tot-lot, bench, shade structure, turf, trees and shrubs) at the pocket park located south of Sweetspire Terrace Place and Clove Current Lane;

3. Public Street Lighting Improvements

- Street lighting facilities within the Tract 29448; and,
- Public street lighting, traffic signals and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #20 (Blackmore Ranch)

The Zone consists of lots, parcels and tracts of land located in the subdivision area known as Blackmore Ranch. The subdivision contains the following single-family residential tracts: 24274, 24274-1 and 30867. The Zone is generally North of Clinton Keith Road, East of Interstate 15 and West of Interstate 215. The properties within the Zone include one hundred seventy-one (171) single-family residential parcels and various slopes, open space areas and one park.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 104,772 square feet of streetscape maintenance located along the residential streets located within the Zone;
- Irrigated slopes totaling approximately 581,874 square feet located throughout the Zone;

2. Park and Recreational Improvements

- Park maintenance of approximately 50,350 square feet including landscaping, lighting, equipment and facilities at a neighborhood park located within the Zone;

3. Public Street Lighting Improvements

- Street lighting facilities within the Zone; and
- Appurtenant facilities, equipment, materials and utilities related to the aforementioned improvements.

Zone #21 (Murrieta Springs)

The Zone consists of lots, parcels and tracts of land located in the subdivision area known as Murrieta Springs. The subdivision contains the following single-family residential tract 29707. The zone is generally located West of Winchester Road, North of Hunter Road. The properties within the Zone include seven hundred sixty-six (766) single-family residential parcels, seven (7) commercial parcels, and various parkways, slopes, open space areas and three parks.

The improvements installed as part of the development of properties within this Zone or for the benefit of those properties and to be maintained and funded entirely or partially through annual special benefit assessments may include, but are not limited to the following:

1. Landscape Improvements

- Approximately 245,545 square feet of streetscape maintenance located along the residential streets located within the Zone;
- Irrigated slopes totaling approximately 595,556 square feet located throughout the Zone;

2. Park and Recreational Improvements

- Park maintenance including landscaping, lighting, equipment and facilities of 193,869 square feet of neighborhood park located within the Zone;

3. Public Street Lighting Improvements

- Street lighting facilities within the Zone; and
- Appurtenant facilities, equipment, materials and utilities related to the aforementioned improvements.

Zone #22 (US Homes)

The Zone consists of lots, parcels and tracts of land located in two subdivision areas known as US Homes. The subdivisions contain the following single-family residential tracts 30690 (LLD 22A) and 30691 (LLD 22B). Tract 30690 is generally located North of Robert Trent Jones Parkway, South of Hunter Road, East of Masters Drive and West of Highway 79 North (Winchester Road). Tract 30691 is generally located North of Murrieta Hot Springs Road, South of Robert Trent Jones Parkway, East of Masters Drive and West of Highway 79 North (Winchester Road). The properties within the Zone include one hundred six (106) single-family residential parcels, parkways, slopes, and open space areas.

The purpose of the Zone is to ensure the ongoing maintenance, operation and servicing of street lighting improvements installed in connection with the development of parcels within the Zone. A private homeowner's association related to each tract will maintain local landscaping improvements. These improvements may include, but are not limited to, electrical energy, lighting fixtures, poles, meters, conduits, electrical cable, associated appurtenant facilities associated with:

1. Public Street Lighting Improvements

- Proposed maintenance of eleven (11) new streetlights within Tract 30690;

- Proposed maintenance of eight (8) new streetlights and two (2) relocated streetlights located within Tract 30691.
- Public street lighting and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #23 (Creekside Village)

This Zone consists of the lots, parcels and subdivisions of land within the planned development known as Creekside Village, Parcel Map Number 30737, which encompasses an area of land totaling approximately one hundred forty-five acres (145.13 acres).

This development includes two hundred eighty-nine (289) single-family residential home sites, and two hundred sixty-seven (267) condominium units. The previously proposed eleven-acre school site has been developed into eighty-three (83) of the two hundred sixty-seven (267) condominiums. This development is located generally southeast of Jackson Avenue and southwest of Murrieta Hot Springs Road in the City.

The purpose of this Zone is to ensure the ongoing maintenance, operation and servicing of local landscaping and lighting improvements established or installed in connection with development of residential properties within Parcel Map Number 30737. The improvements installed as part of this development and to be maintained and funded entirely or partially through the zone assessments generally include, but are not limited to the following:

1. Landscaping Improvements

- Open Space areas totaling approximately 187,885 square feet;
- Streetscape maintenance located along portions of the residential streets located within the Zone totaling approximately 198,271 square feet; and,
- Slope maintenance areas totaling approximately 102,961 square feet.

2. Local Park and Recreational Improvements

- Park maintenance including landscaping, lighting, equipment and facilities at a neighborhood park located within the zone totaling approximately 98,686 square feet.

3. Public Street Lighting Improvements

- The street lighting within the residential subdivisions within the zone; and,
- Public street lighting and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the zone.

Zone #24 (Springbrook/Murrieta Meadows)

This Zone consists of the lots, parcels and subdivisions of land within the planned development known as "Springbrook/Murrieta Meadows," Parcel Map Numbers 16205 and 9922, which encompasses an area of land totaling approximately twenty-five acres (25.21 acres).

This Zone has developed into one hundred eleven (111) single-family residential home sites, a 9,958 sq. ft. park, and 39,691 sq. ft. of streetscape. This planned development is located generally south of Keller Road, north of Brians Way, west of Menifee Road and east of Warner Lane.

The purpose of this Zone is to ensure the ongoing maintenance, operation and servicing of local landscaping and lighting improvements established or installed in connection with development of residential properties within Parcel Map Numbers 16205 and 9922. The

improvements installed as part of this development and to be maintained and funded entirely or partially through the zone assessments generally include, but are not limited to the following:

1. Landscaping Improvements

- Streetscape maintenance located along portions of the residential streets located within the zone totaling approximately 39,691 square feet.

2. Local Park and Recreational Improvements

- Park maintenance including landscaping, lighting, equipment and facilities at a neighborhood park located within the zone totaling approximately 9,958 square feet.

3. Public Street Lighting Improvements

- The street lighting within the residential subdivisions within the Zone; and,
- Public street lighting and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #25 (Alderwood – Formerly Golden Cities)

This Zone consists of the lots, parcels and subdivisions of land within the planned development known as Alderwood (formerly Golden Cities), Tentative Tract Map Number 28532, which encompasses an area of land totaling approximately two hundred thirty-seven (237) acres, and Tract 32718 which encompasses approximately four and one-half acres (4.49 acres.)

The development was planned to include at build-out: four-hundred ninety-five (495) single-family residential home sites on approximately 120 acres; 13.0 acres of neighborhood park; 64.6 acres of detention basin and open space area; a fire station site (4.23 acres); a business park site and a commercial site (34.6 acres). The completed 2019 annexation of Tract 32718 into Sub-zone A added an additional planned ten (10) single-family residential homes for a total of five-hundred five (505) single-family residential homes at build-out. This development is generally located east of I-215 and Antelope Road, west of Menifee Road, north of Baxter Road, and south of Keller Road and Brians Way. This Zone is entirely within the City and includes two Sub-zones of benefit generally described as:

- Sub-zone A — encompasses the five-hundred five (505) single-family residential properties within the zone. The residential properties within Sub-zone A receive special benefit and shall be proportionately assessed for the costs and expenses associated with maintaining and servicing the landscaping and lighting improvements provided by the Zone including various parkways and irrigated slopes within the street right-of-ways; irrigated parkways and slopes adjacent to the open space areas; the neighborhood park improvements and facilities; and the streetlights located throughout the Zone.
- Sub-zone B — encompasses the ten (10) non-residential properties of the zone along Antelope Road and Baxter Road, including the proposed 16.6-acre commercial site; the proposed 20.33-acre business park; and the 3.62-acre fire station site. These non-residential properties (Sub-zone B), receive special benefit and shall be proportionately assessed for the costs and expenses associated with maintaining and servicing the landscaping along Baxter Road between Antelope Road and Menifee Road including the parkways and irrigated slopes on both sides of the street from Antelope Road to Whitewood Road; the north side of the street from Whitewood Road to Menifee Road, and the irrigated slopes adjacent to the fire station. These non-residential properties also receive special benefit and shall be proportionately assessed for the costs and expenses associated with maintaining and servicing the irrigated slopes adjacent to the detention basin at the corner of Baxter Road and Southwood Avenue; and the public streetlights along Antelope Road and Baxter Road.

The purpose of this Zone is to ensure the ongoing maintenance, operation and servicing of the local neighborhood park; irrigated landscape improvements within the street right-of-ways and areas adjacent to the open space; as well as the street lighting established or installed in connection with development of residential and commercial properties within Tentative Tract Map Number 28532 and 32718. The improvements installed as part of this development and to be maintained and funded in whole or in part through the Zone assessments generally include, but are not limited to the following:

1. Landscape Improvements

Streetscape (parkway) landscaped areas within the public right-of-ways and dedicated to the City for maintenance totaling approximately 218,380 square feet of landscaped area that generally includes, but not limited to:

- Both sides of Baxter Road between Antelope Road and Whitewood Road. The costs and special benefits of these improvements are proportionally allocated to properties in both Sub-zone A and Sub-zone B;
- The north side of Baxter Road between Whitewood Road and Menifee Road. The costs and special benefits of these improvements are proportionally allocated to properties in both Sub-zone A and Sub-zone B;
- Both sides of Whitewood Road between Baxter Road and the northern boundary of Tract 28532-3 (the northern boundary of this zone). The costs and special benefits of these improvements are proportionally allocated to the residential properties within Sub-zone A; and
- Various parkway locations dispersed throughout the residential neighborhoods within the public rights-of-way between the street and open space access points, and the street and property line adjacent to the side-yard of corner lots, which may include but is not limited to locations on Southwood Avenue, Cottage Way, Merced Ranch Court, Desert Varnish Way, Oakwood Lane, Triple C Ranch Road, Midland Avenue, Star Jasmine Place, Silversprings Place, Teaberry Place, Ivy Springs Way, Cloud Way, Barnswallow Way, Carina Place, Dorado Lane, Bunchgrass Lane, Clearview Street, Harris Hawk Lane, Prairie Creek Place, Mountain Quail Place, Thistlewood Avenue, Falls View Way, Yellow Sage Court, Swordfern Place, Basketbrush Court, Faircrest Street, Coastal Sage Street, Meadowlark Lane, Ironwood Court, and Sweet Broom Lane. The special benefit cost and expenses associated with these improvements are proportionally allocated to the residential properties within Sub-zone A.

Irrigated slope areas within the public right-of-ways and dedicated to the City for maintenance totaling approximately 263,700 square feet of landscaped area that generally includes, but not limited to:

- The slopes located around the perimeter of the fire station lot. The costs and special benefits of this area are proportionally allocated to only the non-residential properties within Sub-zone B;
- The slopes adjacent to the parkways along both sides of Baxter Road between Antelope Road and Whitewood Road. The costs and special benefits of these improvements are proportionally allocated to properties in both Sub-zone A and Sub-zone B;
- The slopes adjacent to the parkways along the west side of Whitewood Road between Baxter Road and the northern boundary of this zone. The costs and special benefits of these improvements are proportionally allocated to the residential properties within Sub-zone A;
- The slopes adjacent to the parkways along both sides of Southwood Drive between Baxter Road and Triple C Ranch Road. The costs and special benefits of these

improvements are proportionally allocated to the residential properties within Sub-zone A;

- The slopes adjacent to the parkways along both sides of Clearview Drive between Whitewood Road and Prairie Creek Place. The costs and special benefits of these improvements are proportionally allocated to the residential properties within Sub-zone A;
- The slopes adjacent to the parkways along both sides of Meadowlark Lane between Whitewood Road and the northern boundary of the Zone. The costs and special benefits of these improvements are proportionally allocated to the residential properties within Sub-zone A;
- The slopes adjacent to the parkways along both sides of Meadowlark Lane between Whitewood Road and the northern boundary of the Zone. The costs and special benefits of these improvements are proportionally allocated to the residential properties within Sub-zone A; and
- Various slopes dispersed throughout portions of the residential development including slope areas adjacent to various street parkways, downward slopes between the residential lots and the open space areas, and the slopes adjacent to the neighborhood park. The costs and special benefits of these improvements are proportionally allocated to the residential properties within Sub-zone A.

2. Park and Recreational Improvements

A local neighborhood park site located on the northeast corner of Baxter road and Whitewood Road will be maintained within the Zone. The park site encompasses a total area of approximately 261,200 square feet that may include but is not limited to:

- Various landscape amenities including trees, plant material, sod, irrigation systems, sidewalks and drainage facilities; and
- Various recreational facilities that may include ball fields, playground equipment, play courts, public restrooms, signs and associated appurtenant.

The costs and special benefits of the park and recreational facilities to be operated, maintained and serviced are proportionally shared by the residential properties within Sub-zone A.

3. Public Street Lighting Improvements

- Public streetlights on each of the streets within and adjacent to the properties within the Zone including arterial streets, collector streets and residential streets; and,
- Lighting facilities within the neighborhood park including, ornamental lighting, security lighting and recreational lighting for the ball fields and courts.

The costs and special benefits of the various public lighting improvements are proportionally allocated to properties within both Sub-zone A and Sub-zone B of the zone.

Zone #26 (Murrieta Fields / Oakmont)

This Zone consists of the lots, parcels and subdivision of land within the development known as Murrieta Fields/Oakmont, Tract Number 31168, which encompasses an area of land totaling approximately eighteen acres (17.8 acres).

This development includes ninety-six (96) single-family residential home sites and 10,451 sq. ft. of streetscape. This development is located generally south of Keller Road, north of Brians Way, west of Menifee Road and east of Meadowlark Lane.

The purpose of this Zone is to ensure the ongoing maintenance, operation and servicing of local landscaping and lighting improvements established or installed in connection with

development of residential properties within Tract Number 31168. The improvements installed as part of this development shall be maintained and funded entirely or partially through the Zone assessments.

1. Landscaping Improvements

- Streetscape maintenance areas associated with the Zone, totaling approximately 10,451 square feet.

2. Public Street Lighting Improvements

- The street lighting within the residential subdivision of the Zone; and,
- Public street lighting and other public lighting facilities on the streets surrounding or adjacent to the development and other public areas associated or necessary for development of properties within the Zone.

Zone #27 (Hunter's Ridge)

This Zone consists of the lots, parcels and subdivision of land within the development known as Hunter's Ridge, Tract Number 31878, which encompasses an area of land totaling approximately ninety-one acres (90.56 acres).

This development includes one-hundred thirteen (113) single-family residential home sites and associated public areas and easements identified on the approved Hunter's Ridge – Tract 31878 subdivision. This development is located generally southeast of Los Alamos Road, north of and adjacent to Hunter Road, and west of Calle de Amor.

The purpose of this Zone is to ensure the ongoing maintenance, operation and servicing of local landscaping and lighting improvements established or installed in connection with development of properties within Hunter's Ridge (Tract 31878). These improvements generally include non-irrigated open space areas; streetscape landscaping; slope landscaping; open space fuel modification areas; drainage easement (bio-swale); local park improvements; and public street lighting within and associated with the development of properties within Hunter's Ridge (Tract 31878).

1. Landscaping Improvements

- Non-irrigated open space area totaling approximately 5,203 square feet, generally located south of Rangeview Drive and east of Conejo Avenue, between lots 18 and 20 of Tract 31878; and
- Streetscape (parkway) area totaling approximately 4,435 square feet, including:
 - 1,935 square feet located south of Rangeview Drive and east of Conejo Avenue, between lots 18 and 20 of Tract 31878;
 - 2,500 square feet located north of Hunter Road, along the south sides of lots 51, 77, 78, 97, 98 and 113 of Tract 31878, and along Golden Eagle Avenue on the east side of lot 50 of Tract 31878; and
- Irrigated slope area totaling approximately 56,054 square feet, including:
 - 7,672 square feet located north of Rangeview Drive, between lots 21 and 22 of Tract 31878;
 - 4,529 square feet located east of Mockingbird Avenue and north of Hunter Road, adjacent to lots 1 through 5 of Tract 31878;
 - 37,473 square feet located in the southern portion of the Zone, south of Hunter Road and lots 47 through 50 of Tract 31878;

- 6,380 square feet located in the southern portion of the Zone along Golden Eagle Avenue and Hunter Road within Tract 31878; and
- Fuel modification area totaling approximately 139,266 square feet, including:
- 73,508 square feet of non-irrigated fuel modification/open space located directly north of the residential lots of Tract 31878;
- 65,758 square feet of irrigated fuel modification/open space generally located on the west side of the development, adjacent to lots 38, 39, 46, 47 and 114 of Tract 31878; and
- Drainage easement (bio-swale) totaling approximately 9,590 square feet located across lot 31 of Tract 31878, near the center of the Zone.

2. Park and Recreational Improvements

- Park Improvements generally located south of Hunter Road and lots 47 through 50 of Tract 31878 which encompasses an area totaling approximately 121,776 square feet comprised of both landscape improvements and recreational facilities. The recreational improvements may include, but are not limited to, the maintenance and care of sport fields and equipment; courts; playground equipment; park lighting; restrooms or other public facilities; signs; and hardscapes within the park.

3. Public Street Lighting Improvements

- Public street lighting located within Tract 31878; and
- Public street lighting and other public lighting facilities on the streets surrounding or adjacent to Tract 31878 and other public areas associated with or necessary for the development of properties within the Zone.

Zone #28 (Lantana)

This Zone consists of the lots, parcels and subdivision of land within the development known as Lantana, Tract Number 32266, which encompasses an area of land totaling approximately forty-two acres (41.56 acres).

This development of one-hundred and five (105) parcels encompasses ninety-five (95) single-family residential home sites, associated public areas and easements identified for the approved Lantana — Tract 32266 subdivision.

The purpose of this Zone is to ensure the ongoing maintenance, operation and servicing of local landscaping and lighting improvements established or installed in connection with development of properties within Lantana (Tract 32266). These improvements include, but are not limited to irrigated open space areas; non-irrigated open space or fuel modification areas; streetscape landscaping; slope landscaping; drainage easement areas and/or detention basins (both irrigated and non-irrigated); trails; and public street lighting within and associated with the development of properties within Lantana (Tract 32266).

1. Landscaping Improvements

- Non-irrigated open space area totaling approximately 59,462 square feet;
- Irrigated open space area totaling approximately 15,384 square feet;
- Streetscape (parkway) area totaling approximately 73,223 square feet;
- Slope area totaling approximately 81,323 square feet;
- Irrigated Detention Basin area totaling approximately 61,042 square feet;
- Non-Irrigated Detention Basin area totaling approximately 21,160 square feet;

- Dirt and gravel (“DG”) trail along sidewalk totaling approximately 16,403 square feet generally located along Meadowlark Road within Tract 32266.

2. Public Street Lighting Improvements

- Public street lighting located within Tract 32266; and
- Public street lighting and other public lighting facilities on the streets surrounding or adjacent to Tract 32266 and other public areas associated with or necessary for the development of properties within the Zone.

Zone #29 (Gallery Estates)

This Zone consists of the lots and parcels of land within the residential development known as Gallery Estates (Tract 34250). This residential subdivision is generally located southwest of Washington Avenue and northwest of Vineyard Parkway on the southwest side of Douglas Avenue between Fullerton Road and Pomerado Court.

The territory within the District totals approximately seven acres (7.48 acres) and is comprised of thirteen (13) parcels identified on the Riverside County Assessor’s Parcel Number (APN) Maps as Book 906, Page 270, Parcels 062 through 074. This Zone has developed into ten (10) single family residential home sites. Three parcels are considered exempt and are not subject to assessment. Specifically, these three exempt properties include:

- Parcels 906-270-072 (0.080 acres) and 906-270-074 (0.150 acres) which are identified as Homeowner Association easement properties adjacent to Dove Creek Court within Tract 34250. These two parcels are restricted by utility easements and cannot be developed independently and as such, these two parcels do not receive any special benefit from the improvements and are therefore excluded (exempt) from the District assessments;
- Parcel 906-270-073 (0.320 acres) incorporates a detention basin for the development. This basin is to be planted with California native material and will be maintained by the Homeowner Association established for this development and not maintained as part of the District improvements. However, being similar in nature to the landscape improvement areas associated with this District, this detention basin is excluded (exempt) from the District assessments.

The purpose of this Zone is to provide funding for the continued maintenance, operation and servicing of the local landscape improvements within the public right-of-ways established or installed in connection with development of properties within Gallery Estates (Tract 34250) that provide a particular and distinct benefit (special benefit) to those properties.

1. Landscaping Improvements

- The parkway landscaping behind the sidewalk on the southwest side of Douglas Avenue adjacent to the Gallery Estates (Tract 34250), from the northwest boundary line of Tract 34250 to the corner parkway return area at Dove Creek Court totaling approximately 1,873 square feet;
- The corner parkway return area behind the sidewalk on the northwest corner of Dove Creek Court and Douglas Avenue, adjacent to Lot 1 of Tract 34250 totaling approximately 256 square feet;
- The parkway landscaping behind the sidewalk on the northwest side of Dove Creek Court adjacent to Lot 1, from the corner parkway return area to the mid-point of Lot 1, a distance of approximately 40 feet, totaling approximately 247 square feet of landscaped area;
- The corner parkway return area behind the sidewalk on the southwest corner of Dove Creek Court of Douglas Avenue, adjacent to Lot 10 of Tract 34250 totaling approximately 256 square feet;

- The parkway landscaping behind the sidewalk of the southwest side of Douglas Avenue adjacent to the Gallery Estates (Tract 34250), from the corner parkway return area at Dove Creek Court to the southeast boundary line of Tract 34250 totaling approximately 501 square feet.

Zone #30 (Murrieta 64 – KB Homes)

This Zone consists of the lots and parcels of land within the residential development known as Murrieta 64 – KB Homes (Tract 31467). The residential subdivision is located on the northeast side of Washington Avenue at Fullerton Road, which is generally located northwest of Davenport Way and Lemon Street and southeast of Nighthawk Way.

The territory within the District totals approximately six acres (5.750 acres) and is comprised of sixty-four (64) planned single-family residential properties currently identified on the Riverside County Assessor's Parcel Map 906-04 and Condominium Map 906-042.

It is the desire of KB Homes (the developer of Tract 31467,) the City, and the Tract 31467 HOA that the Tract 31467 HOA be responsible for the funding, maintenance and operation of improvements and facilities for the Zone. The purpose of this Zone is to provide a funding mechanism for the continued maintenance, operation, and servicing of the local improvements within the public right-of-ways established or installed in connection with development of properties within Murrieta 64 – KB Homes (Tract 31467) that provide a particular and distinct benefit (special benefit) to those properties in the event that the Tract 31467 HOA is dissolved or does not maintain the improvements to City standards.

- Landscaping improvements that may be funded and assessed may include, but are not limited to: turf, shrubs and plants; trees; ground cover (both hardscape and vegetation); weed and vector control; irrigation and drainage systems; related sidewalks; entryway monuments or other ornamental structures and signs; and associated appurtenant facilities located within the street right-of-way on Washington Avenue (between the curb and sidewalk) extending the full length of the development on either side of Petra Street (the entryway to Tract 31467 from Washington Avenue). This area incorporates approximately 3,092 square feet of landscaped/hardscape area comprised of various plantings and decorative river rock and serves in part as a drainage and water treatment area (filterra bioretention system) for the development.
- Excluded improvements are any streetlights within Tract 31467 and any landscaping improvements and appurtenant facilities located on private property, excluding those areas within the street right-of-way that may be owned by the Homeowner Association.

Zone #31 (Willow Springs)

This Zone consists of the lots and parcels of land within the residential development known as Willow Springs (Tract 36779) and the non-residential development known as Willow Springs Commerce Center (PM 36733), both part of the City's Adobe Springs Specific Plan. The development is generally located west of Winchester Road, north of Via Mira Mosam and southwest of Benton Road. It is bordered by the subdivision known as Murrieta Springs to the south and west.

The territory within the District totals approximately fifty acres (49.71 acres) of which approximately thirty-three acres are planned to be developed into taxable property. The residential development is planned for two-hundred eighty-three (283) single-family residential properties. The non-residential parcels are planned for a 9.48 acre commercial/industrial commerce center.

The purpose of this Zone is to provide funding for the continued maintenance, operation, and servicing of the local street lighting and landscaping improvements established or installed in

connection with development of properties within Willow Springs that provide a particular and distinct benefit (special benefit) to those properties.

1. Landscaping Improvements

- The parkway areas located behind the sidewalk and the sidewalk itself on the northwest side of Winchester Road running the length of Willow Springs development. (Approximately 63,902 square feet of landscaped area, and 18,214 square feet of sidewalk.)

2. Public Street Lighting Improvements

- Public street lighting and other public lighting facilities along the northwest side of Winchester Road bordering Willow Springs development and other public areas associated with or necessary for the development of properties within the District.

3. Excluded Improvements

- Open space parcel 963-070-062
- Homeowner Association maintenance areas, located throughout the residential development, including parks, play areas, slopes, open areas, and community amenities.
- The Eastern Municipal Water District lift station and lift station site.
- The estimated 2.13 acres of commercial area entry streetscape, and 1.34 acres of commercial area slopes.

III. METHOD OF APPORTIONMENT

A. General

The 1972 Act permits the establishment of assessment districts by agencies for the purpose of providing certain public improvements which include the construction, maintenance and servicing of public lights, landscaping and appurtenant facilities. The 1972 Act further requires that the cost of these improvements be levied according to benefit rather than assessed value:

“The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements.”

The formula used for calculating assessments in each Zone of the Consolidated District therefore reflects the composition of the parcels, and the improvements and services provided, to fairly apportion the costs based on the special benefits to each parcel.

In addition, pursuant to the Constitution (with some exceptions) a parcel’s assessment may not exceed the reasonable cost of the proportional special benefit conferred on that parcel and provides that only special benefits are assessable, and the Consolidated District must separate the general benefits from the special benefits. Therefore, in compliance with these assessment requirements, only assessments that are identified as either “Exempt Assessments” or “Special Benefit Assessments” are assessed. Improvements considered a “General Benefit” have been eliminated from the Consolidated District assessments.

B. Benefit Analysis

Each of the proposed improvements, the associated costs and assessments have been reviewed, identified and allocated based on special benefit pursuant to the provisions of the Constitution and 1972 Act. Improvements associated with the Consolidated District have been identified as necessary, required and/or desired for the orderly development of the properties within the Consolidated District to their full potential, consistent with the proposed development plans and applicable portions of the City General Plan. As such, these improvements would be necessary and required of individual property owners for the development of such properties, and the ongoing operation, servicing and maintenance of these improvements would be the financial obligation of those properties. Therefore, the improvements and the annual costs of maintenance and operation of the improvements are of direct and special benefit to the properties.

The method of apportionment (method of assessment) is based on the premise that each assessed parcel within the Consolidated District receives special benefits from the improvements. The desirability and security of properties is enhanced by the presence of street lighting, well maintained landscaping, parks and open space areas in close proximity to those properties.

The special benefits associated with landscaping, parks, trails and open space improvements are specifically:

1. Enhanced desirability of properties through association with the improvements.
2. Improved aesthetic appeal of properties providing a positive representation of the area.
3. Enhanced adaptation of the urban environment within the natural environment from adequate green space, parks, trails, open space areas and landscaping.

4. Environmental enhancement through improved erosion resistance, dust and debris control, and fire prevention.
5. Increased sense of pride in ownership of property within the Consolidated District resulting from well-maintained improvements associated with the properties.
6. Enhanced quality of life and recreational opportunities through well maintained recreational facilities, equipment, green belts and trails.
7. Reduced criminal activity and property-related crimes (especially vandalism) against properties in the Consolidated District through well-maintained surroundings and amenities including abatement of graffiti.
8. Enhanced environmental quality of the parcels by moderating temperatures, providing oxygenation and attenuating noise.

The special benefits of street lighting are the convenience, safety, and security of property, improvements, and goods. Specifically:

1. Enhanced deterrence of crime and the aid to police protection.
2. Increased nighttime safety on roads and streets.
3. Improved ability of pedestrians and motorists to see.
4. Improved ingress and egress to property.
5. Reduced vandalism and other criminal act and damage to improvements or property.
6. Improved traffic circulation and reduced nighttime accidents and personal property loss.
7. Increased promotion of business during nighttime hours in the case of commercial properties.

The preceding special benefits contribute to a specific enhancement and desirability of each of the assessed parcels within the Consolidated District. Although the improvements include public parks, streets and other amenities available or visible to the public at large, the improvements provided and maintained by the Consolidated District are local improvements and the construction and installation of these improvements were only necessary for the development of properties within the Consolidated District and were not required nor necessarily desired by any properties or developments outside the various Zone boundaries. Therefore, any public access or use of the improvements by others is incidental, and there is no measurable general benefit to properties outside the Consolidated District and the respective Zones therein or to the public at large.

C. Assessment Methodology

The methods of apportionment utilized for the Consolidated District calculates the receipt of special benefit from the respective improvements based on the actual or proposed land use of the parcels within each respective Zone. The special benefit received by each lot or parcel is equated to the overall land use of the parcel based on the parcel's actual land use or proposed planned development and is reliant upon the special benefit received from the improvements planned or existing within the Consolidated District and each Zone therein.

To identify and determine the special benefit to be received by each parcel, it is necessary to consider the entire scope of the improvements associated with each Zone as well as individual property development within that Zone. The costs associated with the improvements shall be fairly distributed among the parcels based upon the special benefit received by each parcel. Additionally, in compliance with the Constitution each parcel's assessment may not exceed the

reasonable cost of the proportional special benefit conferred to that parcel. The benefit formula used to determine the assessment obligation is therefore based upon both the improvements that benefit the parcels within each Zone of the Consolidated District as well as the proposed land use of each property as compared to other parcels that benefit from those specific improvements.

Equivalent Benefit Units:

In order to equitably apportion the cost of the improvements to each parcel, it is necessary to establish a correlation between the different properties and types of properties that benefit from those improvements. The Equivalent Benefit Unit (“EBU”) method of apportioning benefit is typically seen as the most appropriate and equitable assessment methodology for districts formed under the 1972 Act, as the benefit to each parcel from the improvements are apportioned as a function of each parcel’s land use type, size and development status.

Most of the Zones are comprised primarily or entirely of subdivided residential properties or planned residential subdivisions with just a few exceptions including Zone 3, which is comprised of commercial/industrial properties only. Therefore, the method of apportioning assessments utilizes the single-family home site as the basic unit of assessment. A single-family home site is assigned one EBU and other land uses within the Consolidated District are assigned proportional EBU’s based on an assessment formula that equates the property’s specific development status, type of development (land use), and size of the property, as compared to the single-family home site (Except for Zone 3). Although an Equivalent Benefit Unit method of apportionment is also applicable to properties within Zone 3, because this Zone is comprised of commercial/industrial properties only, the weighting factors applied in this Zone are slightly different than the weighting factors used for non-residential properties in other Zones.

For non-residential properties (zoned for commercial or industrial use), it has been determined that the most appropriate measure of special benefits derived from Consolidated District improvements is best represented by each parcel’s proportional acreage. Although street front footage or building square footage are sometimes used as a measure of special benefit for non-residential properties, these standards of identifying proportional benefit can create inequities in apportioning the overall improvement costs. For example, an apportionment based on front footage alone overly weights corner properties and under-weights properties commonly referred to as flag parcels. The use of building square footages typically excludes properties that have not been developed, and alone is not a good indicator of overall property benefits with respect to landscaping and lighting improvements. However, the use of a parcel’s acreage provides a fair and reasonable reflection of each parcel’s benefit from the improvements by accounting for both the average front footage and average building footprint (square footage) that a commercial or industrial property would typically have. Therefore, in the Consolidated District, the EBU’s assigned to non-residential properties are based on the total number of residential units that have historically been constructed on that same acreage in the City (estimated at 4 units per acre). However, for Zone 3 this weighting comparison to residential properties is not necessary since the Zone is comprised of non-residential properties only. It has been determined that the proportional benefit to each parcel in Zone 3 is directly related to the parcel’s gross acreage (including their possessor interest in any common areas) and since the improvements benefit assessable properties in the Zone, a distinction between developed and undeveloped property is not appropriate.

The following identifies the various land use designations and application of EBU’s currently used for apportioning improvement costs amongst properties within the Consolidated District and Zones therein:

EBU Application by Land Use:

Single-family Residential — This land use is defined as a fully subdivided residential home site with or without a structure. This land use is assessed 1.0 EBU per lot or parcel. This is the base value to which other land use types are compared and weighted (i.e. Equivalent Benefit Unit EBU).

Multi-family Residential — This land use is defined as a fully subdivided residential parcel that has more than one residential unit developed on the property. This land use is assessed 1.0 EBU per unit.

Planned Residential Development — This land use is defined as any property not fully subdivided with a specific number of proposed residential lots to be developed on the parcel. This land use type is assessed at 1.0 EBU per planned (proposed) residential lot.

Vacant Residential Property — This land use is defined as property currently zoned for residential development, but a tentative or final tract map has not been submitted and/or approved. This land use is assessed at 0.5 EBU per acre. Parcels less than 2 acres are assigned a minimum of 1.0 EBU. Parcels over 100 acres are assigned a maximum of 50 EBU.

Vacant Non-Residential Property — This land use is defined as property currently zoned for commercial or industrial use, but not specifically approved for commercial or industrial development. This land use is assessed at 1.0 EBU per acre. Parcels less than 1 acre are assigned a minimum of 1.0 EBU. Parcels over 50 acres are assigned a maximum of 50 EBU.

Developed Non-Residential Property — This land use is defined as property developed for either commercial or industrial use. This land use type is assessed at 4.0 EBU per gross acre except in Zone 3. Parcels less than 0.25 acres are assigned a minimum of 1.0 EBU and there is no maximum acreage cap, as is the case with Vacant Non-residential Property. In Zone 3 Developed Non-residential properties are assessed at 1.0 EBU per gross acre including any possessor interest in a common area.

Planned Non-Residential Development — This land use is defined as any property designated for commercial or industrial use for which specific development plans have been submitted or approved, or were included and identified as part of a specific commercial or industrial development project, but for which development of the property has not commenced or completion is not anticipated prior to the end of the fiscal year. This land use type is assessed at 2.0 EBU per gross acre except in Zone 3. Parcels less than half an acre are assigned a minimum of 1.0 EBU and there is no maximum acreage cap. In Zone 3 Planned Non-residential properties are assessed at 1.0 EBU per gross acre including any possessor interest in a common area.

Recreational or Limited Non-Residential Use — This land use is defined as property used for recreational or commercial use that is not part of the improvements provided by the Consolidated District. This land use classification may include, but is not limited to golf courses, commercial parking lot s or commercial properties for which less than ten percent of the total acreage has been developed. This land use is assessed at 2.0 EBU per gross acre. Parcels less than half an acre are assigned a minimum of 1.0 EBU and there is no maximum acreage cap.

Exempt Parcels — This land use identifies properties that are not assessed and are assigned 0.00 EBU. This land use classification may include, but is not limited to lots or parcels identified as public streets and other roadways (typically not assigned an APN by the County); dedicated public easements, open space areas and right-of-ways including greenbelts and parkways; utility right-of-ways; common areas, sliver parcels and bifurcated lots or any other property that cannot be developed; park properties and other publicly owned properties that are part of the Consolidated District improvements or that have little or no improvement value. These types of parcels are considered to receive little or no benefit from the improvements and are therefore exempted from assessment.

Special Cases — In districts where multiple land use classifications are involved, there are usually one or more properties for which the standard land use classifications do not accurately identify the special benefits received from the improvements. For example, a parcel may be identified as a Vacant Residential property, however only a small percentage of the parcel's total acreage can actually be developed. In this case, an appropriate calculation would be based on the net acreage that can be utilized rather than the gross acreage of the parcel.

The following table provides a summary of land use types, land use code designations, the Equivalent Benefit Unit factor applied to that land use type, and the multiplying factor used to calculate each parcel's individual EBU.

Land Use Codes and Equivalent Benefit Units		
Property Type	Equivalent Benefit Unit	Multiplier
Single-family Residential	1	Unit/Lot/parcel
Multi-family Residential	1	Units/Dwelling Units
Planned Residential Development	1	Planned Residential Lot
Vacant Residential Property	0.5	Acreage
Vacant Non-Residential Property	1	Acreage
Developed Non-Residential Property (Excluding Zone 3)	4	Acreage
Developed Non-Residential Property (Zone 3 Only)	1	Acreage
Planned Non-Residential Development (Excluding Zone 3)	2	Acreage
Planned Non-Residential Development (Zone 3 Only)	1	Acreage
Recreational or Limited Non-Residential Use	2	Acreage
Exempt	0	Parcel

The benefit formula applied to parcels within the Consolidated District is based on the preceding EBU analysis. Each parcel's EBU correlates the parcel's special benefit received as compared to other parcels benefiting from the improvements.

The following formula is used to calculate each parcel's EBU (proportional benefit).

$$\text{Parcel Type EBU} \times \text{Acres or Units} = \text{Parcel EBU}$$

The total number of Equivalent Benefit Units (EBU's) is the sum of individual EBU's applied to parcels that receive a special benefit from the improvement. An assessment amount per EBU (Rate) for each improvement is established by taking the total cost of the improvement to be assessed and dividing that amount by the total number of EBU's of parcels benefiting from the improvement. This Rate is then applied back to each parcel's individual EBU to determine the parcel's proportionate benefit and assessment obligation for that improvement.

$$\text{Total Balance to Levy} / \text{Total EBU} = \text{Levy per EBU}$$

$$\text{Levy per EBU} \times \text{Parcel EBU} = \text{Parcel Levy Amount}$$

D. Assessment Range Formula

Any new or increased assessment requires certain noticing and meeting requirements. Prior to the passage of Proposition 218 (California Constitution Articles XIIC and XIID), legislative changes in the Brown Act defined a "new or increased assessment" to exclude certain conditions. These conditions included "any assessment that does not exceed an assessment formula or range of assessments previously adopted by the agency or approved by the voters in the area where the assessment is imposed." This definition and conditions were later confirmed through Senate Bill 919 (Proposition 218 implementing legislation).

The purpose of establishing an Assessment Range Formula is to provide for reasonable increases and inflationary adjustment to annual assessments without requiring costly noticing and mailing procedures, which could add to the Consolidated District costs and assessments. For the existing, new or increased assessments described in this Report, property owner protest ballot proceedings have been conducted pursuant to Article XIID Section 4 of the California Constitution. With the exception of three Zones, the property owner protest ballot proceedings included the establishment of an initial Maximum Assessment Rate as well as an Assessment Range Formula for annual adjustments to this Maximum Assessment Rate for inflation, hereafter referred to as "Adjusted Maximum Assessment Rate or Rates". [Exceptions: Properties within Zone 10A (Tracts 24799 and 29250); Zone 10B (Tracts 21560, 21560-2 and 23404); and Zone 12E (Tracts 23629 and 23629-1) have been balloted for a set Maximum Assessment Rate that does not include an inflationary adjustment].

The Adjusted Maximum Assessment Rate for each Zone is calculated annually and is independent of the Zone's annual budget and proposed assessment (rate per EBU). Any proposed assessment rate less than or equal to this Adjusted Maximum Assessment Rate is not considered an increased assessment, even if the assessment rate is much greater than the assessment rate applied in the prior fiscal year. Beginning in the second fiscal year of assessments and each fiscal year thereafter, the Maximum Assessment Rates shall be recalculated, and new Adjusted Maximum Assessment Rates established.

Although the Adjusted Maximum Assessment Rate will increase each year, the actual Zone assessment rate in any given Zone may remain virtually unchanged. The Adjusted Maximum Assessment Rate is designed to establish a reasonable limit on each Zone's annual assessments. The Adjusted Maximum Assessment Rate calculated each year does not require or facilitate an increase to the annual assessment, but also does not restrict assessments to the adjustment maximum amount. If the budget and assessment rate for the fiscal year do not require an increase, or the increase is less than the Adjusted Maximum Assessment Rate, then the required budget and proposed assessment rate may be applied without additional property owner balloting. If the budget and assessment rate calculated require an increase greater than the Adjusted Maximum Assessment Rate, then the assessment rate is considered an increased assessment, and to impose the increase, the City must comply with the provisions of the Constitution Article XIID Section 4c, that require a public hearing and certain procedures including mailed notice of the hearing and a property owner protest balloting. Property owners, through the balloting process, must approve the proposed assessment increase. If the proposed assessment increase is approved, then a new Maximum Assessment is established for the Zone. If a majority protest exists, the City may not levy an assessment greater than the Adjusted Maximum Assessment previously established for the Zone. The Assessment Range Formula approved and adopted for each Zone (if applicable) shall be applied to future assessments within each respective Zone.

Property owners approved an annual adjustment to the Adjusted Maximum Assessment of three percent (3%) for the following Zones:

Zone 1	Copper Canyon	Zone 2	Grizzly Ridge
Zone 3	Cherry Street Business Park	Zone 4	Western Pacific Housing
Zone 5	Murrieta Ranchos	Zone 6	Fallsgrove
Zone 7	Copper Creek	Zone 8	Lincoln Ranch
Zone 9	Tapestry	Zone 13	Rancho Mira Loma
Zone 14	Sycamore Ranch	Zone 15	Greer Ranch
Zone 16	Mapleton	Zone 17	Country Gate
Zone 18	Vineyards	Zone 19	Murrieta Oaks
Zone 20	Blackmore Ranch	Zone 21	Murrieta Springs
Zone 22	US Home	Zone 23	Creeside Village
Zone 24	Springbrook / Murrieta Meadows	Zone 25	Alderwood (Golden Cities) Sub-zone A
Zone 25	Alderwood (Golden Cities) Sub-zone B	Zone 26	Murrieta Fields / Oakmont
Zone 27	Hunter's Ridge	Zone 28	Lantana
Zone 29	Gallery Estates	Zone 30	Murrieta 64 – KB Homes
Zone 31	Willow Springs		

Property owners approved an annual adjustment to the Adjusted Maximum Assessment of two percent (2%) for the following Zones:

Zone 10	CSA #143	Zone 11	Sub-zone A – Highway 79
Zone 11	Sub-zone B – Hunter Road	Zone 12	Sub-zone A
Zone 12	Sub-zone B	Zone 12	Sub-zone C
Zone 12	Sub-zone D	Zone 12	Sub-zone F

There are no inflationary factors for the following Zones:

Zone 10	Sub-zone A	Zone 10	Sub-zone B
Zone 12	Sub-zone E		

IV. CONSOLIDATED DISTRICT BUDGETS

The following pages provide the proposed budgets and assessment rates for each of the Zones and Sub-zones within the Consolidated District for fiscal year 2025/2026. These budgets include the City's estimate of expenditures, deficits, surpluses, revenues, and reserves. Each parcel within a Zone is assessed proportionately for only those improvements that provided special benefits to the parcel at the proposed budgeted assessment rate.

City of Murrieta
Consolidated Landscaping and Lighting District Budget
Fiscal Year 2025/26

DIRECT COSTS	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10a	Zone 10b	Zone 10c	Zone 10 Total	Zone 11a	Zone 11b	Zone 11 Total	
DIRECT COSTS																	
Operation and Maintenance																	
Contract Services Street Lights	60480	\$2,882.00	\$1,089.00	\$154.00	\$990.00	\$759.00	\$693.00	\$759.00	\$1,806.00	\$385.00	\$762.67	\$762.67	\$762.67	\$2,288.00	\$1,523.50	\$1,523.50	\$3,047.00
Electric	64520	4,148.76	704.64	50.26	507.53	95.29	155.65	84.72	1,655.08	292.22	779.90	255.20	292.22	1,079.10	57.75	115.50	
Water	64660	142,645.48	60,854.15	3,465.00	18,807.68	9,240.44	3,089.92	8,987.01	40,700.00	24,255.00	39,174.30	19,409.50	1,069.20	59,653.00	6,930.00	13,860.00	
Facility Lease	61910	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Building Maintenance	62000	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Landscape Maintenance	62040	201,828.51	30,165.51	2,575.51	18,059.40	4,258.18	1,940.21	2,712.61	73,572.79	8,670.44	34,702.90	11,384.36	1,936.29	48,023.55	2,068.91	2,068.91	4,137.83
Street Lighting Energy Costs	64560	9,490.82	3,607.94	397.35	3,228.41	2,582.95	2,235.07	2,239.84	5,513.05	1,219.62	2,510.57	2,510.57	2,510.57	7,531.70	2,370.38	2,370.38	4,740.75
Street Lighting Principal and Interest	83120	17,040.77	6,422.08	763.02	5,786.23	4,387.36	4,005.85	4,387.36	9,474.16	2,161.89	4,493.34	4,493.34	4,493.34	13,480.01	9,029.06	18,056.13	
Miscellaneous/Contingency	61960	57.61	166.50	3,594.80	41.28	11.00	26.54	14.30	76.25	15.30	12.10	12.10	12.10	36.29	16.50	16.50	33.00
Other Contingencies	62320	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Transfer to Vehicle Fund		1,110.06	313.60	41.42	117.43	56.82	36.09	63.37	308.74	121.75	115.70	44.72	163.72	324.14	58.07	40.03	98.10
Direct Costs (Subtotal)		\$379,204.01	\$103,323.41	\$11,041.36	\$47,537.96	\$21,391.04	\$12,162.33	\$19,248.22	\$132,960.07	\$37,121.21	\$82,551.46	\$38,872.45	\$10,991.88	\$132,415.79	\$22,056.17	\$22,036.14	\$44,090.31
ADMINISTRATION & PERSONNEL COSTS																	
District Administration Personnel	50120	\$146,541.33	\$41,852.73	\$5,479.79	\$16,110.58	\$8,075.35	\$5,291.06	\$8,829.82	\$41,543.35	\$16,121.39	\$15,689.54	\$6,486.20	\$21,239.26	\$43,415.00	\$8,178.67	\$5,840.01	\$14,018.68
District Administration Contract Services	60480	5,773.90	3,892.90	3,018.40	3,758.70	3,447.40	3,432.00	3,506.80	2,971.10	3,203.20	1,867.07	1,867.07	1,867.07	5,601.20	1,985.50	1,985.50	3,971.00
District Administration Overhead Allocation	61600	39,594.38	11,256.18	1,480.69	4,357.57	2,186.25	1,433.60	2,389.27	11,230.66	4,356.25	4,242.35	1,756.93	5,735.85	11,735.14	2,213.70	1,582.13	3,795.83
County per Parcel Fee	60520	484.83	213.88	109.34	203.79	161.41	159.08	169.58	285.64	138.09	129.00	129.00	129.00	387.01	103.06	103.06	206.12
TOTAL ADMIN		\$192,394.43	\$57,015.69	\$10,088.22	\$24,430.63	\$13,870.41	\$10,315.74	\$14,895.47	\$56,030.75	\$23,818.94	\$21,927.96	\$10,239.20	\$28,991.18	\$61,138.35	\$12,480.93	\$9,510.71	\$21,991.63
COLLECTIONS/(CREDITS) APPLIED TO LEVY																	
TOTAL DIRECT AND ADMIN COSTS		\$571,598.44	\$160,339.10	\$21,129.58	\$71,968.59	\$35,261.46	\$22,478.08	\$34,143.69	\$188,936.81	\$60,940.14	\$104,479.42	\$49,111.65	\$39,963.06	\$193,554.13	\$34,535.10	\$31,546.84	\$66,081.94
Reserve Collection/(Transfer)		(36,013.74)	(8,105.15)	(1,101.93)	(13,087.05)	(2,560.82)	(3,140.11)	(1,871.34)	(37,102.63)	(2,020.28)	0.00	0.00	19,980.42	19,980.42	0.00	0.00	0.00
Capital Improvements		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Capital Improvement Fund Collection/(Transfer)		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
General Fund (Contribution) to cover budget shortfall		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	(47,136.70)	(25,405.65)	0.00	(72,542.36)	(4,644.20)	(10,203.54)	(14,847.73)
General Benefit (Contribution)		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL ADJUSTMENTS		(36,013.74)	(8,105.15)	(1,101.93)	(13,087.05)	(5,750.23)	(3,140.11)	(1,871.34)	(37,102.63)	(2,020.28)	(47,136.70)	(25,405.65)	19,980.42	(62,561.94)	(4,644.20)	(10,203.54)	(14,847.73)
Balance to Levy (Budgeted) ⁽¹⁾		\$535,584.70	\$152,233.95	\$20,027.64	\$58,881.54	\$29,511.23	\$19,337.97	\$32,272.35	\$151,834.19	\$58,919.86	\$57,342.72	\$23,706.00	\$59,943.48	\$140,992.20	\$29,890.90	\$21,343.30	\$51,234.21
⁽¹⁾ Totals may not foot due to rounding.																	
Total Revenue at Maximum Rate		\$535,584.70	\$152,233.95	\$20,027.64	\$94,487.59	\$29,514.10	\$33,909.24	\$34,236.89	\$229,662.83	\$58,921.06	\$57,342.72	\$23,706.00	\$77,626.02	\$158,674.74	\$29,891.70	\$21,344.30	\$51,236.01
Variance above/(below) Maximum Revenue		0.00	0.00	(0.10)	(35,606.05)	(2.87)	(14,571.28)	(1,964.54)	(77,828.64)	(1.20)	0.00	0.00	(17,682.54)	(17,682.54)	(0.80)	(1.00)	(1.80)
Applied Charge*		\$535,582.80	\$152,232.80	\$20,027.63	\$58,881.60	\$29,511.30	\$19,337.80	\$32,272.24	\$151,833.42	\$58,919.36	\$57,342.72	\$23,706.00	\$59,943.48	\$140,992.20	\$29,890.42	\$21,342.58	\$51,233.00
<small>*Slight variances may exist due to County's even penny requirement.</small>																	
DISTRICT STATISTICS																	
Total Parcels		1,045	315	29	271	167	160	186	506	102	343	232	185	760	119	157	276
Total Parcels Levied		982	296	27	270	161	155	182	479	101	327	225	183	735	119	157	276
Total Equivalent Benefit Units		982.00	296.00	12.31	270.00	161.00	155.00	182.00	479.00	101.00	327.00	225.00	183.00	735.00	119.00	157.00	276.00
Proposed Levy per Benefit Unit		\$545.40	\$514.30	\$162.94	\$218.08	\$183.30	\$124.76	\$177.32	\$316.98	\$583.36	\$105.36	\$105.36	\$327.56	\$125.18	\$135.94	\$135.94	
Applied Levy per Benefit Unit		\$545.40	\$514.30	\$162.94	\$218.08	\$183.30	\$124.76	\$177.32	\$316.98	\$583.36	\$175.36	\$105.36	\$327.56	\$125.18	\$135.94	\$135.94	
Maximum Levy per Benefit Unit (Prior Fiscal Year)		\$529,51644	\$499,32416	\$1,579,56233	\$339,76121	\$177,97803	\$212,39738	\$182,63570	\$465,49816	\$666,38529	\$175,36000	\$105,36000	\$415,86653	\$246,26547	\$133,28527	\$135,95088	
Maximum Levy per Benefit Unit (Current Fiscal Year)		\$545,40193	\$514,30389	\$1,626,94920	\$349,95404	\$183,31737	\$216,76930	\$188,11477	\$479,46311	\$583,37684	\$175,36000	\$105,36000	\$424,18590	\$251,19078	\$133,28527	\$135,95088	
Inflationary Factor Applied to Maximum Rate		3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	0.00%	0.00%	2.00%	2.00%	2.00%	2.00%	
FUND BALANCE INFORMATION																	
Estimated Beginning Reserve Fund Balance		\$107,810.18	\$88,274.70	\$11,666.72	\$49,071.35	\$2,560.82	\$14,379.15	\$18,943.19	\$117,548.09	\$32,490.36	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Reserve Fund Adjustments		(36,013.74)	(8,105.15)	(1,101.93)	(13,087.05)	(2,560.82)	(3,140.11)	(1,871.34)	(37,102.63)	(2,020.28)	0.00	0.00	19,980.42	19,980.42	0.00	0.00	0.00
Anticipated Reserve Balance		\$71,796.44	\$80,169.55	\$10,564.79	\$35,984.30	\$0.00	\$11,239.04	\$17,071.85	\$80,445.46	\$30,470.07	\$0.00	\$0.00	\$19,980.42	\$0.00	\$0.00	\$0.00	\$0.00
Percentage of Reserve Fund to Direct Costs		18.93%	77.59%	95.68%	75.70%	0.00%	92.41%	88.69%	60.53%	82.08%	0.00%	0.00%	181.77%	0.00%	0.00%	0.00%	0.00%
Percentage of Reserve Fund to Direct and Admin Costs		12.56%	50.00%	50.00%	50.00%	0.00%	50.00%	50.00%	42.58%	50.00%	0.00%	0.00%	50.00%	0.00%	0.00%	0.00%	0.00%
Beginning CIP Fund Balance		\$0.00	\$30,860.07	\$719.32	\$75,180.67	\$0.00	\$51,581.53	\$7,276.81	\$0.00	\$7,315.61	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CIP Fund Adjustments		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Anticipated CIP Balance**		\$0.00	\$30,860.07	\$719.32	\$75,180.67	\$0.00	\$51,581.53	\$7,276.81	\$0.00	\$7,315.61	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<small>**CIP funds are used to upgrade to certain improvements.</small>																	
HISTORICAL APPLIED RATES																	
Fiscal Year 2024/25		529.50	499.32	1,579.56	218.08	177.96	124.76	172.14	316.98	566.38	175.36	105.36	415.86	246.26	133.28		
Fiscal Year 2023/24		514.08	484.78	1,533.54	218.08	172.78	124.76	167.14	298.78	549.88	175.36	105.36	407.70	241.42	130.66		
Fiscal Year 2022/23		499.12	456.94	1,488.88	218.08	167.76	124.76	172.14	298.78	533.86	175.36	105.36	399.70	236.70	128.10		
Fiscal Year 2021/22		484.58	456.94	1,445.52	218.08	162.86	124.76	167.12	298.78	518.32	175.36	105.36	391.88	232.06	125.58		
Fiscal Year 2020/21		470.46	443.64	1,403.42	205.56	158.12	124.76	162.86	281.64	503.22	175.36	105.36	384.18	227.60	123.12		
Fiscal Year 2019/20		456.76	430.72	1,362.54	199.56	153.52	124.76	157.54	281.64	488.56	175.36	105.36	376.68	223.04	120.72		
Fiscal Year 2018/19		443.46	418.16	1,322.83	199.56	149.04	124.76	152.94	281.64	474.32	175.36	105.36	362.02	218.66	118.34		
Change in Rates		3.00%	3.00%	3.00%	0.00%	3.0											

City of Murrieta
Consolidated Landscaping and Lighting District Budget
Fiscal Year 2025/26

DIRECT COSTS	Zone 12a	Zone 12b	Zone 12c	Zone 12d	Zone 12e	Zone 12f	Zone 12 Total	Zone 13	Zone 14	Zone 15	Zone 16	Zone 17	Zone 18	Zone 19	Zone 20	Zone 21	
DIRECT COSTS																	
Operation and Maintenance																	
Contract Services Street Lights	60480	\$2,861.05	\$1,609.53	\$643.81	\$442.26	\$218.26	\$770.09	\$6,545.00	\$2,222.00	\$803.00	\$132.00	\$3,157.00	\$803.00	\$605.00	\$1,947.00	\$682.00	\$2,090.00
Electric	64520	1,588.15	893.44	357.38	245.50	121.16	427.47	3,485.00	177.36	476.65	3,361.60	662.52	859.33	3,861.60	4,897.68	2,327.22	3,377.68
Water	64660	22,215.20	12,497.52	4,999.01	3,434.02	1,694.76	5,979.49	50,820.00	92,400.00	15,619.03	57,179.10	217,127.90	20,863.30	27,112.23	98,175.00	75,075.00	44,784.01
Facility Lease	61910	6,790.30	0.00	0.00	0.00	0.00	0.00	6,790.30	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Building Maintenance	62000	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	7,916.48	0.00	8,778.31	0.00	0.00	0.00	0.00	0.00
Landscape Maintenance	62040	107,984.16	60,748.23	24,299.31	16,692.17	8,237.94	29,065.25	247,027.04	87,355.95	11,828.78	20,480.31	199,793.16	20,861.21	51,161.70	211,157.90	99,795.70	145,901.76
Street Lighting Energy Costs	64560	5,048.91	2,840.35	1,136.14	780.46	385.17	1,358.98	11,550.00	2,086.21	3,675.00	337.00	11,550.00	1,679.43	1,937.07	3,675.00	1,852.59	6,019.22
Street Lighting Principal and Interest	83120	16,982.87	9,553.99	3,821.60	2,625.21	1,295.60	4,571.15	38,850.41	13,098.50	4,641.70	699.44	18,630.39	4,532.90	3,487.18	11,508.87	3,942.27	12,390.51
Miscellaneous/Contingency	61960	8,601.36	4,838.83	1,935.53	1,329.60	656.18	2,315.16	19,676.67	4,280.84	2,843.76	22.28	2,864.43	49.50	59.96	164.67	92.27	1,346.40
Other Contingencies	62320	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Transfer to Vehicle Fund		643.52	362.01	144.81	99.48	49.09	173.21	1,472.13	670.37	120.87	263.54	1,371.13	132.27	230.26	918.36	400.03	670.47
Direct Costs (Subtotal)		\$172,715.51	\$93,343.90	\$37,337.59	\$25,648.68	\$12,658.17	\$44,660.79	\$386,364.63	\$215,084.14	\$38,121.31	\$79,590.31	\$460,333.93	\$49,584.14	\$85,462.72	\$332,444.48	\$184,167.07	\$216,580.06
ADMINISTRATION & PERSONNEL COSTS																	
District Administration Personnel	50120	\$84,828.27	\$47,720.63	\$19,089.28	\$13,113.00	\$6,471.42	\$22,832.84	\$194,055.45	\$87,934.47	\$16,243.83	\$34,265.94	\$179,235.37	\$17,611.47	\$30,388.44	\$120,091.84	\$52,380.08	\$88,588.89
District Administration Contract Services	60480	4,042.97	2,274.44	909.78	624.96	308.43	1,088.22	9,248.80	4,573.80	3,859.90	5,342.70	6,030.20	3,606.90	3,337.40	4,424.20	3,373.70	5,094.10
District Administration Overhead Allocation	61600	22,919.03	12,893.23	5,157.57	3,542.89	1,748.46	6,169.01	52,430.19	23,754.98	4,391.14	9,254.43	48,414.65	4,759.63	8,210.67	32,439.27	14,149.46	23,936.66
County per Parcel Fee	60520	367.20	206.58	82.63	56.76	28.01	98.84	840.03	302.67	215.83	368.19	464.97	241.41	146.26	324.46	165.31	399.28
TOTAL ADMIN		\$112,157.48	\$63,094.88	\$25,239.26	\$17,337.61	\$8,556.33	\$30,188.90	\$256,574.47	\$116,565.92	\$24,710.70	\$49,231.26	\$234,145.19	\$26,219.41	\$42,082.76	\$157,279.76	\$70,068.55	\$118,018.93
COLLECTIONS/(CREDITS) APPLIED TO LEVY																	
TOTAL DIRECT AND ADMIN COSTS		\$284,872.99	\$156,438.78	\$62,576.85	\$42,986.29	\$21,214.49	\$74,849.69	\$642,939.10	\$331,650.06	\$62,832.01	\$128,827.57	\$694,479.12	\$75,803.54	\$127,545.49	\$489,724.25	\$254,235.62	\$334,598.99
Reserve Collection/(Transfer)		4,359.47	6,271.89	2,511.57	1,723.75	850.63	3,001.76	18,719.07	(10,263.87)	(3,466.96)	(3,585.15)	(39,398.03)	(11,436.47)	(16,479.68)	(50,812.13)	(62,794.95)	(10,813.00)
Capital Improvements		20,801.07	11,701.98	4,680.79	3,215.42	1,586.88	5,598.86	47,585.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Capital Improvement Fund Collection/(Transfer)		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
General Fund (Contribution) to cover budget shortfall		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
General Benefit (Contribution)		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL ADJUSTMENTS		25,160.53	17,973.87	7,192.37	4,939.17	2,437.51	8,600.62	66,304.07	(10,263.87)	(3,466.96)	(3,585.15)	(39,398.03)	(11,436.47)	(16,479.68)	(50,812.13)	(62,794.95)	(10,813.00)
Balance to Levy (Budgeted) ⁽¹⁾		\$310,033.53	\$174,412.65	\$69,769.22	\$47,925.46	\$23,652.00	\$83,450.31	\$709,243.17	\$321,386.19	\$59,365.05	\$125,242.42	\$655,081.09	\$64,367.07	\$111,065.80	\$438,912.12	\$191,440.67	\$323,785.98
<small>⁽¹⁾ Totals may not foot due to rounding.</small>																	
Total Revenue at Maximum Rate		\$377,929.14	\$216,858.34	\$88,482.97	\$60,781.58	\$23,652.00	\$105,835.17	\$873,539.20	\$321,386.19	\$59,368.55	\$136,849.22	\$737,293.91	\$97,360.97	\$140,693.57	\$556,005.81	\$264,998.66	\$410,152.23
Variance above/(below) Maximum Revenue		(67,895.61)	(42,445.69)	(18,713.75)	(12,856.12)	0.00	(22,384.86)	(164,296.04)	0.00	(3,500)	(11,606.80)	(82,212.82)	(32,993.90)	(29,627.77)	(117,093.69)	(73,557.99)	(86,366.25)
Applied Charge*		\$310,034.10	\$174,414.68	\$69,769.26	\$47,925.00	\$23,652.00	\$83,449.44	\$709,244.48	\$321,384.96	\$59,364.00	\$125,238.96	\$655,085.64	\$64,366.76	\$111,066.36	\$438,911.16	\$191,441.34	\$323,787.91
<small>Slight variances may exist due to County's even penny requirement.</small>																	
DISTRICT STATISTICS																	
Total Parcels		942	426	178	129	117	197	1,967	546	304	808	1,051	228	142	559	189	809
Total Parcels Levied		901	418	167	125	108	188	1,907	522	300	693	942	206	122	638	171	773
Total Equivalent Benefit Units		901.00	418.00	167.00	125.00	108.00	188.00	1,907.00	522.00	300.00	693.00	942.00	206.00	122.00	538.00	171.00	784.56
Proposed Levy per Benefit Unit		\$344.10	\$417.26	\$417.78	\$383.40	\$219.00	\$443.88	\$219.00	\$197.88	\$197.88	\$180.72	\$695.42	\$312.46	\$910.38	\$815.82	\$1,119.54	\$412.70
Applied Levy per Benefit Unit		\$344.10	\$417.26	\$417.78	\$383.40	\$219.00	\$443.88	\$219.00	\$197.88	\$197.88	\$180.72	\$695.42	\$312.46	\$910.38	\$815.82	\$1,119.54	\$412.70
Maximum Levy per Benefit Unit (Prior Fiscal Year)		\$411,230.59	\$508,627.31	\$519,449.17	\$476,718.29	\$219,000.00	\$551,914.74	\$597,749.65	\$192,131.22	\$191,721.96	\$191,721.96	\$759,893.13	\$458,860.26	\$1,119,636.89	\$1,003,367.04	\$1,504,562.90	\$507,553.38
Maximum Levy per Benefit Unit (Current Fiscal Year)		\$419,455.20	\$516,799.66	\$529,838.15	\$486,252.66	\$219,000.00	\$562,933.04	\$615,682.35	\$197,895.16	\$197,473.82	\$197,473.82	\$782,689.92	\$472,626.07	\$1,153,226.00	\$1,033,468.05	\$1,549,699.79	\$522,779.98
Inflationary Factor Applied to Maximum Rate		2.00%	2.00%	2.00%	2.00%	0.00%	2.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%
FUND BALANCE INFORMATION																	
Estimated Beginning Reserve Fund Balance		\$138,077.03	\$71,947.50	\$28,776.85	\$19,769.40	\$9,756.62	\$34,423.08		\$32,865.86	\$34,882.97	\$38,674.41	\$386,637.59	\$49,338.24	\$55,134.08	\$129,234.24	\$150,548.80	\$178,112.50
Reserve Fund Adjustments		4,359.47	6,271.89	2,511.57	1,723.75	850.63	3,001.76		(10,263.87)	(3,466.96)	(3,585.15)	(39,398.03)	(11,436.47)	(16,479.68)	(50,812.13)	(62,794.95)	(10,813.00)
Anticipated Reserve Balance		\$142,436.50	\$78,219.39	\$31,288.43	\$21,493.15	\$10,607.25	\$37,424.84		\$22,601.99	\$31,416.01	\$35,089.26	\$347,239.56	\$37,901.77	\$38,654.40	\$78,422.11	\$87,753.85	\$167,299.49
Percentage of Reserve Fund to Direct Costs		82.47%	83.80%	83.80%	83.80%	83.80%	83.80%		82.41%	82.41%	44.09%	75.43%	76.44%	45.23%	23.59%	47.65%	77.25%
Percentage of Reserve Fund to Direct and Admin Costs		50.00%	50.00%	50.00%	50.00%	50.00%	50.00%		50.00%	50.00%	27.24%	50.00%	50.00%	30.31%	16.01%	34.52%	50.00%
Beginning CIP Fund Balance		\$569,376.56	\$251,931.77	\$104,952.22	\$78,140.44	\$78,379.21	\$115,443.53		\$0.00	\$12,123.50	\$0.00	\$140,341.48	\$80,741.93	\$0.00	\$0.00	\$0.00	\$385,737.75
CIP Fund Adjustments		0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Anticipated CIP Balance**		\$569,376.56	\$251,931.77	\$104,952.22	\$78,140.44	\$78,379.21	\$115,443.53		\$0.00	\$12,123.50	\$0.00	\$140,341.48	\$80,741.93	\$0.00	\$0.00	\$0.00	\$385,737.75
<small>**CIP funds are used to upgrade to certain improvements.</small>																	
HISTORICAL APPLIED RATES																	
Fiscal Year 2024/25		344.10	417.26	417.76	383.40	219.00	443.88		597.74	192.12	175.46	695.42	312.46	910.38	815.82	1,119.54	400.66
Fiscal Year 2023/24		344.10	417.26	417.76	383.40	219.00	443.88		580.32	186.52	170.34	675.16	312.46	883.88	769.00	994.70	389.00
Fiscal Year 2022/23		344.10	417.24	417.76	383.40	219.00	443.88		563.42	181.10	130.54	675.16	312.46	740.22	724.84	883.76	298.14
Fiscal Year 2021/22		344.10	417.24	417.76	383.40	219.00	443.88		547.02	175.82	130.54	675.16	312.46	718.66	724.84	883.76	298.14
Fiscal Year 2020/21		337.34	417.24	417.76	383.40	219.00	443.88		531.06	170.76	130.54	675.16	312.46	687.66	683.		

City of Murrieta
Consolidated Landscaping and Lighting District Budget
Fiscal Year 2025/26

DIRECT COSTS	Zone 22	Zone 23	Zone 24	Zone 25a	Zone 25b	Zone 25 Total	Zone 26	Zone 27	Zone 28	Zone 29	Zone 30	Zone 31	Zone Grand Total
Operation and Maintenance													
Contract Services Street Lights	60480	\$88.00	\$957.00	\$330.00	\$497.80	\$74.20	\$572.00	\$308.00	\$484.00	\$308.00	\$0.00	\$9,385.00	\$46,070.00
Electric	64520	0.00	1,190.31	190.53	6,930.00	577.50	7,507.50	576.64	401.05	25.30	0.00	190.00	42,257.74
Water	64660	0.00	59,262.89	16,605.60	64,969.30	21,656.80	86,626.10	1,920.60	12,733.88	15,159.38	1,702.80	3,520.00	1,282,224.49
Facility Lease	61910	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	6,790.30
Building Maintenance	62000	0.00	0.00	0.00	30,799.74	0.00	30,799.74	0.00	0.00	0.00	0.00	0.00	47,494.52
Landscape Maintenance	62040	0.00	66,885.95	4,471.71	173,875.00	25,918.68	199,793.69	1,339.15	39,291.56	21,409.94	1,058.01	0.00	1,846,498.06
Street Lighting Energy Costs	64560	183.05	2,652.96	884.64	1,376.81	205.23	884.64	1,376.81	1,414.43	496.13	0.00	595.00	89,497.68
Street Lighting Principal and Interest	83120	381.51	5,595.48	1,843.96	3,303.30	428.93	3,732.23	1,716.79	2,861.32	1,716.79	0.00	0.00	215,607.09
Miscellaneous/Contingency	61960	1,074.20	1,969.00	13.20	1,483.82	221.18	1,705.00	16.50	5,956.50	6,211.70	687.00	990.00	54,096.75
Other Contingencies	62320	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Transfer to Vehicle Fund		15.65	412.14	79.52	668.36	99.63	767.99	24.85	193.20	155.63	19.71	138.97	10,648.61
Direct Costs (Subtotal)	\$1,742.42	\$138,925.73	\$24,419.17	\$283,904.11	\$49,182.17	\$333,086.28	\$6,215.22	\$63,511.53	\$45,858.61	\$3,492.82	\$0.00	\$35,758.97	\$3,641,185.25
ADMINISTRATION & PERSONNEL COSTS													
District Administration Personnel	50120	\$2,080.02	\$54,169.84	\$10,554.12	\$87,044.37	\$12,975.79	\$100,020.16	\$3,451.81	\$25,440.00	\$20,290.51	\$2,555.88	\$0.00	\$14,404,820.41
District Administration Contract Services	60480	2,877.00	3,559.60	2,918.30	1,429.45	1,429.45	2,858.90	2,871.00	2,843.50	2,712.60	2,252.80	0.00	121,057.00
District Administration Overhead Allocation	61600	562.11	14,634.48	2,852.07	23,509.75	3,504.62	27,014.37	933.96	6,873.21	5,480.42	690.23	0.00	6,619,460.00
County per Parcel Fee	60520	140.04	308.65	141.99	318.14	47.42	365.56	136.16	142.76	135.76	102.73	0.00	7,660.81
TOTAL ADMIN	\$5,659.17	\$72,672.57	\$16,466.48	\$112,301.71	\$17,957.28	\$130,259.00	\$7,392.93	\$35,299.46	\$28,619.29	\$5,601.64	\$0.00	\$30,697.66	\$1,913,555.41
COLLECTIONS/(CREDITS) APPLIED TO LEVY													
TOTAL DIRECT AND ADMIN COSTS	\$7,401.59	\$211,598.30	\$40,885.65	\$396,205.83	\$67,139.45	\$463,345.28	\$13,608.14	\$98,810.99	\$74,477.90	\$9,094.46	\$0.00	\$66,456.63	\$5,554,746.65
Reserve Collection/(Transfer)	200.56	(13,616.36)	(2,312.86)	(78,076.02)	(16,828.55)	(94,904.57)	(993.33)	(5,831.95)	(318.99)	246.96	0.00	1,787.59	(391,096.77)
Capital Improvements	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	47,585.00
Capital Improvement Fund Collection/(Transfer)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
General Fund (Contribution) to cover budget shortfall	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	(90,575.50)
General Benefit (Contribution)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	(1,790.80)	(1,790.80)
TOTAL ADJUSTMENTS	200.56	(13,616.36)	(2,312.86)	(78,076.02)	(16,828.55)	(94,904.57)	(993.33)	(5,831.95)	(318.99)	246.96	0.00	(3.21)	(435,882.07)
Balance to Levy (Budgeted) ⁽¹⁾	\$7,602.15	\$197,981.94	\$38,572.79	\$318,129.81	\$50,310.91	\$368,440.71	\$12,614.81	\$92,979.05	\$74,158.91	\$9,341.41	\$0.00	\$66,453.42	\$5,118,864.58
⁽¹⁾ Totals may not foot due to rounding.													
Total Revenue at Maximum Rate	\$8,065.12	\$308,449.41	\$38,573.59	\$337,507.31	\$50,310.91	\$387,818.21	\$16,954.60	\$140,639.15	\$122,572.71	\$10,248.17	\$20,862.48	\$66,456.63	\$6,116,777.23
Variance above/(below) Maximum Revenue	(462.97)	(110,467.47)	(0.80)	(19,377.50)	(0.00)	(19,377.50)	(4,339.79)	(47,660.10)	(48,413.80)	(906.78)	(20,862.48)	(3.21)	(997,912.64)
Applied Charge*	\$7,602.32	\$197,980.48	\$38,572.50	\$318,129.80	\$50,310.91	\$368,440.71	\$12,614.40	\$92,978.66	\$74,158.90	\$9,341.40	\$0.00	\$66,453.42	\$5,118,858.51
Slight variances may exist due to County's even penny requirement.													
DISTRICT STATISTICS													
Total Parcels	106	597	114	539	15	554	96	121	105	13	79	396	12,621
Total Parcels Levied	106	556	111	505	10	515	96	113	95	10	0	286	11,726
Total Equivalent Benefit Units	106.00	556.00	111.00	505.00	123.43	628.43	96.00	113.00	95.00	10.00	64.00	321.00	11,935.30
Proposed Levy per Benefit Unit	\$71.72	\$356.08	\$347.50	\$629.96	\$407.62	\$822.82	\$131.40	\$822.82	\$780.62	\$934.14	\$0.00	\$207.02	\$1,936,685.47
Applied Levy per Benefit Unit	\$71.72	\$356.08	\$347.50	\$629.96	\$407.62	\$822.82	\$131.40	\$822.82	\$780.62	\$934.14	\$0.00	\$207.02	\$1,936,685.47
Maximum Levy per Benefit Unit (Prior Fiscal Year)	\$73.86995	\$538.60692	\$337.38816	\$648.86534	\$395.74769	\$822.82	\$171.46641	\$1,208.34395	\$1,252.65926	\$994.96796	\$316.48182	\$201.00000	\$2,327,782.24
Maximum Levy per Benefit Unit (Current Fiscal Year)	\$76.08605	\$554.75513	\$347.50983	\$668.33130	\$407.62002	\$822.82	\$176.61041	\$1,244.59427	\$1,230.23904	\$1,024.81700	\$325.97628	\$207.03000	\$1,936,685.47
Inflationary Factor Applied to Maximum Rate	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%
FUND BALANCE INFORMATION													
Estimated Beginning Reserve Fund Balance	\$3,500.24	\$119,415.51	\$12,557.38	\$276,178.93	\$16,828.55	\$16,828.55	\$7,797.40	\$55,237.44	\$28,999.29	\$4,300.27	\$0.00	\$2,043.51	\$2,327,782.24
Reserve Fund Adjustments	200.56	(13,616.36)	(2,312.86)	(78,076.02)	(16,828.55)	(94,904.57)	(993.33)	(5,831.95)	(318.99)	246.96	0.00	1,787.59	(391,096.77)
Anticipated Reserve Balance	\$3,700.80	\$105,799.15	\$10,244.52	\$198,102.91	\$0.00	\$0.00	\$6,804.07	\$49,405.50	\$28,680.30	\$4,547.23	\$0.00	\$3,831.10	\$1,936,685.47
Percentage of Reserve Fund to Direct Costs	212.39%	76.16%	41.95%	69.78%	0.00%	0.00%	109.47%	77.79%	62.54%	130.19%	N/A	10.71%	53.19%
Percentage of Reserve Fund to Direct and Admin Costs	50.00%	50.00%	25.06%	50.00%	0.00%	0.00%	50.00%	50.00%	38.51%	50.00%	N/A	5.76%	34.87%
Beginning CIP Fund Balance	\$5,718.68	\$195,313.34	\$0.00	\$142,679.47	\$0.00	\$0.00	\$20,037.83	\$239,408.45	\$0.00	\$9,559.05	\$0.00	\$0.00	\$2,602,819.22
CIP Fund Adjustments	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Anticipated CIP Balance**	\$5,718.68	\$195,313.34	\$0.00	\$142,679.47	\$0.00	\$0.00	\$20,037.83	\$239,408.45	\$0.00	\$9,559.05	\$0.00	\$0.00	\$2,602,819.22
**CIP funds are used to upgrade to certain improvements.													
HISTORICAL APPLIED RATES													
Fiscal Year 2024/25	69.62	356.08	337.38	593.80	362.16		131.40	822.82	714.38	906.92	0.00	201.00	
Fiscal Year 2023/24	69.62	356.08	327.56	497.30	303.30		123.86	822.82	714.38	906.92	0.00	N/A	
Fiscal Year 2022/23	69.62	356.08	318.02	381.14	232.46		123.86	822.82	714.36	906.92	0.00	N/A	
Fiscal Year 2021/22	67.60	356.08	299.76	381.14	232.46		123.86	822.82	653.74	906.92	0.00	N/A	
Fiscal Year 2020/21	63.72	345.70	282.54	381.14	232.46		123.86	753.00	563.94	854.86	0.00	N/A	
Fiscal Year 2019/20	61.86	335.64	282.54	381.14	226.16		123.86	753.00	531.56	829.96	0.00	N/A	
Fiscal Year 2018/19	60.06	335.64	274.32	381.14	232.46		123.86	753.00	516.08	805.80	0.00	N/A	
Change In Rates													
	3.02%	0.00%	3.00%	6.09%	12.55%		0.00%	0.00%	9.27%	3.00%	N/A	3.00%	

Appendix A – Consolidated District Boundary Maps

The voluminous Boundary Diagrams for the Zones have previously been submitted to the Clerk of the City in the format required under the 1972 Act and are made part of this Report by reference.

The parcel identification, lines and dimensions of each parcel within the District are those lines and dimensions shown on the Assessor Maps of Riverside County for the year in which this Report was prepared and is incorporated by reference and made part of this Report.

Appendix B – Assessment Roll

Parcel identification, for each lot or parcel within the Consolidated District, shall be the parcel as shown on the Riverside County Assessor's parcel maps for the year in which this Report is prepared.

Non-levied lots or parcels include areas of public streets and other roadways (typically not assigned an APN by the County); dedicated public easements, open space areas and rights-of-ways including public greenbelts and parkways; utility rights-of-way; common areas (such as in condominium complexes); landlocked parcels, small parcels vacated by the County, bifurcated lots, and any other property that cannot be developed; and park properties and other publicly owned, government-owned, public utility-owned properties that have little or no improvement value. These types of parcels are considered to receive little or no benefit from the improvements and are therefore exempted from rates and charges.

The land use classification for each parcel has been based on the Riverside County Assessor's Roll or updated data provided by the City. A listing of parcels charged within this Consolidated District, along with the proposed levy amount has been submitted to the City Clerk, under a separate cover, and by reference is made part of this Report.

At the conclusion of the public hearing for the Consolidated District, the City Council may amend this Report or approve the Report as submitted. Approval of the Report (as submitted or as modified) confirms the method of apportionment and the rates and charges to be levied against each eligible parcel and thereby constitutes the approved levy for fiscal year 2025/2026. The listing of parcels and the amount of charges to be levied shall be submitted to the County Auditor/Controller and included on the property tax roll for each parcel in fiscal year 2025/2026.

If any parcel submitted for collection is identified by the County Auditor/Controller to be an invalid parcel number for the current fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment and rates approved in this Report. Therefore, if a single parcel has changed to multiple parcels, the levy amount applied to each of the new parcels shall be recalculated and applied according to the approved method of apportionment and rate rather than a proportionate share of the original charge.

A copy of the Fiscal Year 2025/2026 Consolidated Lighting and Landscape District Preliminary Assessment Roll is on file with the Clerk of the City and is made part of this Report by reference.

City of Murrieta
Murrieta Landscaping and Lighting District No. 01 (Copper Canyon)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-581-001	37854 OXFORD DR	SFR	1.00	\$545.40	\$545.40
904-581-002	37862 OXFORD DR	SFR	1.00	545.40	545.40
904-581-003	37870 OXFORD DR	SFR	1.00	545.40	545.40
904-581-004	37867 OXFORD DR	SFR	1.00	545.40	545.40
904-581-005	37859 OXFORD DR	SFR	1.00	545.40	545.40
904-581-006	37851 OXFORD DR	SFR	1.00	545.40	545.40
904-581-007	23445 BRISTOL WAY	SFR	1.00	545.40	545.40
904-581-008	23437 BRISTOL WAY	SFR	1.00	545.40	545.40
904-581-009	23429 BRISTOL WAY	SFR	1.00	545.40	545.40
904-581-010	23426 BRISTOL WAY	SFR	1.00	545.40	545.40
904-581-011	23434 BRISTOL WAY	SFR	1.00	545.40	545.40
904-581-012	23442 BRISTOL WAY	SFR	1.00	545.40	545.40
904-581-013	23450 BRISTOL WAY	SFR	1.00	545.40	545.40
904-581-014	37835 OXFORD DR	SFR	1.00	545.40	545.40
904-581-015	37819 OXFORD DR	SFR	1.00	545.40	545.40
904-581-016	37801 OXFORD DR	SFR	1.00	545.40	545.40
904-581-017	37795 OXFORD DR	SFR	1.00	545.40	545.40
904-581-018	23501 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-019	23495 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-020	23487 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-021	23479 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-022	23471 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-023	23463 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-024	23455 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-025	23447 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-026	23439 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-027	23431 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-028	23423 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-029	23415 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-030	23407 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-031	23400 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-032	23408 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-033	23416 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-034	23424 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-035	23440 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-036	23456 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-037	23472 CANTERBURY LN	SFR	1.00	545.40	545.40
904-581-038	23480 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-039	23496 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-581-040	23504 CANTERBURY WAY	SFR	1.00	545.40	545.40
904-582-001	37750 OXFORD DR	SFR	1.00	545.40	545.40
904-582-002	37758 OXFORD DR	SFR	1.00	545.40	545.40
904-582-003	37766 OXFORD DR	SFR	1.00	545.40	545.40
904-582-004	37774 OXFORD DR	SFR	1.00	545.40	545.40
904-582-005	37782 OXFORD DR	SFR	1.00	545.40	545.40
904-582-006	37790 OXFORD DR	SFR	1.00	545.40	545.40
904-582-007	37798 OXFORD DR	SFR	1.00	545.40	545.40
904-582-008	37806 OXFORD DR	SFR	1.00	545.40	545.40
904-582-009	37814 OXFORD DR	SFR	1.00	545.40	545.40
904-582-010	37822 OXFORD DR	SFR	1.00	545.40	545.40
904-582-011	37830 OXFORD DR	SFR	1.00	545.40	545.40
904-582-012	37838 OXFORD DR	SFR	1.00	545.40	545.40
904-591-001	23487 DOVER CT	SFR	1.00	545.40	545.40
904-591-002	23479 DOVER CT	SFR	1.00	545.40	545.40

City of Murrieta
Murrieta Landscaping and Lighting District No. 01 (Copper Canyon)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-591-003	23471 DOVER CT	SFR	1.00	545.40	545.40
904-591-004	23463 DOVER CT	SFR	1.00	545.40	545.40
904-591-005	23466 DOVER CT	SFR	1.00	545.40	545.40
904-591-006	23474 DOVER CT	SFR	1.00	545.40	545.40
904-591-007	37725 OXFORD DR	SFR	1.00	545.40	545.40
904-591-008	37717 OXFORD DR	SFR	1.00	545.40	545.40
904-591-009	37709 OXFORD DR	SFR	1.00	545.40	545.40
904-591-010	37701 OXFORD DR	SFR	1.00	545.40	545.40
904-591-011	37693 OXFORD DR	SFR	1.00	545.40	545.40
904-591-012	37685 OXFORD DR	SFR	1.00	545.40	545.40
904-591-013	37669 OXFORD DR	SFR	1.00	545.40	545.40
904-591-014	37651 OXFORD DR	SFR	1.00	545.40	545.40
904-591-015	23200 KENT CT	SFR	1.00	545.40	545.40
904-591-016	23208 KENT CT	SFR	1.00	545.40	545.40
904-591-017	23262 KENT CT	SFR	1.00	545.40	545.40
904-591-018	23270 KENT CT	SFR	1.00	545.40	545.40
904-591-019	23278 KENT CT	SFR	1.00	545.40	545.40
904-591-020	23275 KENT CT	SFR	1.00	545.40	545.40
904-591-021	23267 KENT CT	SFR	1.00	545.40	545.40
904-591-022	23259 KENT CT	SFR	1.00	545.40	545.40
904-591-023	23251 KENT CT	SFR	1.00	545.40	545.40
904-591-024	23243 KENT CT	SFR	1.00	545.40	545.40
904-591-025	23235 KENT CT	SFR	1.00	545.40	545.40
904-591-026	23227 KENT CT	SFR	1.00	545.40	545.40
904-591-027	23217 KENT CT	SFR	1.00	545.40	545.40
904-591-028	23211 KENT CT	SFR	1.00	545.40	545.40
904-591-029	37621 OXFORD DR	SFR	1.00	545.40	545.40
904-591-030	37613 OXFORD CT	SFR	1.00	545.40	545.40
904-591-031	37605 OXFORD DR	SFR	1.00	545.40	545.40
904-591-032	37608 OXFORD DR	SFR	1.00	545.40	545.40
904-591-033	37616 OXFORD DR	SFR	1.00	545.40	545.40
904-591-034	37624 OXFORD DR	SFR	1.00	545.40	545.40
904-591-035	37632 OXFORD DR	SFR	1.00	545.40	545.40
904-591-036	37640 OXFORD DR	SFR	1.00	545.40	545.40
904-591-037	37648 OXFORD DR	SFR	1.00	545.40	545.40
904-591-038	37657 OXFORD DR	SFR	1.00	545.40	545.40
904-591-039	37664 OXFORD DR	SFR	1.00	545.40	545.40
904-591-040	37672 OXFORD DR	SFR	1.00	545.40	545.40
904-591-041	37688 OXFORD DR	SFR	1.00	545.40	545.40
904-592-001	37700 OXFORD DR	SFR	1.00	545.40	545.40
904-592-003	37718 OXFORD DR	SFR	1.00	545.40	545.40
904-592-004	37728 OXFORD DR	SFR	1.00	545.40	545.40
904-592-005	37734 OXFORD DR	SFR	1.00	545.40	545.40
904-592-006	37742 OXFORD DR	SFR	1.00	545.40	545.40
904-601-001	37724 AMBER LN	SFR	1.00	545.40	545.40
904-601-002	37730 AMBER LN	SFR	1.00	545.40	545.40
904-601-003	37736 AMBER LN	SFR	1.00	545.40	545.40
904-601-004	23730 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-005	23734 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-006	23740 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-007	23746 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-008	23752 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-009	23758 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-010	23764 SCARLET OAK DR	SFR	1.00	545.40	545.40

City of Murrieta
Murrieta Landscaping and Lighting District No. 01 (Copper Canyon)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-601-011	23770 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-012	23776 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-013	23782 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-014	23788 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-015	23794 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-016	23800 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-017	23806 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-018	23812 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-019	23818 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-020	23824 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-021	23830 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-022	23836 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-023	23842 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-024	23850 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-025	23856 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-026	23862 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-027	23868 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-028	23874 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-029	23880 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-601-030	23823 ASPEN DR	SFR	1.00	545.40	545.40
904-601-031	23817 ASPEN DR	SFR	1.00	545.40	545.40
904-601-032	23811 ASPEN DR	SFR	1.00	545.40	545.40
904-601-033	23805 ASPEN DR	SFR	1.00	545.40	545.40
904-601-034	23799 ASPEN DR	SFR	1.00	545.40	545.40
904-601-035	23793 ASPEN DR	SFR	1.00	545.40	545.40
904-601-036	23787 ASPEN DR	SFR	1.00	545.40	545.40
904-601-038	23775 ASPEN DR	SFR	1.00	545.40	545.40
904-601-039	23769 ASPEN DR	SFR	1.00	545.40	545.40
904-601-040	23763 ASPEN DR	SFR	1.00	545.40	545.40
904-601-041	23757 ASPEN DR	SFR	1.00	545.40	545.40
904-601-042	23751 ASPEN DR	SFR	1.00	545.40	545.40
904-601-043	23745 ASPEN DR	SFR	1.00	545.40	545.40
904-601-044	23739 ASPEN DR	SFR	1.00	545.40	545.40
904-601-045	23733 ASPEN DR	SFR	1.00	545.40	545.40
904-601-046	23727 ASPEN DR	SFR	1.00	545.40	545.40
904-601-047	23721 ASPEN DR	SFR	1.00	545.40	545.40
904-602-001	37727 AMBER LN	SFR	1.00	545.40	545.40
904-602-002	37733 AMBER LN	SFR	1.00	545.40	545.40
904-602-003	37739 AMBER LN	SFR	1.00	545.40	545.40
904-602-004	37745 AMBER LN	SFR	1.00	545.40	545.40
904-602-005	37751 AMBER LN	SFR	1.00	545.40	545.40
904-602-006	37757 AMBER LN	SFR	1.00	545.40	545.40
904-602-007	37763 AMBER LN	SFR	1.00	545.40	545.40
904-602-008	37769 AMBER LN	SFR	1.00	545.40	545.40
904-602-009	37775 AMBER LN	SFR	1.00	545.40	545.40
904-602-010	37781 AMBER LN	SFR	1.00	545.40	545.40
904-602-011	37787 AMBER LN	SFR	1.00	545.40	545.40
904-602-012	37793 AMBER LN	SFR	1.00	545.40	545.40
904-602-013	37799 AMBER LN	SFR	1.00	545.40	545.40
904-603-001	23879 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-002	23871 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-003	23861 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-004	23851 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-005	23839 SCARLET OAK DR	SFR	1.00	545.40	545.40

City of Murrieta
Murrieta Landscaping and Lighting District No. 01 (Copper Canyon)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-603-006	23829 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-007	23821 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-008	23809 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-009	23797 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-010	23789 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-011	23781 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-012	23773 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-013	23761 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-014	23755 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-015	23749 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-016	23743 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-017	23737 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-018	23731 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-019	23725 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-020	23719 SCARLET OAK DR	SFR	1.00	545.40	545.40
904-603-021	37760 AMBER LN	SFR	1.00	545.40	545.40
904-603-022	37766 AMBER LN	SFR	1.00	545.40	545.40
904-603-023	37772 AMBER LN	SFR	1.00	545.40	545.40
904-603-024	37780 AMBER LN	SFR	1.00	545.40	545.40
904-603-025	37786 AMBER LN	SFR	1.00	545.40	545.40
904-603-026	37794 AMBER LN	SFR	1.00	545.40	545.40
904-603-027	37800 AMBER LN	SFR	1.00	545.40	545.40
904-603-030	37779 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-031	37771 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-032	37765 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-033	37759 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-034	37753 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-035	37747 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-036	37750 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-037	37756 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-038	37762 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-039	37768 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-040	37774 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-041	37780 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-042	37786 SPRUCE CT	SFR	1.00	545.40	545.40
904-603-043	23764 ASPEN DR	SFR	1.00	545.40	545.40
904-603-044	23770 ASPEN DR	SFR	1.00	545.40	545.40
904-603-045	23778 ASPEN DR	SFR	1.00	545.40	545.40
904-603-046	37787 ALDER CT	SFR	1.00	545.40	545.40
904-603-047	37781 ALDER CT	SFR	1.00	545.40	545.40
904-603-048	37775 ALDER CT	SFR	1.00	545.40	545.40
904-603-049	37769 ALDER CT	SFR	1.00	545.40	545.40
904-603-050	37763 ALDER CT	SFR	1.00	545.40	545.40
904-603-051	37757 ALDER CT	SFR	1.00	545.40	545.40
904-603-052	37751 ALDER CT	SFR	1.00	545.40	545.40
904-603-053	37754 ALDER CT	SFR	1.00	545.40	545.40
904-603-054	37760 ALDER CT	SFR	1.00	545.40	545.40
904-603-055	37766 ALDER CT	SFR	1.00	545.40	545.40
904-603-056	37772 ALDER CT	SFR	1.00	545.40	545.40
904-603-057	37778 ALDER CT	SFR	1.00	545.40	545.40
904-603-058	37784 ALDER CT	SFR	1.00	545.40	545.40
904-603-059	37790 ALDER CT	SFR	1.00	545.40	545.40
904-603-060	37796 ALDER CT	SFR	1.00	545.40	545.40
904-603-061	37791 SPRUCE CT	SFR	1.00	545.40	545.40

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-603-062	37785 SPRUCE CT	SFR	1.00	545.40	545.40
904-610-001	37592 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-002	37584 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-003	37576 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-004	37568 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-005	37560 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-006	37552 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-007	37544 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-008	37536 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-009	37528 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-010	37520 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-011	37512 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-012	37504 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-013	37496 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-014	37488 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-015	37493 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-017	37501 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-018	37509 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-019	37517 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-020	37541 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-021	37549 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-022	37557 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-023	37565 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-024	37573 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-025	37581 WINDSOR CT	SFR	1.00	545.40	545.40
904-610-026	37589 WINDSOR CT	SFR	1.00	545.40	545.40
904-620-001	38001 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-002	38005 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-003	38017 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-004	38029 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-005	38041 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-006	38053 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-007	38065 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-008	38077 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-012	38125 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-013	38137 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-014	38149 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-015	38136 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-016	38124 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-017	38112 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-018	38100 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-019	38088 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-020	38076 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-021	38064 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-022	38052 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-023	38040 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-029	38028 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-030	38016 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-031	38004 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-035	38089 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-036	38101 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-620-037	38113 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-630-001	38161 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-630-002	38173 MURRIETA CREEK DR	SFR	1.00	545.40	545.40

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904-630-003	38185 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-630-004	38197 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-630-005	38263 WILLOW CT	SFR	1.00	545.40	545.40
904-630-006	38285 WILLOW CT	SFR	1.00	545.40	545.40
904-630-007	38297 WILLOW CT	SFR	1.00	545.40	545.40
904-630-008	38309 WILLOW CT	SFR	1.00	545.40	545.40
904-630-009	38321 WILLOW CT	SFR	1.00	545.40	545.40
904-630-010	38333 WILLOW CT	SFR	1.00	545.40	545.40
904-630-011	38345 WILLOW CT	SFR	1.00	545.40	545.40
904-630-012	38357 WILLOW CT	SFR	1.00	545.40	545.40
904-630-013	38369 WILLOW CT	SFR	1.00	545.40	545.40
904-630-014	38381 WILLOW CT	SFR	1.00	545.40	545.40
904-630-015	38392 WILLOW CT	SFR	1.00	545.40	545.40
904-630-016	38368 WILLOW CT	SFR	1.00	545.40	545.40
904-630-017	38356 WILLOW CT	SFR	1.00	545.40	545.40
904-630-018	38344 WILLOW CT	SFR	1.00	545.40	545.40
904-630-019	38332 WILLOW CT	SFR	1.00	545.40	545.40
904-630-020	38320 WILLOW CT	SFR	1.00	545.40	545.40
904-630-021	38308 WILLOW CT	SFR	1.00	545.40	545.40
904-630-022	38296 WILLOW CT	SFR	1.00	545.40	545.40
904-630-023	38284 WILLOW CT	SFR	1.00	545.40	545.40
904-630-024	38272 WILLOW CT	SFR	1.00	545.40	545.40
904-630-025	38260 WILLOW CT	SFR	1.00	545.40	545.40
904-630-026	38248 WILLOW CT	SFR	1.00	545.40	545.40
904-630-027	38196 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-630-028	38184 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-630-029	38172 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-630-030	38160 MURRIETA CREEK DR	SFR	1.00	545.40	545.40
904-641-001	38098 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-002	38110 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-003	38122 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-004	38134 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-005	38146 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-006	38158 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-007	38170 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-008	38182 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-009	38194 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-010	38206 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-011	38218 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-012	38230 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-013	38242 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-014	38254 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-015	38266 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-016	23283 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-017	23271 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-018	23259 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-019	23247 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-641-021	23463 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-641-022	23451 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-641-023	23439 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-641-024	38263 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-025	38251 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-026	38239 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-027	38227 COPPERWOOD ST	SFR	1.00	545.40	545.40

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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-641-028	38215 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-029	38203 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-030	38191 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-031	38179 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-032	38167 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-033	38155 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-034	38143 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-035	38131 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-036	38119 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-037	38107 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-038	38095 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-039	38083 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-040	38071 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-041	38059 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-042	38047 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-043	23572 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-641-048	38023 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-642-001	23244 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-002	23256 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-003	38251 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-004	38239 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-005	38227 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-006	38215 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-007	38203 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-008	38191 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-009	38179 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-010	38167 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-011	38155 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-012	38143 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-013	38131 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-014	38119 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-015	38107 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-016	38095 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-642-017	38083 CLEAR CREEK ST	SFR	1.00	545.40	545.40
904-643-001	38048 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-002	38060 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-003	38142 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-004	38154 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-005	38166 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-006	38178 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-007	38190 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-008	38202 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-009	38214 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-010	38226 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-011	38238 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-643-012	38250 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-651-036	23687 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-037	23665 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-038	23643 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-039	23631 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-040	23619 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-041	23607 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-042	23595 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-043	23583 SILVERWOOD ST	SFR	1.00	545.40	545.40

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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-651-044	23571 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-045	23559 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-046	23547 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-047	23535 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-048	23511 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-049	23499 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-050	23487 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-651-051	23475 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-652-001	38036 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-652-002	38024 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-652-003	38010 COPPERWOOD ST	SFR	1.00	545.40	545.40
904-652-004	23568 ASH CT	SFR	1.00	545.40	545.40
904-652-005	23556 ASH CT	SFR	1.00	545.40	545.40
904-652-006	23544 ASH CT	SFR	1.00	545.40	545.40
904-652-007	23532 ASH CT	SFR	1.00	545.40	545.40
904-652-008	23520 ASH CT	SFR	1.00	545.40	545.40
904-652-009	23508 ASH CT	SFR	1.00	545.40	545.40
904-652-010	23519 ASH CT	SFR	1.00	545.40	545.40
904-652-011	23531 ASH CT	SFR	1.00	545.40	545.40
904-652-012	23543 ASH CT	SFR	1.00	545.40	545.40
904-652-013	38203 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-652-014	38215 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-652-015	38227 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-652-016	38239 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-652-017	38251 HAZELWOOD CT	SFR	1.00	545.40	545.40
904-652-018	23548 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-652-019	23536 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-652-020	38254 BIRCH CT	SFR	1.00	545.40	545.40
904-652-021	38241 BIRCH CT	SFR	1.00	545.40	545.40
904-652-022	38253 BIRCH CT	SFR	1.00	545.40	545.40
904-652-023	38265 BIRCH CT	SFR	1.00	545.40	545.40
904-653-001	38412 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-002	38154 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-003	38166 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-004	38178 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-005	38190 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-006	38202 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-007	38214 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-008	38226 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-009	38238 HAZELWOOD ST	SFR	1.00	545.40	545.40
904-653-010	38249 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-011	38237 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-012	38225 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-013	38213 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-014	38201 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-015	38189 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-016	38177 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-017	38165 SHERWOOD ST	SFR	1.00	545.40	545.40
904-653-018	38153 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-002	38066 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-003	38078 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-004	38090 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-005	38102 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-006	38114 SHERWOOD ST	SFR	1.00	545.40	545.40

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904-654-007	38126 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-008	38138 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-009	38150 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-010	38162 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-011	38174 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-012	38186 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-013	38198 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-014	38210 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-015	38222 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-016	38234 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-017	38246 SHERWOOD ST	SFR	1.00	545.40	545.40
904-654-022	38054 SHERWOOD ST	SFR	1.00	545.40	545.40
904-690-001	23333 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-002	23345 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-003	23357 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-004	23369 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-005	23381 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-006	23393 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-007	23396 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-008	23384 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-009	23372 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-010	23360 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-011	23348 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-012	23336 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-013	23324 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-014	23312 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-015	42764 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-016	42752 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-017	42740 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-018	42728 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-019	42729 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-020	42741 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-021	42753 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-022	42765 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-023	42777 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-024	42789 OAK VIEW LN	SFR	1.00	545.40	545.40
904-690-025	42801 OAK VIEW PL	SFR	1.00	545.40	545.40
904-690-026	23297 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-027	23309 WHITE OAK LN	SFR	1.00	545.40	545.40
904-690-028	23221 WHITE OAK LN	SFR	1.00	545.40	545.40
904-701-001	38294 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-002	38306 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-003	38318 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-004	38330 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-005	38354 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-006	38366 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-007	38367 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-008	38355 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-009	38331 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-010	38319 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-011	38307 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-012	38295 PINE CREEK PL	SFR	1.00	545.40	545.40
904-701-013	38296 MAPLE CT	SFR	1.00	545.40	545.40
904-701-014	38308 MAPLE CT	SFR	1.00	545.40	545.40

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904-701-015	38320 MAPLE CT	SFR	1.00	545.40	545.40
904-701-016	38332 MAPLE CT	SFR	1.00	545.40	545.40
904-701-017	38356 MAPLE CT	SFR	1.00	545.40	545.40
904-701-018	38357 MAPLE CT	SFR	1.00	545.40	545.40
904-701-019	38345 MAPLE CT	SFR	1.00	545.40	545.40
904-701-020	38333 MAPLE CT	SFR	1.00	545.40	545.40
904-701-021	38321 MAPLE CT	SFR	1.00	545.40	545.40
904-701-022	38289 SHADOW PL	SFR	1.00	545.40	545.40
904-701-023	38277 SHADOW CRK	SFR	1.00	545.40	545.40
904-701-024	38265 SHADOW CRK	SFR	1.00	545.40	545.40
904-701-025	23811 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-701-026	23799 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-701-027	23787 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-701-028	23775 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-701-029	23763 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-702-001	23766 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-702-002	23778 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-702-003	23790 SILVERWOOD ST	SFR	1.00	545.40	545.40
904-702-004	38241 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-005	38229 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-006	38217 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-007	38205 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-008	38193 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-009	38181 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-010	38169 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-011	38157 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-012	38145 SHADOW CRK	SFR	1.00	545.40	545.40
904-702-013	38133 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-001	38290 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-002	38278 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-003	38266 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-004	38254 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-005	38242 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-006	38230 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-007	38218 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-008	38206 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-009	38194 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-010	38182 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-011	38170 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-012	38158 SHADOW CRK	SFR	1.00	545.40	545.40
904-703-013	38148 SHADOW CRK	SFR	1.00	545.40	545.40
904-711-001	38239 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-002	38227 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-003	38215 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-004	38203 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-005	38191 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-006	38179 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-007	38167 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-008	38155 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-009	38143 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-010	38131 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-011	38119 PINE CREEK PL	SFR	1.00	545.40	545.40
904-711-012	38107 PINE CREEK DR	SFR	1.00	545.40	545.40
904-711-013	38095 PINE CREEK PL	SFR	1.00	545.40	545.40

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904-711-014	38083 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-001	38048 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-002	38060 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-003	38072 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-004	38084 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-005	38096 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-006	38108 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-007	23911 RIDGEVIEW LN	SFR	1.00	545.40	545.40
904-712-008	23923 RIDGEVIEW LN	SFR	1.00	545.40	545.40
904-712-009	23935 RIDGEVIEW LN	SFR	1.00	545.40	545.40
904-712-010	23959 RIDGEVIEW LN	SFR	1.00	545.40	545.40
904-712-011	23946 RIDGEVIEW LN	SFR	1.00	545.40	545.40
904-712-012	23934 RIDGEVIEW LN	SFR	1.00	545.40	545.40
904-712-013	38126 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-014	38132 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-015	38148 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-016	38156 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-017	38168 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-018	38180 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-019	38192 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-020	38204 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-021	38216 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-022	38228 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-023	38240 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-024	38252 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-025	38264 PINE CREEK PL	SFR	1.00	545.40	545.40
904-712-026	38276 PINE CREEK PL	SFR	1.00	545.40	545.40
904-721-001	23719 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-002	23735 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-003	23743 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-004	23751 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-005	23759 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-006	23767 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-007	23775 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-008	23783 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-009	23791 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-010	23799 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-011	23807 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-012	23815 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-013	23823 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-014	23831 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-015	23839 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-016	23847 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-017	23855 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-018	23863 VIAALISOL	SFR	1.00	545.40	545.40
904-721-019	23871 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-020	23879 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-021	23887 VIA ALISOL	SFR	1.00	545.40	545.40
904-721-022	23895 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-001	23794 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-002	23802 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-003	23810 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-004	23818 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-005	23826 VIA ALISOL	SFR	1.00	545.40	545.40

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904-722-006	23834 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-007	23842 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-008	23850 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-009	23858 VIA ALISOL	SFR	1.00	545.40	545.40
904-722-010	23866 VIA ALISOL	SFR	1.00	545.40	545.40
904-731-001	23903 VIA ALISOL	SFR	1.00	545.40	545.40
904-731-002	23911 VIA ALISOL	SFR	1.00	545.40	545.40
904-731-003	23919 VIA ALISOL	SFR	1.00	545.40	545.40
904-731-004	23927 VIA ALISOL	SFR	1.00	545.40	545.40
904-731-005	23935 VIA ALISOL	SFR	1.00	545.40	545.40
904-731-006	23908 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-731-007	23900 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-731-008	23892 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-732-001	24001 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-002	24005 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-003	24013 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-004	24021 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-005	24029 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-006	24037 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-007	24045 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-008	24053 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-009	24061 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-010	24058 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-011	24050 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-012	24042 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-013	24034 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-014	24026 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-015	24018 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-016	24010 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-017	24002 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-018	23978 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-019	23970 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-020	23962 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-021	23954 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-022	23938 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-023	23930 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-024	23922 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-025	23914 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-026	23906 VIA ALISOL	SFR	1.00	545.40	545.40
904-732-027	23997 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-028	23989 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-029	23981 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-030	23973 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-031	23965 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-032	23957 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-033	23949 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-034	23941 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-035	23933 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-036	23925 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-732-037	23917 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-733-001	23911 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-733-002	23903 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-733-003	23895 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-733-004	23887 CLOVERLEAF WAY	SFR	1.00	545.40	545.40

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904-733-005	23928 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-733-006	23936 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-733-007	23944 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-733-008	23952 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-733-009	23960 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-741-001	37901 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-002	37909 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-003	37917 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-004	37925 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-005	37933 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-006	37941 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-007	37949 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-008	37957 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-741-009	23655 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-010	23663 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-011	23671 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-012	23679 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-013	23687 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-014	23695 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-015	23703 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-016	23711 PEPPERLEAF CT	SFR	1.00	545.40	545.40
904-741-017	23719 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-018	23727 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-019	23735 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-020	23743 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-021	23751 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-022	23759 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-023	23767 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-024	23775 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-025	23783 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-741-026	23791 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-001	23796 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-002	23788 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-003	23780 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-004	23772 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-005	23764 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-006	23756 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-007	23748 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-008	23745 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-009	23753 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-010	23761 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-011	23769 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-012	23777 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-013	23785 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-014	23793 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-015	23816 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-016	23808 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-017	23805 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-018	23813 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-742-019	23798 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-020	23790 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-021	23782 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-022	38002 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-023	37978 GREENLEAF PL	SFR	1.00	545.40	545.40

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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-742-024	37966 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-025	37957 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-026	37969 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-027	37981 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-028	37993 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-029	38005 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-030	38017 GREENLEAF PL	SFR	1.00	545.40	545.40
904-742-031	23760 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-032	23752 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-033	23738 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-034	23726 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-035	23710 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-036	23702 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-037	23688 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-038	23674 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-742-039	37932 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-040	37924 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-041	37916 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-042	37908 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-043	37900 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-044	37892 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-045	37884 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-046	37876 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-047	37868 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-048	37860 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-049	37865 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-050	37873 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-051	37881 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-742-052	37889 AMBERLEAF CT	SFR	1.00	545.40	545.40
904-751-001	23805 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-002	23818 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-003	23821 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-004	23829 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-005	23837 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-006	23845 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-007	23853 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-008	23861 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-010	23877 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-011	23885 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-012	23893 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-013	23901 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-751-014	23909 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-001	37906 WOODLEAF ST	SFR	1.00	545.40	545.40
904-752-002	37914 WOODLEAF ST	SFR	1.00	545.40	545.40
904-752-003	37922 WOODLEAF ST	SFR	1.00	545.40	545.40
904-752-004	37930 WOODLEAF ST	SFR	1.00	545.40	545.40
904-752-005	37938 WOODLEAF ST	SFR	1.00	545.40	545.40
904-752-006	37946 WOODLEAF ST	SFR	1.00	545.40	545.40
904-752-007	37954 WOODLEAF ST	SFR	1.00	545.40	545.40
904-752-008	23836 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-009	23844 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-010	23852 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-011	23864 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-012	23880 PEPPERLEAF ST	SFR	1.00	545.40	545.40

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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-752-013	23894 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-014	23922 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-015	23940 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-016	23948 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-017	23956 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-018	23964 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-019	23972 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-752-020	23911 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-752-021	23903 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-752-022	23895 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-752-023	23887 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-752-024	23879 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-752-025	37936 SAWLEAF CT	SFR	1.00	545.40	545.40
904-752-026	37948 SAWLEAF CT	SFR	1.00	545.40	545.40
904-752-027	37960 SAWLEAF CT	SFR	1.00	545.40	545.40
904-752-028	37957 SAWLEAF CT	SFR	1.00	545.40	545.40
904-752-029	37945 SAWLEAF CT	SFR	1.00	545.40	545.40
904-752-030	37933 SAWLEAF PL	SFR	1.00	545.40	545.40
904-752-031	37921 SAWLEAF CT	SFR	1.00	545.40	545.40
904-752-032	37909 SAWLEAF CT	SFR	1.00	545.40	545.40
904-753-001	23815 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-002	23823 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-003	23831 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-004	23839 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-005	23847 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-006	23855 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-007	23863 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-008	23871 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-009	23879 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-010	23920 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-011	23912 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-012	23904 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-013	23896 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-014	23888 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-015	23880 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-016	23872 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-017	23864 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-018	23856 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-753-019	23848 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-001	23884 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-002	23876 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-003	23868 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-004	23860 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-005	23852 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-006	23844 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-007	23836 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-008	23828 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-010	23812 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-754-011	23804 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-755-001	23801 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-755-002	23809 CLOVERLEAF WAY	SFR	1.00	545.40	545.40
904-755-003	23832 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-755-004	23824 SILVERLEAF WAY	SFR	1.00	545.40	545.40
904-755-005	37907 WOODLEAF ST	SFR	1.00	545.40	545.40

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904-755-006	37915 WOODLEAF ST	SFR	1.00	545.40	545.40
904-755-007	37923 WOODLEAF ST	SFR	1.00	545.40	545.40
904-755-008	37931 WOODLEAF ST	SFR	1.00	545.40	545.40
904-755-009	37939 WOODLEAF ST	SFR	1.00	545.40	545.40
904-755-010	23814 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-755-011	23806 PEPPERLEAF ST	SFR	1.00	545.40	545.40
904-761-001	38052 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-002	38064 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-003	38076 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-004	38088 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-005	38100 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-006	38112 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-007	38124 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-008	38136 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-009	38148 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-010	38160 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-011	38172 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-012	38184 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-013	38196 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-014	38208 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-015	38220 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-016	38232 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-017	38244 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-761-018	38256 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-001	38073 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-002	38085 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-003	38097 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-004	38109 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-005	38121 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-006	38133 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-007	38145 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-008	38157 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-762-013	38169 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-763-001	38193 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-763-002	38205 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-763-003	38217 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-763-004	38229 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-763-005	38241 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-763-006	38253 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-763-007	38265 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-770-001	38208 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-002	38220 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-003	38232 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-004	38244 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-005	38256 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-006	38268 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-007	38279 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-008	38267 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-009	38255 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-010	38243 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-011	38231 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-012	38219 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-013	38207 CALLE CIPRES	SFR	1.00	545.40	545.40
904-770-014	38224 OAK BLUFF LN	SFR	1.00	545.40	545.40

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904-770-015	38236 OAK BLUFF LN	SFR	1.00	545.40	545.40
904-770-016	38248 OAK BLUFF LN	SFR	1.00	545.40	545.40
904-770-017	38260 OAK BLUFF LN	SFR	1.00	545.40	545.40
904-770-018	38249 OAK BLUFF LN	SFR	1.00	545.40	545.40
904-770-023	38219 OAK BLUFF LN	SFR	1.00	545.40	545.40
904-780-001	38277 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-780-002	38289 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-780-003	38301 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-780-004	38313 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-780-005	38325 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-780-006	38337 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-780-007	23246 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-008	23234 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-009	23222 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-024	23282 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-025	23270 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-026	23258 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-028	38322 PLACER CREEK ST	SFR	1.00	545.40	545.40
904-780-032	23197 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-034	23209 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-036	23221 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-038	23233 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-040	23245 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-042	23257 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-044	23269 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-046	23281 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-048	23293 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-050	23305 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-052	23294 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-055	23173 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-780-056	23185 SINGLE OAK WAY	SFR	1.00	545.40	545.40
904-790-001	NO SITUS AVAILABLE	PRD	1.00	545.40	545.40
904-790-002	23209 CALLE DEL OSO ORO	SFR	1.00	545.40	545.40
904-790-003	23221 CALLE DEL OSO ORO	SFR	1.00	545.40	545.40
904-790-004	23233 CALLE DEL OSO ORO	SFR	1.00	545.40	545.40
904-820-001	22735 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-012	22741 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-014	22747 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-016	22753 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-018	22759 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-020	22765 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-022	22771 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-024	22777 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-026	22783 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-028	22789 MONTANYA PL	SFR	1.00	545.40	545.40
904-820-030	22795 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-001	22807 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-002	22813 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-003	22819 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-004	22825 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-005	22831 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-006	22837 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-007	22843 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-008	22849 MONTANYA PL	SFR	1.00	545.40	545.40

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904-821-009	22855 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-010	22861 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-011	22867 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-012	22873 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-013	22879 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-014	22885 MONTANYA PL	SFR	1.00	545.40	545.40
904-821-015	22891 MONTANYA PL	SFR	1.00	545.40	545.40
904-822-001	22892 MONTANYA PL	SFR	1.00	545.40	545.40
904-822-002	22886 MONTANYA PL	SFR	1.00	545.40	545.40
904-822-003	22880 MONTANYA PL	SFR	1.00	545.40	545.40
904-822-004	22874 MONTANYA PL	SFR	1.00	545.40	545.40
904-822-005	22868 MONTANYA RD	SFR	1.00	545.40	545.40
904-822-006	22862 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-001	22897 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-002	22903 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-003	22909 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-004	22915 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-005	22921 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-006	22927 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-007	22933 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-008	22939 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-009	22945 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-010	22951 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-011	22957 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-012	22956 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-013	22950 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-014	22944 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-015	22938 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-016	22932 MONTANYA PL	SFR	1.00	545.40	545.40
904-830-017	37616 BOTANICA PL	SFR	1.00	545.40	545.40
904-830-018	37624 BOTANICA PL	SFR	1.00	545.40	545.40
904-830-019	37632 BOTANICA PL	SFR	1.00	545.40	545.40
904-830-020	22911 BELCARA PL	SFR	1.00	545.40	545.40
904-830-021	22917 BELCARA PL	SFR	1.00	545.40	545.40
904-830-022	22923 BELCARA PL	SFR	1.00	545.40	545.40
904-830-023	22929 BELCARA PL	SFR	1.00	545.40	545.40
904-830-024	22935 BELCARA PL	SFR	1.00	545.40	545.40
904-830-025	22941 BELCARA PL	SFR	1.00	545.40	545.40
904-830-027	22930 BELCARA PL	SFR	1.00	545.40	545.40
904-830-028	22924 BELCARA PL	SFR	1.00	545.40	545.40
904-830-029	22918 BELCARA PL	SFR	1.00	545.40	545.40
904-830-030	22912 BELCARA PL	SFR	1.00	545.40	545.40
904-830-031	22907 LONE OAK WAY	SFR	1.00	545.40	545.40
904-830-032	22913 LONE OAK WAY	SFR	1.00	545.40	545.40
904-830-033	22919 LONE OAK WAY	SFR	1.00	545.40	545.40
904-830-034	22925 LONE OAK WAY	SFR	1.00	545.40	545.40
904-830-035	22931 LONE OAK WAY	SFR	1.00	545.40	545.40
904-830-036	22937 LONE OAK WAY	SFR	1.00	545.40	545.40
904-830-039	22936 BELCARA PL	SFR	1.00	545.40	545.40
904-831-001	37760 BOTANICA PL	SFR	1.00	545.40	545.40
904-831-002	37752 BOTANICA PL	SFR	1.00	545.40	545.40
904-831-003	37744 BOTANICA PL	SFR	1.00	545.40	545.40
904-831-004	37736 BOTANICA PL	SFR	1.00	545.40	545.40
904-831-005	37728 BOTANICA PL	SFR	1.00	545.40	545.40

City of Murrieta
Murrieta Landscaping and Lighting District No. 01 (Copper Canyon)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-831-006	37720 BOTANICA PL	SFR	1.00	545.40	545.40
904-831-007	37712 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-001	37671 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-002	37663 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-003	37655 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-004	37647 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-005	37639 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-006	37631 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-007	37623 BOTANICA PL	SFR	1.00	545.40	545.40
904-832-008	37615 BOTANICA PL	SFR	1.00	545.40	545.40
Total			982.00	\$535,584.67	\$535,582.80
Parcels					982

City of Murrieta
Murrieta Landscaping and Lighting District No. 02 (Grizzly Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-411-001	23415 MOUNTAIN SONG LOOP	SFR	1.00	\$514.30	\$514.30
906-411-002	23419 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-411-003	23423 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-411-004	23427 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-411-005	41993 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-411-006	41989 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-411-007	41985 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-411-008	41981 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-411-009	41977 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-411-010	41973 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-412-001	23421 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-002	23417 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-003	23413 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-004	23409 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-005	23405 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-006	23401 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-007	23400 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-008	23404 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-009	23408 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-010	23412 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-011	23416 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-012	23420 ROUGE RIVER LN	SFR	1.00	514.30	514.30
906-412-013	23420 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-014	23416 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-015	23412 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-016	23408 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-017	23404 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-018	23400 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-019	23396 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-020	23392 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-021	23388 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-022	23384 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-023	23380 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-024	23376 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-025	23372 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-412-026	23397 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-027	23401 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-028	23405 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-029	23409 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-030	23413 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-031	23414 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-032	23410 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-033	23406 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-034	23402 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-412-035	23398 MOUNT ASHLAND CT	SFR	1.00	514.30	514.30
906-413-001	23365 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-002	23369 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-003	23373 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-004	23377 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-005	23381 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-006	23385 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-007	23389 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-008	41992 YUKON CT	SFR	1.00	514.30	514.30
906-413-009	41996 YUKON CT	SFR	1.00	514.30	514.30

City of Murrieta
Murrieta Landscaping and Lighting District No. 02 (Grizzly Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-413-010	42000 YUKON CT	SFR	1.00	514.30	514.30
906-413-011	42001 YUKON CT	SFR	1.00	514.30	514.30
906-413-012	41997 YUKON CT	SFR	1.00	514.30	514.30
906-413-013	41993 YUKON CT	SFR	1.00	514.30	514.30
906-413-014	23399 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-015	23403 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-413-016	23407 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-421-001	41960 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-002	41956 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-003	41952 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-004	41948 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-005	41944 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-006	41940 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-007	41934 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-008	41928 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-009	41924 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-010	41920 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-421-011	23356 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-421-012	23360 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-422-001	23361 MOUNTAIN SONG LOOP	SFR	1.00	514.30	514.30
906-422-002	23383 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-003	23379 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-004	23375 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-005	23371 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-006	23370 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-007	23374 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-008	23378 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-009	23382 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-010	23386 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-011	23390 BLACK BEAR CT	SFR	1.00	514.30	514.30
906-422-012	41908 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-013	41904 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-014	41900 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-015	41896 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-016	41892 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-017	41888 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-018	41889 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-019	41893 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-023	41909 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-024	41913 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-025	41917 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-026	41921 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-027	41927 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-028	41931 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-029	41935 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-030	41939 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-031	23416 APPLGATE CT	SFR	1.00	514.30	514.30
906-422-032	23420 APPLGATE CT	SFR	1.00	514.30	514.30
906-422-033	23424 APPLGATE CT	SFR	1.00	514.30	514.30
906-422-034	23425 APPLGATE CT	SFR	1.00	514.30	514.30
906-422-035	23421 APPLGATE CT	SFR	1.00	514.30	514.30
906-422-036	23417 APPLGATE CT	SFR	1.00	514.30	514.30
906-422-037	41949 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-038	41953 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30

City of Murrieta
Murrieta Landscaping and Lighting District No. 02 (Grizzly Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-422-039	41957 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-040	41961 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-041	41965 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-042	41897 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-422-044	41905 BLACK MOUNTAIN TRL	SFR	1.00	514.30	514.30
906-431-001	41944 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-002	41948 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-003	41952 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-004	41956 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-005	41960 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-006	41964 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-007	41968 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-008	41972 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-009	41976 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-010	41980 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-011	41984 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-012	41988 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-013	41992 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-014	41996 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-431-015	23556 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-431-016	23552 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-431-017	23548 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-431-018	23544 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-431-019	23540 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-432-001	23529 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-432-002	23533 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-432-003	23539 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-432-004	23543 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-432-005	23547 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-432-006	23551 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-432-007	41983 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-432-008	41979 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-432-009	41975 TRINITY RIVER WAY	SFR	1.00	514.30	514.30
906-432-010	41971 TRINITY RIVER AVE	SFR	1.00	514.30	514.30
906-432-011	23459 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-012	23463 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-013	23473 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-014	23477 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-015	23481 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-016	23485 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-017	23489 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-018	23490 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-019	23486 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-020	23482 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-021	41967 CAMERYN CT	SFR	1.00	514.30	514.30
906-432-022	41963 CAMERYN WAY	SFR	1.00	514.30	514.30
906-432-023	41959 CAMERYN CT	SFR	1.00	514.30	514.30
906-432-024	41960 CAMERYN CT	SFR	1.00	514.30	514.30
906-432-025	41964 CAMERYN CT	SFR	1.00	514.30	514.30
906-432-026	41968 CAMERYN CT	SFR	1.00	514.30	514.30
906-432-027	23474 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-028	23470 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-029	23466 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-432-030	23462 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30

City of Murrieta
Murrieta Landscaping and Lighting District No. 02 (Grizzly Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-432-031	23458 MOUNT LASSEN WAY	SFR	1.00	514.30	514.30
906-441-001	23532 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-002	23528 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-003	41990 KODIAK CT	SFR	1.00	514.30	514.30
906-441-004	41994 KODIAK CT	SFR	1.00	514.30	514.30
906-441-005	41998 KODIAK CT	SFR	1.00	514.30	514.30
906-441-006	42001 KODIAK CT	SFR	1.00	514.30	514.30
906-441-007	41997 KODIAK CT	SFR	1.00	514.30	514.30
906-441-008	41993 KODIAK CT	SFR	1.00	514.30	514.30
906-441-009	41989 KODIAK CT	SFR	1.00	514.30	514.30
906-441-010	23516 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-011	23512 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-012	23508 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-013	23504 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-014	23500 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-015	23496 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-016	23492 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-017	23488 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-018	23484 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-019	23480 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-020	23476 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-021	23472 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-022	23468 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-023	23464 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-024	23460 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-025	23456 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-026	23452 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-027	23448 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-028	23444 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-029	23440 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-030	23436 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-031	23432 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-441-032	23428 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-001	23439 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-002	23443 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-003	23447 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-004	23453 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-005	23457 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-006	23461 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-007	23465 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-008	23471 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-009	23481 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-010	23487 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-011	23501 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-012	23505 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-013	23509 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-014	23513 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-015	23517 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-016	23521 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-442-017	23525 MOUNTAIN BREEZE DR	SFR	1.00	514.30	514.30
906-471-001	23425 ABURY AVE	SFR	1.00	514.30	514.30
906-471-002	23431 ABURY AVE	SFR	1.00	514.30	514.30
906-471-003	23437 ABURY AVE	SFR	1.00	514.30	514.30
906-471-004	23443 ABURY AVE	SFR	1.00	514.30	514.30

City of Murrieta
Murrieta Landscaping and Lighting District No. 02 (Grizzly Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-471-005	23449 ABURY AVE	SFR	1.00	514.30	514.30
906-471-006	23455 ABURY AVE	SFR	1.00	514.30	514.30
906-471-007	23461 ABURY AVE	SFR	1.00	514.30	514.30
906-471-008	23467 ABURY AVE	SFR	1.00	514.30	514.30
906-471-009	23473 ABURY AVE	SFR	1.00	514.30	514.30
906-471-010	23479 ABURY AVE	SFR	1.00	514.30	514.30
906-471-011	23485 ABURY AVE	SFR	1.00	514.30	514.30
906-471-012	23491 ABURY AVE	SFR	1.00	514.30	514.30
906-472-001	23482 ABURY AVE	SFR	1.00	514.30	514.30
906-472-002	23476 ABURY AVE	SFR	1.00	514.30	514.30
906-472-003	23470 ABURY AVE	SFR	1.00	514.30	514.30
906-472-004	23464 ABURY AVE	SFR	1.00	514.30	514.30
906-472-006	41907 BROOK CT	SFR	1.00	514.30	514.30
906-472-007	41901 BROOK CT	SFR	1.00	514.30	514.30
906-472-008	41895 BROOK CT	SFR	1.00	514.30	514.30
906-472-009	41902 BROOK CT	SFR	1.00	514.30	514.30
906-472-010	41908 BROOK CT	SFR	1.00	514.30	514.30
906-472-012	23458 ABURY AVE	SFR	1.00	514.30	514.30
906-472-013	23452 ABURY AVE	SFR	1.00	514.30	514.30
906-472-014	23446 ABURY AVE	SFR	1.00	514.30	514.30
906-472-015	23440 ABURY AVE	SFR	1.00	514.30	514.30
906-472-016	23434 ABURY AVE	SFR	1.00	514.30	514.30
906-472-017	23428 ABURY AVE	SFR	1.00	514.30	514.30
906-481-001	41901 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-002	23409 FERN PL	SFR	1.00	514.30	514.30
906-481-003	23415 FERN PL	SFR	1.00	514.30	514.30
906-481-004	23421 FERN PL	SFR	1.00	514.30	514.30
906-481-005	23427 FERN PL	SFR	1.00	514.30	514.30
906-481-006	23424 FERN PL	SFR	1.00	514.30	514.30
906-481-011	23406 FERN PL	SFR	1.00	514.30	514.30
906-481-012	41895 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-013	41889 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-014	41883 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-015	41877 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-016	41871 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-017	41865 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-018	41859 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-019	41853 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-020	41860 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-021	41866 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-022	41872 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-023	41880 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-481-032	23412 FERN PL	SFR	1.00	514.30	514.30
906-481-033	23406 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-481-034	23400 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-481-035	23394 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-481-036	23388 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-481-037	23418 FERN PL	SFR	1.00	514.30	514.30
906-482-001	23395 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-482-002	23401 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-482-003	23407 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-482-004	23413 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-482-005	41886 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-482-006	41892 DAHLIAS WAY	SFR	1.00	514.30	514.30

City of Murrieta
Murrieta Landscaping and Lighting District No. 02 (Grizzly Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-482-007	41898 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-482-008	41904 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-490-001	23419 ABURY AVE	SFR	1.00	514.30	514.30
906-490-004	23417 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-005	23411 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-006	23405 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-007	23399 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-008	23393 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-009	23387 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-010	23381 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-011	23375 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-012	23372 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-013	23378 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-014	23384 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-015	23390 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-016	23396 CAMELLIA DR	SFR	1.00	514.30	514.30
906-490-017	23402 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-018	23408 CAMELLIA LN	SFR	1.00	514.30	514.30
906-490-019	41925 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-490-020	41919 DAHLIAS WAY	SFR	1.00	514.30	514.30
906-490-021	23382 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-490-022	23376 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-490-023	23371 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-490-024	23377 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-490-025	23383 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
906-490-026	23389 BLUE GARDENIA LN	SFR	1.00	514.30	514.30
Total			296.00	\$152,233.95	\$152,232.80
Parcels					296

City of Murrieta
Murrieta Landscaping and Lighting District No. 03 (Cherry Street Business Park)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
909-380-001	41730 REAGAN RD	COM	0.60	\$976.17	\$976.16
909-380-002	41740 REAGAN RD	COM	0.56	911.09	911.08
909-380-003	41710 REAGAN RD	COM	1.10	1,789.64	1,789.62
909-380-004	41670 REAGAN WAY	COM	1.13	1,838.45	1,838.44
909-380-005	41630 REGAN RD	COM	0.47	764.67	764.66
909-380-006	41610 REGAN RD	COM	0.47	764.67	764.66
909-380-007	41590 REAGAN RD	COM	0.47	764.67	764.66
909-380-008	41570 REAGAN RD	COM	0.46	748.40	748.38
909-380-009	41550 REAGAN RD	COM	1.21	1,968.61	1,968.58
909-380-012	41675 CHERRY AVE	COM	1.06	1,724.57	1,724.54
909-380-013	41715 CHERRY ST	COM	1.04	1,692.03	1,692.00
909-380-014	41735 CHERRY ST	COM	1.12	1,822.18	1,822.16
909-380-015	41601 CHERRY AVE	COM	0.25	406.74	406.72
909-380-016	41591 CHERRY AVE	COM	0.22	357.93	357.92
909-380-017	41585 CHERRY AVE	COM	0.19	309.12	309.10
909-380-018	41567 CHERRY AVE	COM	0.19	309.12	309.10
909-380-019	41573 CHERRY AVE	COM	0.22	357.93	357.92
909-380-020	41579 CHERRY AVE	COM	0.25	406.74	406.72
909-380-022	41555 CHERRY ST	COM	0.50	813.47	813.46
909-380-023	41549 CHERRY ST	COM	0.10	162.69	162.68
909-380-024	41543 CHERRY ST	COM	0.10	162.69	162.68
909-380-025	41525 CHERRY ST	COM	0.10	162.69	162.68
909-380-026	41519 CHERRY ST	COM	0.10	162.69	162.68
909-380-027	41513 CHERRY ST	COM	0.10	162.69	162.68
909-380-028	41507 CHERRY ST	COM	0.10	162.69	162.68
909-380-029	41537 CHERRY ST	COM	0.10	162.69	162.68
909-380-030	41531 CHERRY ST	COM	0.10	162.69	162.68
Total			12.31	\$20,027.74	\$20,027.32
Parcels					27

City of Murrieta
Murrieta Landscaping and Lighting District No. 04 (Western Pacific Housing)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-051-001	40248 ROSEWOOD ST	SFR	1.00	\$349.95	\$218.08
916-051-002	40236 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-051-003	40214 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-051-004	40212 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-051-005	40198 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-051-006	40186 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-051-007	40174 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-051-008	26149 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-051-009	26157 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-051-010	26051 PINE ST	SFR	1.00	349.95	218.08
916-051-011	26067 PINE ST	SFR	1.00	349.95	218.08
916-051-012	26083 PINE ST	SFR	1.00	349.95	218.08
916-051-013	26099 PINE ST	SFR	1.00	349.95	218.08
916-051-014	26115 PINE ST	SFR	1.00	349.95	218.08
916-051-015	26131 PINE ST	SFR	1.00	349.95	218.08
916-052-001	26154 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-052-002	26146 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-052-003	26138 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-052-004	26130 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-052-005	26122 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-052-006	26114 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-052-007	26106 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-052-008	26101 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-009	26109 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-010	26117 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-011	26125 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-012	26133 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-013	26141 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-014	26149 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-015	26150 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-016	26142 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-017	26134 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-018	26126 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-019	26118 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-020	26110 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-021	26102 SHADY BROOK CIR	SFR	1.00	349.95	218.08
916-052-022	26103 PALMETTO ST	SFR	1.00	349.95	218.08
916-052-023	26105 PALMETTO ST	SFR	1.00	349.95	218.08
916-052-024	26119 PALMETTO ST	SFR	1.00	349.95	218.08
916-052-025	26127 PALMETTO ST	SFR	1.00	349.95	218.08
916-052-026	26135 PALMETTO ST	SFR	1.00	349.95	218.08
916-052-027	26143 PALMETTO ST	SFR	1.00	349.95	218.08
916-052-028	26149 PALMETTO ST	SFR	1.00	349.95	218.08
916-053-001	26144 PALMETTO ST	SFR	1.00	349.95	218.08
916-053-002	26136 PALMETTO ST	SFR	1.00	349.95	218.08
916-053-008	40013 CASCADA ST	SFR	1.00	349.95	218.08
916-053-009	40021 CASCADA ST	SFR	1.00	349.95	218.08
916-053-010	40029 CASCADA ST	SFR	1.00	349.95	218.08
916-053-011	40037 CASCADA ST	SFR	1.00	349.95	218.08
916-053-013	26128 PALMETTO ST	SFR	1.00	349.95	218.08
916-053-014	26124 PALMETTO ST	SFR	1.00	349.95	218.08
916-053-015	26120 PALMETTO ST	SFR	1.00	349.95	218.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 04 (Western Pacific Housing)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-053-016	26112 PALMETTO ST	SFR	1.00	349.95	218.08
916-053-017	26104 PALMETTO ST	SFR	1.00	349.95	218.08
916-053-018	26092 PALMETTO ST	SFR	1.00	349.95	218.08
916-054-001	40053 CASCADA ST	SFR	1.00	349.95	218.08
916-054-002	40061 CASCADA ST	SFR	1.00	349.95	218.08
916-054-003	40069 CASCADA ST	SFR	1.00	349.95	218.08
916-054-004	40077 CASCADA ST	SFR	1.00	349.95	218.08
916-054-005	26095 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-054-006	26103 COTTONWOOD CT	SFR	1.00	349.95	218.08
916-054-007	26111 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-054-008	26119 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-054-009	26127 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-054-010	26135 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-054-011	26136 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-012	26120 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-013	26104 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-014	26088 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-015	26072 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-016	26056 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-017	26037 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-018	26053 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-019	26069 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-020	26085 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-021	26101 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-022	26117 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-023	26133 WILLOWBROOK CT	SFR	1.00	349.95	218.08
916-054-024	26134 PINE ST	SFR	1.00	349.95	218.08
916-054-025	26118 PINE ST	SFR	1.00	349.95	218.08
916-054-026	26102 PINE ST	SFR	1.00	349.95	218.08
916-054-027	26086 PINE ST	SFR	1.00	349.95	218.08
916-054-028	26070 PINE ST	SFR	1.00	349.95	218.08
916-054-029	26054 PINE ST	SFR	1.00	349.95	218.08
916-061-001	26165 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-061-002	26173 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-061-003	26181 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-061-004	26189 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-061-005	26197 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-061-006	26205 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-061-007	26213 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-061-008	40088 GLEN IVY ST	SFR	1.00	349.95	218.08
916-061-009	40080 GLEN IVY ST	SFR	1.00	349.95	218.08
916-061-010	40072 GLEN IVY ST	SFR	1.00	349.95	218.08
916-061-011	40064 GLEN IVY ST	SFR	1.00	349.95	218.08
916-061-012	40056 GLEN IVY ST	SFR	1.00	349.95	218.08
916-062-001	26202 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-062-002	26194 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-062-003	26186 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-062-004	26178 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-062-005	26170 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-062-006	26162 COTTONWOOD ST	SFR	1.00	349.95	218.08
916-062-007	26155 PALMETTO ST	SFR	1.00	349.95	218.08
916-062-008	26163 PALMETTO ST	SFR	1.00	349.95	218.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 04 (Western Pacific Housing)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-062-009	26171 PALMETTO ST	SFR	1.00	349.95	218.08
916-062-010	26179 PALMETTO ST	SFR	1.00	349.95	218.08
916-062-011	26187 PALMETTO ST	SFR	1.00	349.95	218.08
916-062-012	26195 PALMETTO ST	SFR	1.00	349.95	218.08
916-062-013	26268 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-014	26256 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-015	26244 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-016	26232 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-017	26220 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-018	26208 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-019	26209 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-020	26221 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-021	26233 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-022	26245 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-023	26257 WOODLAND CIR	SFR	1.00	349.95	218.08
916-062-024	26269 WOODLAND CIR	SFR	1.00	349.95	218.08
916-063-001	40040 GLEN IVY ST	SFR	1.00	349.95	218.08
916-063-002	40032 GLEN IVY ST	SFR	1.00	349.95	218.08
916-063-003	40024 GLEN IVY ST	SFR	1.00	349.95	218.08
916-063-004	40016 GLEN IVY ST	SFR	1.00	349.95	218.08
916-063-005	26200 PALMETTO ST	SFR	1.00	349.95	218.08
916-063-006	26192 PALMETTO ST	SFR	1.00	349.95	218.08
916-063-007	26184 PALMETTO ST	SFR	1.00	349.95	218.08
916-063-008	26176 PALMETTO ST	SFR	1.00	349.95	218.08
916-063-009	26168 PALMETTO ST	SFR	1.00	349.95	218.08
916-063-010	26160 PALMETTO ST	SFR	1.00	349.95	218.08
916-063-011	26152 PALMETTO ST	SFR	1.00	349.95	218.08
916-241-001	26287 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-002	26265 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-003	26253 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-004	26241 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-005	26229 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-006	26215 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-007	26201 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-008	26181 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-009	26161 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-010	26149 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-011	26141 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-012	26133 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-013	26125 MANZANITA ST	SFR	1.00	349.95	218.08
916-241-014	26117 MANZANITA ST	SFR	1.00	349.95	218.08
916-242-001	40396 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-242-002	40388 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-242-003	40380 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-242-004	40372 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-243-001	40381 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-243-002	40389 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-243-003	40397 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-243-004	26226 MANZANITA ST	SFR	1.00	349.95	218.08
916-243-005	26214 MANZANITA ST	SFR	1.00	349.95	218.08
916-243-006	26186 MANZANITA ST	SFR	1.00	349.95	218.08
916-243-007	26164 MANZANITA ST	SFR	1.00	349.95	218.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 04 (Western Pacific Housing)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-243-008	26152 MANZANITA ST	SFR	1.00	349.95	218.08
916-243-009	26144 MANZANITA ST	SFR	1.00	349.95	218.08
916-243-010	26136 MANZANITA ST	SFR	1.00	349.95	218.08
916-243-011	26126 MANZANITA ST	SFR	1.00	349.95	218.08
916-243-012	40363 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-243-013	40371 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-243-014	40379 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-243-015	40387 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-243-016	40395 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-243-017	40403 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-243-018	40411 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-251-001	26109 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-002	26101 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-003	26093 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-004	26089 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-005	26081 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-006	26079 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-007	26071 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-008	26063 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-009	26057 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-010	26049 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-011	26041 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-012	26033 MANZANITA ST	SFR	1.00	349.95	218.08
916-251-013	26050 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-251-014	26066 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-251-015	26082 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-251-016	26098 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-251-017	26116 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-251-018	26132 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-252-001	26042 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-002	26054 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-003	26062 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-004	26070 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-005	26078 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-006	26086 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-007	26094 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-008	26102 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-009	26110 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-010	26118 MANZANITA ST	SFR	1.00	349.95	218.08
916-252-011	40355 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-252-012	40347 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-252-013	26091 SHADY OAK CT	SFR	1.00	349.95	218.08
916-252-014	26083 SHADY OAK CT	SFR	1.00	349.95	218.08
916-252-015	26075 SHADY OAK CT	SFR	1.00	349.95	218.08
916-252-016	26078 SHADY OAK CT	SFR	1.00	349.95	218.08
916-252-017	26086 SHADY OAK CT	SFR	1.00	349.95	218.08
916-252-018	26127 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-252-019	26111 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-252-020	26095 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-012	40244 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-261-013	40232 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-261-014	40220 SADDLEBROOK CT	SFR	1.00	349.95	218.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 04 (Western Pacific Housing)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-261-015	40208 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-261-016	40209 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-261-017	40221 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-261-018	40233 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-261-019	40245 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-261-020	40246 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-021	40234 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-022	40222 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-023	40210 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-024	40211 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-025	40223 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-026	40235 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-027	40247 SEQUOIA ST	SFR	1.00	349.95	218.08
916-261-028	26148 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-029	26164 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-030	26180 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-031	26212 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-032	26228 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-033	26244 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-034	26260 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-261-035	40256 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-001	40300 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-002	40308 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-003	40316 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-004	40324 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-005	40332 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-006	40340 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-007	40348 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-008	40356 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-262-009	40364 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-263-001	40306 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-002	40314 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-003	40322 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-004	40330 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-005	40338 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-006	40346 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-007	40354 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-008	40362 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-009	40370 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-010	40378 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-011	40386 ROSEWOOD ST	SFR	1.00	349.95	218.08
916-263-012	40365 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-263-013	40357 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-263-014	40349 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-263-015	40341 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-263-016	40359 SEQUOIA ST	SFR	1.00	349.95	218.08
916-263-017	40351 SEQUOIA ST	SFR	1.00	349.95	218.08
916-263-018	40343 SEQUOIA ST	SFR	1.00	349.95	218.08
916-263-019	40335 SEQUOIA ST	SFR	1.00	349.95	218.08
916-263-020	40327 SEQUOIA ST	SFR	1.00	349.95	218.08
916-263-021	40319 SEQUOIA ST	SFR	1.00	349.95	218.08
916-263-022	40311 SEQUOIA ST	SFR	1.00	349.95	218.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 04 (Western Pacific Housing)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-263-023	40303 SEQUOIA ST	SFR	1.00	349.95	218.08
916-264-001	40336 SEQUOIA ST	SFR	1.00	349.95	218.08
916-264-002	40328 SEQUOIA ST	SFR	1.00	349.95	218.08
916-264-003	40320 SEQUOIA ST	SFR	1.00	349.95	218.08
916-264-004	40312 SEQUOIA ST	SFR	1.00	349.95	218.08
916-264-005	40304 SEQUOIA ST	SFR	1.00	349.95	218.08
916-264-006	26217 SHADY GLEN ST	SFR	1.00	349.95	218.08
916-264-007	40301 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-264-008	40309 SADDLEBROOK ST	SFR	1.00	349.95	218.08
916-264-009	40317 SADDLEBROOK ST	SFR	1.00	349.95	218.08
Total			270.00	\$94,487.58	\$58,881.60
Parcels					270

City of Murrieta
Murrieta Landscaping and Lighting District No.05 (Murrieta Ranchos)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-461-001	42002 SANTA FE TRL	SFR	1.00	\$183.32	\$183.30
906-461-002	42014 SANTA FE TRL	SFR	1.00	183.32	183.30
906-461-003	42026 SANTA FE TRL	SFR	1.00	183.32	183.30
906-461-004	42038 SANTA FE TRL	SFR	1.00	183.32	183.30
906-461-005	42040 SANTA FE TRL	SFR	1.00	183.32	183.30
906-462-001	23842 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-462-002	23854 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-462-003	23866 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-462-004	23878 CONESTOGA WAY	SFR	1.00	183.32	183.30
906-462-005	NO SITUS AVAILABLE	SFR	1.00	183.32	183.30
906-462-006	23902 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-462-007	23914 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-462-008	23926 SUSANA WAY	SFR	1.00	183.32	183.30
906-462-009	23938 SUSANA WAY	SFR	1.00	183.32	183.30
906-462-010	23950 SUSANA WAY	SFR	1.00	183.32	183.30
906-462-011	23947 SUSANA WAY	SFR	1.00	183.32	183.30
906-462-012	23935 SUSANA WAY	SFR	1.00	183.32	183.30
906-462-013	23923 SUSANA WAY	SFR	1.00	183.32	183.30
906-462-014	23922 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-463-001	23911 SUSANA WAY	SFR	1.00	183.32	183.30
906-463-002	23901 SUSANA WAY	SFR	1.00	183.32	183.30
906-463-003	23902 SUSANA WAY	SFR	1.00	183.32	183.30
906-463-004	23914 SUSANA WAY	SFR	1.00	183.32	183.30
906-463-005	42025 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-463-006	42037 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-463-007	42049 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-464-001	42022 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-464-002	42034 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-464-003	42046 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-464-004	42029 SANTA FE TRL	SFR	1.00	183.32	183.30
906-464-005	42041 SANTA FE TRL	SFR	1.00	183.32	183.30
906-464-006	42053 SANTA FE TRL	SFR	1.00	183.32	183.30
906-501-001	42052 SANTA FE TRL	SFR	1.00	183.32	183.30
906-501-002	42064 SANTA FE TRL	SFR	1.00	183.32	183.30
906-501-003	42076 SANTA FE TRL	SFR	1.00	183.32	183.30
906-501-004	42088 SANTA FE TRL	SFR	1.00	183.32	183.30
906-501-005	42248 CHISOLM TRL	SFR	1.00	183.32	183.30
906-501-006	42260 CHISOLM TRL	SFR	1.00	183.32	183.30
906-501-007	42272 CHISOLM TRL	SFR	1.00	183.32	183.30
906-501-008	42284 CHISOLM TRL	SFR	1.00	183.32	183.30
906-502-001	42275 CHISOLM TRL	SFR	1.00	183.32	183.30
906-502-002	42283 CHISOLM TRL	SFR	1.00	183.32	183.30
906-502-003	42120 SANTA FE TRL	SFR	1.00	183.32	183.30
906-503-001	42132 SANTA FE TRL	SFR	1.00	183.32	183.30
906-503-002	42144 SANTA FE TRL	SFR	1.00	183.32	183.30
906-503-003	42156 SANTA FE TRL	SFR	1.00	183.32	183.30
906-503-004	42168 SANTA FE TRL	SFR	1.00	183.32	183.30
906-503-005	42180 SANTA FE TRL	SFR	1.00	183.32	183.30
906-503-006	42192 SANTA FE TRL	SFR	1.00	183.32	183.30
906-503-007	23978 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-503-008	23970 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-503-009	23962 CONESTOGA AVE	SFR	1.00	183.32	183.30

City of Murrieta
Murrieta Landscaping and Lighting District No.05 (Murrieta Ranchos)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-503-010	23954 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-503-011	23946 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-503-012	23938 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-503-013	23930 CONESTOGA AVE	SFR	1.00	183.32	183.30
906-504-001	42133 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-504-002	42121 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-504-003	42109 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-504-004	42085 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-504-005	42061 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-001	42058 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-002	42070 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-003	42082 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-004	42094 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-005	42106 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-006	42118 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-007	42130 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-008	42142 WAGON WHEEL LN	SFR	1.00	183.32	183.30
906-505-009	42185 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-010	42173 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-011	42161 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-012	42149 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-013	42137 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-014	42125 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-015	42113 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-016	42101 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-017	42089 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-018	42077 SANTA FE TRL	SFR	1.00	183.32	183.30
906-505-019	42065 SANTA FE TRL	SFR	1.00	183.32	183.30
906-521-001	42431 CHISOLM TRL	SFR	1.00	183.32	183.30
906-521-002	42419 CHISOLM TRL	SFR	1.00	183.32	183.30
906-521-003	42407 CHISOLM TRL	SFR	1.00	183.32	183.30
906-521-004	42395 CHISOLM TRL	SFR	1.00	183.32	183.30
906-521-005	42383 CHISOLM TRL	SFR	1.00	183.32	183.30
906-521-006	42371 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-001	23851 CHELSEA WAY	SFR	1.00	183.32	183.30
906-522-002	23863 CHELSEA WAY	SFR	1.00	183.32	183.30
906-522-003	42356 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-004	42368 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-005	42380 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-006	42392 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-007	42404 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-008	42416 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-009	42428 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-010	42440 CHISOLM TRL	SFR	1.00	183.32	183.30
906-522-011	23958 HAYES AVE	SFR	1.00	183.32	183.30
906-522-012	23946 HAYES AVE	SFR	1.00	183.32	183.30
906-522-013	23924 HAYES AVE	SFR	1.00	183.32	183.30
906-522-014	23912 HAYES AVE	SFR	1.00	183.32	183.30
906-522-015	23900 HAYES AVE	SFR	1.00	183.32	183.30
906-522-016	23888 HAYES AVE	SFR	1.00	183.32	183.30
906-522-017	23876 HAYES AVE	SFR	1.00	183.32	183.30
906-522-018	23864 HAYES AVE	SFR	1.00	183.32	183.30

City of Murrieta
Murrieta Landscaping and Lighting District No.05 (Murrieta Ranchos)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-522-019	23852 HAYES AVE	SFR	1.00	183.32	183.30
906-522-020	23840 HAYES AVE	SFR	1.00	183.32	183.30
906-522-022	23828 HAYES AVE	SFR	1.00	183.32	183.30
906-523-001	23843 HAYES AVE	SFR	1.00	183.32	183.30
906-523-002	23855 HAYES AVE	SFR	1.00	183.32	183.30
906-523-003	23867 HAYES AVE	SFR	1.00	183.32	183.30
906-523-004	23879 HAYES AVE	SFR	1.00	183.32	183.30
906-524-001	42491 DUSTY TRL	SFR	1.00	183.32	183.30
906-524-002	42479 DUSTY TRL	SFR	1.00	183.32	183.30
906-524-003	42467 DUSTY TRL	SFR	1.00	183.32	183.30
906-524-004	42455 DUSTY TRL	SFR	1.00	183.32	183.30
906-524-005	42443 DUSTY TRL	SFR	1.00	183.32	183.30
906-524-006	42431 DUSTY TRL	SFR	1.00	183.32	183.30
906-531-001	42359 CHISOLM TRL	SFR	1.00	183.32	183.30
906-531-002	42347 CHISOLM TRL	SFR	1.00	183.32	183.30
906-531-003	42335 CHISOLM TRL	SFR	1.00	183.32	183.30
906-531-004	42323 CHISOLM TRL	SFR	1.00	183.32	183.30
906-531-005	42311 CHISOLM TRL	SFR	1.00	183.32	183.30
906-531-006	42299 CHISOLM TRL	SFR	1.00	183.32	183.30
906-531-007	42287 CHISOLM TRL	SFR	1.00	183.32	183.30
906-531-008	42254 OREGON TRL	SFR	1.00	183.32	183.30
906-531-009	42266 OREGON TRL	SFR	1.00	183.32	183.30
906-531-010	42278 OREGON TRL	SFR	1.00	183.32	183.30
906-531-011	42290 OREGON TRL	SFR	1.00	183.32	183.30
906-531-012	42302 OREGON TRL	SFR	1.00	183.32	183.30
906-531-013	42314 OREGON TRL	SFR	1.00	183.32	183.30
906-531-014	42326 OREGON TRL	SFR	1.00	183.32	183.30
906-531-015	42338 OREGON TRL	SFR	1.00	183.32	183.30
906-531-016	42340 OREGON TRL	SFR	1.00	183.32	183.30
906-531-017	42356 OREGON TRL	SFR	1.00	183.32	183.30
906-532-001	42298 CHISOLM TRL	SFR	1.00	183.32	183.30
906-532-002	42308 CHISOLM TRL	SFR	1.00	183.32	183.30
906-532-003	42320 CHISOLM TRL	SFR	1.00	183.32	183.30
906-532-004	42332 CHISOLM TRL	SFR	1.00	183.32	183.30
906-532-005	42344 CHISOLM TRL	SFR	1.00	183.32	183.30
906-532-006	23866 CHELSEA WAY	SFR	1.00	183.32	183.30
906-532-007	23854 CHELSEA WAY	SFR	1.00	183.32	183.30
906-533-001	42419 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-002	42407 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-003	42395 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-004	42383 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-005	42371 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-006	42359 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-007	42347 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-008	42356 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-009	42368 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-010	42380 DUSTY TRL	SFR	1.00	183.32	183.30
906-533-011	42359 OREGON TRL	SFR	1.00	183.32	183.30
906-533-012	42347 OREGON TRL	SFR	1.00	183.32	183.30
906-533-013	42335 OREGON TRL	SFR	1.00	183.32	183.30
906-533-014	42311 OREGON TRL	SFR	1.00	183.32	183.30
906-533-015	42299 OREGON TRL	SFR	1.00	183.32	183.30

City of Murrieta
Murrieta Landscaping and Lighting District No.05 (Murrieta Ranchos)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-533-016	23909 ROBERT CT	SFR	1.00	183.32	183.30
906-533-017	23914 ROBERT CT	SFR	1.00	183.32	183.30
906-533-018	23902 ROBERT CT	SFR	1.00	183.32	183.30
906-533-019	23890 ROBERT CT	SFR	1.00	183.32	183.30
906-533-020	23878 ROBERT CT	SFR	1.00	183.32	183.30
Total			161.00	\$29,514.10	\$29,511.30
Parcels					161

City of Murrieta
Murrieta Landscaping and Lighting District No. 06 (Falls Grove)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-280-001	37203 SUNNYGROVE LN	SFR	1.00	\$218.77	\$124.76
900-280-002	37191 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-280-003	37179 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-280-006	37168 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-280-007	37180 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-280-008	37192 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-280-009	37204 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-280-010	37205 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-011	37193 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-012	37181 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-013	37169 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-014	37157 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-015	37145 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-016	37148 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-017	37160 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-018	37172 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-019	37184 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-020	37196 STARDUST WAY	SFR	1.00	218.77	124.76
900-280-021	27796 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-022	27808 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-023	37210 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-024	37200 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-025	37190 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-026	37180 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-027	37185 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-028	26700 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-029	26690 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-030	26680 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-031	26670 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-032	26650 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-033	26625 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-034	26635 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-035	26645 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-036	26655 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-037	26659 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-038	26675 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-039	26685 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-040	26695 BUSMAN RD	SFR	1.00	218.77	124.76
900-280-041	37235 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-042	37245 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-043	37250 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-044	37240 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-045	37230 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-046	37220 MOONBEAM CT	SFR	1.00	218.77	124.76
900-280-053	37167 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-280-054	37156 SUNNYGROVE LN	SFR	1.00	218.77	124.76
900-290-001	27832 BUSMAN RD	SFR	1.00	218.77	124.76
900-290-002	27820 BUSMAN RD	SFR	1.00	218.77	124.76
900-290-003	37199 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-290-004	37187 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-290-005	37175 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-290-006	37163 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-290-007	27830 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-008	27842 SPRINGHAVEN ST	SFR	1.00	218.77	124.76

City of Murrieta
Murrieta Landscaping and Lighting District No. 06 (Falls Grove)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-290-009	27854 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-010	27866 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-011	27878 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-012	27896 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-013	27902 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-014	27914 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-015	27926 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-016	27950 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-017	27962 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-018	27974 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-019	27986 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-290-020	27998 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-001	27995 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-002	27983 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-003	27971 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-004	27959 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-005	27953 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-006	27935 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-007	27923 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-008	27911 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-009	27899 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-010	27887 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-011	27875 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-012	27863 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-013	27851 SPRINGHAVEN ST	SFR	1.00	218.77	124.76
900-291-014	37196 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-291-015	27844 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-016	27856 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-017	27868 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-018	27880 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-019	27892 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-020	27904 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-021	27916 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-022	27928 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-023	27940 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-024	27964 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-025	27976 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-026	27988 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-027	27998 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-028	27997 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-029	27985 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-030	27973 BUSMAN RD	SFR	1.00	218.77	124.76
900-291-031	37224 SUMMERGLEN AVE	SFR	1.00	218.77	124.76
900-291-032	37236 SUMMERGLEN AVE	SFR	1.00	218.77	124.76
900-291-033	37248 SUMMERGLEN AVE	SFR	1.00	218.77	124.76
900-291-034	27970 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-291-035	27982 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-291-036	27994 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-310-001	27995 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-310-002	27983 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-310-003	27971 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-310-004	27959 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-310-005	27947 SUNLIGHT CT	SFR	1.00	218.77	124.76
900-310-006	27952 WINTERGROVE WAY	SFR	1.00	218.77	124.76

City of Murrieta
Murrieta Landscaping and Lighting District No. 06 (Falls Grove)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-310-007	27964 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-008	27976 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-009	27988 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-010	27987 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-011	27963 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-012	27951 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-013	27939 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-014	27927 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-015	27915 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-016	27903 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-017	27891 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-018	27879 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-019	27867 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-020	27855 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-021	27843 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-022	27916 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-023	27928 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-024	27940 WINTERGROVE WAY	SFR	1.00	218.77	124.76
900-310-025	37319 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-026	37307 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-027	37295 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-028	37283 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-029	37271 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-030	37259 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-031	37247 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-032	27837 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-033	27857 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-034	27869 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-035	27881 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-036	27893 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-037	27905 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-038	27917 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-039	27929 BUSMAN RD	SFR	1.00	218.77	124.76
900-310-040	27900 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-041	27888 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-042	27876 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-043	27864 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-044	37244 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-045	27853 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-046	27865 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-047	27877 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-048	27889 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-049	27901 TWILIGHT CT	SFR	1.00	218.77	124.76
900-310-050	27882 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-051	27870 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-052	27858 FALLSGROVE AVE	SFR	1.00	218.77	124.76
900-310-053	27846 FALLSGROVE AVE	SFR	1.00	218.77	124.76
Total			155.00	\$33,909.24	\$19,337.80
Parcels					155

City of Murrieta
Murrieta Landscaping and Lighting District No. 07 (Copper Creek)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-541-001	23780 MEADOWGATE CT	SFR	1.00	\$188.11	\$177.32
906-541-002	23788 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-003	23796 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-004	23804 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-006	23820 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-007	23825 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-008	23817 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-009	23809 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-010	23801 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-011	23793 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-012	23785 MEADOWGATE CT	SFR	1.00	188.11	177.32
906-541-013	42114 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-014	42122 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-015	42130 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-016	42138 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-017	42146 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-018	42154 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-019	42162 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-020	42170 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-021	42178 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-022	42186 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-023	42194 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-024	42202 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-025	42210 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-026	42218 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-027	42226 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-028	42234 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-029	42242 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-030	42250 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-541-031	23821 FIELDCREST LN	SFR	1.00	188.11	177.32
906-541-032	23813 FIELDCREST LN	SFR	1.00	188.11	177.32
906-541-033	23805 FIELDCREST LN	SFR	1.00	188.11	177.32
906-541-034	23797 FIELDCREST LN	SFR	1.00	188.11	177.32
906-541-035	23789 FIELDCREST LN	SFR	1.00	188.11	177.32
906-541-036	23781 FIELDCREST LN	SFR	1.00	188.11	177.32
906-541-037	23773 FIELDCREST LN	SFR	1.00	188.11	177.32
906-541-039	23812 MEADOWGATE DR	SFR	1.00	188.11	177.32
906-542-001	23770 FIELDCREST LN	SFR	1.00	188.11	177.32
906-542-002	23778 FIELDCREST LN	SFR	1.00	188.11	177.32
906-542-003	23786 FIELDCREST LN	SFR	1.00	188.11	177.32
906-542-004	23794 FIELDCREST LN	SFR	1.00	188.11	177.32
906-542-005	23802 FIELDCREST LN	SFR	1.00	188.11	177.32
906-542-006	42225 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-542-007	42215 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-542-008	42205 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-542-009	23737 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-010	23745 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-011	23753 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-012	23761 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-013	23760 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-014	23768 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-015	23776 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-016	23784 WISTERIA PL	SFR	1.00	188.11	177.32
906-542-017	42115 SAGEWOOD ST	SFR	1.00	188.11	177.32

City of Murrieta
Murrieta Landscaping and Lighting District No. 07 (Copper Creek)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-542-018	42123 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-542-019	42131 SAGEWOOD ST	SFR	1.00	188.11	177.32
906-542-020	23770 FERNVIEW WAY	SFR	1.00	188.11	177.32
906-542-021	23786 FERNVIEW WAY	SFR	1.00	188.11	177.32
906-542-022	23787 FERNVIEW WAY	SFR	1.00	188.11	177.32
906-542-023	23779 FERNVIEW WAY	SFR	1.00	188.11	177.32
906-542-024	23771 FERNVIEW WAY	SFR	1.00	188.11	177.32
906-551-001	23800 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-002	23808 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-003	23816 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-004	23824 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-005	23832 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-006	23840 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-007	23848 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-008	23856 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-009	23857 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-010	23849 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-011	23841 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-012	23833 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-013	23825 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-014	23817 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-015	23809 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-016	23801 BARBERRY PL	SFR	1.00	188.11	177.32
906-551-017	23698 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-018	23706 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-019	23714 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-020	23722 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-021	23730 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-022	23738 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-023	23746 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-024	23764 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-031	23653 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-032	23661 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-033	23669 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-034	23677 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-035	23685 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-036	23693 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-037	23701 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-038	23709 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-039	23717 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-040	23725 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-041	23733 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-042	23741 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-043	23749 FIELDCREST LN	SFR	1.00	188.11	177.32
906-551-044	23757 FIELDCREST LN	SFR	1.00	188.11	177.32
906-561-001	42272 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-002	42264 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-003	42256 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-004	42248 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-005	42240 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-006	42232 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-007	42224 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-008	42216 WILDWOOD LN	SFR	1.00	188.11	177.32
906-561-009	23648 HAYES AVE	SFR	1.00	188.11	177.32

City of Murrieta
Murrieta Landscaping and Lighting District No. 07 (Copper Creek)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-561-010	23657 HAYES AVE	SFR	1.00	188.11	177.32
906-561-011	23665 HAYES AVE	SFR	1.00	188.11	177.32
906-561-012	23673 HAYES AVE	SFR	1.00	188.11	177.32
906-561-013	23681 HAYES AVE	SFR	1.00	188.11	177.32
906-561-014	23689 HAYES AVE	SFR	1.00	188.11	177.32
906-561-015	23697 HAYES AVE	SFR	1.00	188.11	177.32
906-561-016	23737 HAYES AVE	SFR	1.00	188.11	177.32
906-561-017	23745 HAYES AVE	SFR	1.00	188.11	177.32
906-562-001	42269 WILDWOOD LN	SFR	1.00	188.11	177.32
906-562-002	42261 WILDWOOD LN	SFR	1.00	188.11	177.32
906-562-003	42253 WILDWOOD LN	SFR	1.00	188.11	177.32
906-562-004	42245 WILDWOOD LN	SFR	1.00	188.11	177.32
906-562-005	42237 WILDWOOD LN	SFR	1.00	188.11	177.32
906-562-006	42229 WILDWOOD LN	SFR	1.00	188.11	177.32
906-562-007	23674 HAYES AVE	SFR	1.00	188.11	177.32
906-562-008	23682 HAYES AVE	SFR	1.00	188.11	177.32
906-562-009	23690 HAYES AVE	SFR	1.00	188.11	177.32
906-562-010	23698 HAYES AVE	SFR	1.00	188.11	177.32
906-562-011	42371 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-012	42363 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-013	42355 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-014	42347 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-015	42339 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-016	42346 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-017	42354 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-018	42362 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-019	42370 MOUNTAIN VIEW CT	SFR	1.00	188.11	177.32
906-562-020	23740 HAYES AVE	SFR	1.00	188.11	177.32
906-571-001	23753 HAYES AVE	SFR	1.00	188.11	177.32
906-571-002	23761 HAYES AVE	SFR	1.00	188.11	177.32
906-571-003	23769 HAYES AVE	SFR	1.00	188.11	177.32
906-571-004	23785 HAYES AVE	SFR	1.00	188.11	177.32
906-571-005	23793 HAYES AVE	SFR	1.00	188.11	177.32
906-571-006	23801 HAYES AVE	SFR	1.00	188.11	177.32
906-571-007	23809 HAYES AVE	SFR	1.00	188.11	177.32
906-571-008	23817 HAYES AVE	SFR	1.00	188.11	177.32
906-571-009	23825 HAYES AVE	SFR	1.00	188.11	177.32
906-572-001	23820 HAYES AVE	SFR	1.00	188.11	177.32
906-572-002	42400 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-003	42392 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-004	42384 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-005	42376 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-006	42368 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-007	42360 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-008	42352 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-009	42344 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-010	42336 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-011	42328 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-012	42320 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-013	42312 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-014	42304 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-015	42296 WILDWOOD LN	SFR	1.00	188.11	177.32
906-572-016	42288 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-001	42273 WILDWOOD LN	SFR	1.00	188.11	177.32

City of Murrieta
Murrieta Landscaping and Lighting District No. 07 (Copper Creek)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-573-002	42285 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-003	42291 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-004	42299 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-005	42309 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-006	42317 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-007	42327 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-008	42361 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-009	42379 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-010	42385 WILDWOOD LN	SFR	1.00	188.11	177.32
906-573-011	23792 HAYES AVE	SFR	1.00	188.11	177.32
906-573-012	23786 HAYES AVE	SFR	1.00	188.11	177.32
906-573-013	23778 HAYES AVE	SFR	1.00	188.11	177.32
906-573-014	42370 WESTAR CT	SFR	1.00	188.11	177.32
906-573-015	42360 WESTAR CT	SFR	1.00	188.11	177.32
906-573-016	42348 WESTAR CT	SFR	1.00	188.11	177.32
906-573-017	42345 WESTAR CT	SFR	1.00	188.11	177.32
906-573-018	42355 WESTAR CT	SFR	1.00	188.11	177.32
906-573-019	42365 WESTAR CT	SFR	1.00	188.11	177.32
906-573-020	23762 HAYES AVE	SFR	1.00	188.11	177.32
906-573-021	23758 HAYES AVE	SFR	1.00	188.11	177.32
Total			182.00	\$34,236.89	\$32,272.24
Parcels					182

City of Murrieta
Murrieta Landscaping and Lighting District No. 08 (Lincoln Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-190-001	27623 MANGROVE ST	SFR	1.00	\$479.46	\$316.98
900-190-002	27611 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-003	27599 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-004	27587 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-005	27575 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-006	27563 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-007	27551 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-008	27539 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-009	27527 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-010	27515 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-011	27503 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-012	27491 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-013	27479 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-014	27467 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-015	27455 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-016	27443 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-017	27431 MANGROVE ST	SFR	1.00	479.46	316.98
900-190-018	27419 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-019	27407 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-020	27395 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-021	27383 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-022	27371 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-023	27359 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-024	27347 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-025	27335 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-026	27323 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-190-027	27311 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-001	36731 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-002	36719 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-003	36707 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-004	36695 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-005	36683 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-006	36671 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-007	36659 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-008	36647 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-009	36635 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-010	36623 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-011	36611 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-191-012	27322 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-013	27334 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-014	27346 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-015	27358 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-016	27370 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-017	27382 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-018	27394 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-191-019	27464 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-020	27476 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-021	27488 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-022	27500 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-023	27512 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-024	27524 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-025	27536 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-026	27548 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-027	27560 MANGROVE ST	SFR	1.00	479.46	316.98

City of Murrieta
Murrieta Landscaping and Lighting District No. 08 (Lincoln Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-191-028	27594 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-029	27606 MANGROVE ST	SFR	1.00	479.46	316.98
900-191-030	36685 WANDERING PL	SFR	1.00	479.46	316.98
900-191-031	36673 WANDERING PL	SFR	1.00	479.46	316.98
900-191-032	36661 WANDERING PL	SFR	1.00	479.46	316.98
900-191-033	36649 WANDERING PL	SFR	1.00	479.46	316.98
900-191-034	36637 WANDERING PL	SFR	1.00	479.46	316.98
900-191-035	36625 WANDERING PL	SFR	1.00	479.46	316.98
900-191-036	36613 WANDERING PL	SFR	1.00	479.46	316.98
900-191-037	36601 WANDERING PL	SFR	1.00	479.46	316.98
900-191-038	36608 WANDERING PL	SFR	1.00	479.46	316.98
900-191-039	36620 WANDERING PL	SFR	1.00	479.46	316.98
900-191-040	36632 WANDERING PL	SFR	1.00	479.46	316.98
900-191-041	36644 WANDERING PL	SFR	1.00	479.46	316.98
900-191-042	36656 WANDERING PL	SFR	1.00	479.46	316.98
900-191-043	36668 WANDERING PL	SFR	1.00	479.46	316.98
900-191-044	36680 WANDERING PL	SFR	1.00	479.46	316.98
900-191-045	36692 WANDERING PL	SFR	1.00	479.46	316.98
900-191-046	36704 WANDERING PL	SFR	1.00	479.46	316.98
900-191-047	36716 WANDERING PL	SFR	1.00	479.46	316.98
900-200-001	27299 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-200-002	27287 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-200-003	27275 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-200-004	27263 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-200-005	27262 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-200-006	27274 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-200-007	27286 SNOWFIELD ST	SFR	1.00	479.46	316.98
900-200-008	36598 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-009	36610 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-010	36622 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-011	36634 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-012	36646 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-013	36658 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-014	36670 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-015	36682 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-016	36694 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-017	36706 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-200-018	36717 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-200-019	36705 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-200-020	36693 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-200-021	36695 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-022	36683 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-023	36671 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-024	36659 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-025	36647 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-026	36635 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-027	36623 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-028	36620 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-029	36632 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-030	36644 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-031	36656 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-032	36668 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-033	36680 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-034	36692 PONDEROSA CT	SFR	1.00	479.46	316.98

City of Murrieta
Murrieta Landscaping and Lighting District No. 08 (Lincoln Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-200-035	36704 PONDEROSA CT	SFR	1.00	479.46	316.98
900-200-036	36709 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-037	36697 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-038	36685 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-039	36673 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-040	36661 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-041	36649 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-042	36637 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-043	36625 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-044	36613 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-045	36601 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-200-046	27846 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-200-047	27858 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-200-048	27870 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-200-049	27882 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-200-050	36589 HILLTOP LN	SFR	1.00	479.46	316.98
900-200-051	36577 HILLTOP LN	SFR	1.00	479.46	316.98
900-201-011	36612 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-013	36624 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-015	36636 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-017	36648 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-019	36660 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-021	36672 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-023	36684 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-025	36696 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-027	36708 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-201-029	36720 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-202-001	36631 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-202-002	36619 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-202-003	27885 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-202-004	27873 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-202-005	36628 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-202-006	36640 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-202-007	36652 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-202-008	36664 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-202-009	36676 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-202-010	36688 LYNWOOD AVE	SFR	1.00	479.46	316.98
900-210-001	36580 HILLTOP LN	SFR	1.00	479.46	316.98
900-210-002	36592 HILLTOP LN	SFR	1.00	479.46	316.98
900-210-003	36604 HILLTOP LN	SFR	1.00	479.46	316.98
900-210-004	36605 WALDEN LN	SFR	1.00	479.46	316.98
900-210-005	36593 WALDEN LN	SFR	1.00	479.46	316.98
900-210-006	36591 WALDEN LN	SFR	1.00	479.46	316.98
900-210-007	36569 WALDEN LN	SFR	1.00	479.46	316.98
900-210-008	36584 WALDEN LN	SFR	1.00	479.46	316.98
900-210-009	36596 WALDEN LN	SFR	1.00	479.46	316.98
900-210-010	36608 WALDEN LN	SFR	1.00	479.46	316.98
900-210-011	36397 COUGAR PL	SFR	1.00	479.46	316.98
900-210-012	36385 COUGAR PL	SFR	1.00	479.46	316.98
900-210-013	36373 COUGAR PL	SFR	1.00	479.46	316.98
900-210-014	36381 COUGAR PL	SFR	1.00	479.46	316.98
900-210-015	36360 COUGAR PL	SFR	1.00	479.46	316.98
900-210-016	36372 COUGAR PL	SFR	1.00	479.46	316.98
900-210-017	36384 COUGAR PL	SFR	1.00	479.46	316.98

City of Murrieta
Murrieta Landscaping and Lighting District No. 08 (Lincoln Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-210-018	36396 COUGAR PL	SFR	1.00	479.46	316.98
900-210-019	36408 COUGAR PL	SFR	1.00	479.46	316.98
900-210-020	36420 COUGAR PL	SFR	1.00	479.46	316.98
900-210-021	36432 COUGAR PL	SFR	1.00	479.46	316.98
900-210-022	36444 COUGAR PL	SFR	1.00	479.46	316.98
900-210-023	36456 COUGAR PL	SFR	1.00	479.46	316.98
900-210-024	36468 COUGAR PL	SFR	1.00	479.46	316.98
900-210-025	36480 COUGAR PL	SFR	1.00	479.46	316.98
900-210-030	36492 COUGAR PL	SFR	1.00	479.46	316.98
900-210-032	36504 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-210-034	36516 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-211-007	36540 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-211-009	36552 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-211-011	36564 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-211-013	36576 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-211-015	36588 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-211-017	36600 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-212-001	36607 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-212-002	36681 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-003	36669 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-004	36657 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-005	36645 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-006	36633 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-007	36621 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-008	36609 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-009	36597 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-010	36585 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-011	36620 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-012	36632 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-013	36644 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-014	36658 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-015	36668 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-016	36680 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-017	36692 COVINGTON CIR	SFR	1.00	479.46	316.98
900-212-018	36559 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-212-019	36547 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-212-020	36523 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-212-021	36487 COUGAR PL	SFR	1.00	479.46	316.98
900-212-022	36475 COUGAR PL	SFR	1.00	479.46	316.98
900-212-023	36463 COUGAR PL	SFR	1.00	479.46	316.98
900-212-024	36451 COUGAR PL	SFR	1.00	479.46	316.98
900-212-025	27981 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-212-026	27969 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-212-027	27957 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-212-028	27945 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-212-029	27933 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-212-030	27921 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-212-031	27909 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-212-032	27897 TREE RIDGE ST	SFR	1.00	479.46	316.98
900-220-001	36753 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-220-002	36765 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-220-003	36777 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-220-004	36789 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-220-005	36801 LONGBRANCH AVE	SFR	1.00	479.46	316.98

City of Murrieta
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900-220-006	27756 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-007	27744 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-008	36800 THISTLE LN	SFR	1.00	479.46	316.98
900-220-009	36789 THISTLE LN	SFR	1.00	479.46	316.98
900-220-010	36801 THISTLE LN	SFR	1.00	479.46	316.98
900-220-011	36813 THISTLE LN	SFR	1.00	479.46	316.98
900-220-012	27689 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-013	27701 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-014	27713 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-015	27725 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-016	27737 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-017	27749 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-018	27761 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-220-019	27773 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-221-001	36864 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-002	36852 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-003	36840 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-004	36828 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-005	36816 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-006	36804 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-007	36792 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-008	36780 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-009	36768 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-010	36756 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-221-011	36744 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-222-001	36759 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-222-002	36771 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-222-003	27644 MANGROVE ST	SFR	1.00	479.46	316.98
900-222-004	27632 MANGROVE ST	SFR	1.00	479.46	316.98
900-223-001	27635 MANGROVE ST	SFR	1.00	479.46	316.98
900-223-002	27647 MANGROVE ST	SFR	1.00	479.46	316.98
900-223-003	36795 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-223-004	36807 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-223-005	36819 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-223-006	27636 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-007	27624 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-008	27612 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-009	27600 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-010	27588 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-011	27576 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-012	27564 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-013	27585 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-014	27597 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-015	27609 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-016	27621 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-017	27633 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-018	27645 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-019	27657 BRENTSTONE WAY	SFR	1.00	479.46	316.98
900-223-020	27642 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-223-021	27630 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-223-022	27618 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-223-023	27569 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-230-001	27882 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-002	27870 CANYON HILLS WAY	SFR	1.00	479.46	316.98

City of Murrieta
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900-230-003	27858 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-004	27846 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-005	27834 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-006	27822 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-007	27810 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-008	27798 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-009	27786 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-230-010	27793 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-011	27805 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-012	27817 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-013	27829 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-014	27841 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-015	27853 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-016	27865 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-017	27877 STARFALL WAY	SFR	1.00	479.46	316.98
900-230-018	27889 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-001	27954 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-231-002	27942 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-231-003	27930 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-231-004	27918 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-231-005	27906 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-231-006	27913 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-007	27925 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-008	27937 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-009	27949 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-010	27961 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-011	27973 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-012	27970 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-013	27958 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-014	27946 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-015	27934 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-016	27922 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-017	27910 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-018	27898 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-019	27886 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-020	27874 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-021	27862 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-022	27850 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-023	27838 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-024	27826 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-025	27814 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-026	27802 STARFALL WAY	SFR	1.00	479.46	316.98
900-231-027	27790 STARFALL WAY	SFR	1.00	479.46	316.98
900-240-001	27553 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-002	27565 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-003	27577 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-004	27589 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-005	27601 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-006	27613 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-008	36996 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-240-009	36984 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-240-010	36972 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-240-011	36960 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-240-012	27581 GRAYSTONE LN	SFR	1.00	479.46	316.98

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900-240-013	27593 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-240-014	27605 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-240-015	27617 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-240-016	27629 GRAYSTONE WAY	SFR	1.00	479.46	316.98
900-240-017	27641 GRAYSTONE LN	SFR	1.00	479.46	316.98
900-240-018	27638 FOREST CT	SFR	1.00	479.46	316.98
900-240-019	27626 FOREST CT	SFR	1.00	479.46	316.98
900-240-020	27614 FOREST CT	SFR	1.00	479.46	316.98
900-240-021	27625 FOREST CT	SFR	1.00	479.46	316.98
900-240-022	36909 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-240-023	36921 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-240-024	36933 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-240-025	27616 CARMEL HILL CT	SFR	1.00	479.46	316.98
900-240-026	27591 CARMEL HILL CT	SFR	1.00	479.46	316.98
900-240-027	27603 CARMEL HILL CT	SFR	1.00	479.46	316.98
900-240-028	27615 CARMEL HILL CT	SFR	1.00	479.46	316.98
900-240-029	27627 CARMEL HILL CT	SFR	1.00	479.46	316.98
900-240-030	27598 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-031	27586 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-032	27574 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-033	27562 SUNSET WAY	SFR	1.00	479.46	316.98
900-240-034	27550 SUNSET WAY	SFR	1.00	479.46	316.98
900-241-001	36936 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-241-002	36924 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-241-003	36912 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-241-004	36900 RANCH HOUSE RD	SFR	1.00	479.46	316.98
900-241-005	36888 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-241-006	36876 RANCH HOUSE ST	SFR	1.00	479.46	316.98
900-250-001	36797 DOREEN DR	SFR	1.00	479.46	316.98
900-250-002	36785 DOREEN DR	SFR	1.00	479.46	316.98
900-250-003	36773 DOREEN DR	SFR	1.00	479.46	316.98
900-250-004	36761 DOREEN DR	SFR	1.00	479.46	316.98
900-250-005	36749 DOREEN DR	SFR	1.00	479.46	316.98
900-250-006	36737 DOREEN DR	SFR	1.00	479.46	316.98
900-250-007	36725 DOREEN DR	SFR	1.00	479.46	316.98
900-250-008	36713 DOREEN DR	SFR	1.00	479.46	316.98
900-250-009	36701 DOREEN DR	SFR	1.00	479.46	316.98
900-250-010	36689 DOREEN DR	SFR	1.00	479.46	316.98
900-250-011	36702 DOREEN DR	SFR	1.00	479.46	316.98
900-250-012	36714 DOREEN DR	SFR	1.00	479.46	316.98
900-250-013	36726 DOREEN DR	SFR	1.00	479.46	316.98
900-250-014	36738 DOREEN DR	SFR	1.00	479.46	316.98
900-250-015	36798 DOREEN DR	SFR	1.00	479.46	316.98
900-250-016	36810 DOREEN DR	SFR	1.00	479.46	316.98
900-250-017	36822 DOREEN DR	SFR	1.00	479.46	316.98
900-250-018	36834 DOREEN DR	SFR	1.00	479.46	316.98
900-250-019	36846 DOREEN DR	SFR	1.00	479.46	316.98
900-250-020	36894 DOREEN DR	SFR	1.00	479.46	316.98
900-250-021	36906 DOREEN DR	SFR	1.00	479.46	316.98
900-250-022	36962 DOREEN DR	SFR	1.00	479.46	316.98
900-250-023	36974 DOREEN DR	SFR	1.00	479.46	316.98
900-250-024	36989 DOREEN DR	SFR	1.00	479.46	316.98
900-250-025	36977 DOREEN DR	SFR	1.00	479.46	316.98
900-250-026	36965 DOREEN DR	SFR	1.00	479.46	316.98

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(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-250-027	36953 DOREEN DR	SFR	1.00	479.46	316.98
900-250-028	36941 DOREEN DR	SFR	1.00	479.46	316.98
900-250-029	36929 DOREEN DR	SFR	1.00	479.46	316.98
900-250-030	36917 DOREEN DR	SFR	1.00	479.46	316.98
900-250-031	36905 DOREEN DR	SFR	1.00	479.46	316.98
900-250-032	36893 DOREEN DR	SFR	1.00	479.46	316.98
900-250-033	36881 DOREEN DR	SFR	1.00	479.46	316.98
900-250-034	36869 DOREEN DR	SFR	1.00	479.46	316.98
900-250-035	36857 DOREEN DR	SFR	1.00	479.46	316.98
900-250-036	36845 DOREEN DR	SFR	1.00	479.46	316.98
900-250-037	36833 DOREEN DR	SFR	1.00	479.46	316.98
900-250-038	36821 DOREEN DR	SFR	1.00	479.46	316.98
900-260-001	27785 CRESTKNOLL CT	SFR	1.00	479.46	316.98
900-260-002	36837 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-003	36849 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-004	36861 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-005	36873 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-006	36885 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-007	36897 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-008	36909 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-009	36921 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-010	36933 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-011	36945 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-260-012	27785 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-260-013	27797 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-260-014	27809 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-260-015	27821 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-260-016	27833 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-260-017	27845 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-260-018	27857 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-261-001	27860 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-261-002	27848 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-261-003	27836 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-261-004	27824 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-261-005	27812 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-261-006	36926 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-261-007	36914 LONGBRANCH AVE	SFR	1.00	479.46	316.98
900-261-008	27795 ROSEMARY ST	SFR	1.00	479.46	316.98
900-261-009	27807 ROSEMARY ST	SFR	1.00	479.46	316.98
900-261-010	27819 ROSEMARY ST	SFR	1.00	479.46	316.98
900-261-011	27831 ROSEMARY ST	SFR	1.00	479.46	316.98
900-261-012	27843 ROSEMARY ST	SFR	1.00	479.46	316.98
900-261-013	27855 ROSEMARY ST	SFR	1.00	479.46	316.98
900-262-001	27856 ROSEMARY ST	SFR	1.00	479.46	316.98
900-262-002	27844 ROSEMARY ST	SFR	1.00	479.46	316.98
900-262-003	27832 ROSEMARY ST	SFR	1.00	479.46	316.98
900-262-004	27820 ROSEMARY ST	SFR	1.00	479.46	316.98
900-262-005	27808 ROSEMARY ST	SFR	1.00	479.46	316.98
900-262-006	27796 ROSEMARY ST	SFR	1.00	479.46	316.98
900-262-007	27799 TAMRACK WAY	SFR	1.00	479.46	316.98
900-262-008	27811 TAMRACK WAY	SFR	1.00	479.46	316.98
900-262-009	27823 TAMRACK WAY	SFR	1.00	479.46	316.98
900-262-010	27835 TAMRACK WAY	SFR	1.00	479.46	316.98
900-262-011	27847 TAMRACK WAY	SFR	1.00	479.46	316.98

City of Murrieta
Murrieta Landscaping and Lighting District No. 08 (Lincoln Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-262-012	27859 TAMRACK WAY	SFR	1.00	479.46	316.98
900-263-001	27862 TAMRACK WAY	SFR	1.00	479.46	316.98
900-263-002	27850 TAMRACK WAY	SFR	1.00	479.46	316.98
900-263-003	27838 TAMRACK WAY	SFR	1.00	479.46	316.98
900-263-004	27826 TAMRACK WAY	SFR	1.00	479.46	316.98
900-263-005	27814 TAMRACK WAY	SFR	1.00	479.46	316.98
900-263-006	27802 TAMRACK WAY	SFR	1.00	479.46	316.98
900-263-007	27801 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-263-008	27813 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-263-009	27825 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-263-010	27837 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-263-011	27849 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-263-012	27861 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-270-001	27869 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-002	27881 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-003	27893 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-004	27915 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-005	27927 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-006	27939 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-007	27951 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-008	27963 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-270-009	27975 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-271-001	27884 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-271-002	27872 EUCALYPTUS ST	SFR	1.00	479.46	316.98
900-271-003	27867 ROSEMARY ST	SFR	1.00	479.46	316.98
900-271-004	27879 ROSEMARY ST	SFR	1.00	479.46	316.98
900-272-001	27904 ROSEMARY ST	SFR	1.00	479.46	316.98
900-272-002	27892 ROSEMARY ST	SFR	1.00	479.46	316.98
900-272-003	27880 ROSEMARY ST	SFR	1.00	479.46	316.98
900-272-004	27868 ROSEMARY ST	SFR	1.00	479.46	316.98
900-272-005	27871 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-006	27883 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-007	27895 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-008	27907 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-009	27919 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-010	27922 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-011	27910 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-012	27898 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-013	27886 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-014	27874 TAMRACK WAY	SFR	1.00	479.46	316.98
900-272-015	27873 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-272-016	27885 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-272-017	27897 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-272-018	27909 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-272-019	27921 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-272-020	27933 CANYON HILLS WAY	SFR	1.00	479.46	316.98
900-272-021	27945 CANYON HILLS WAY	SFR	1.00	479.46	316.98
Total			479.00	\$229,662.82	\$151,833.42
Parcels					479

City of Murrieta
Murrieta Landscaping and Lighting District No. 09 (Tapestry)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-601-001	41830 PIONEER ST	SFR	1.00	\$583.38	\$583.36
906-601-002	41822 PIONEER ST	SFR	1.00	583.38	583.36
906-601-003	41814 PIONEER ST	SFR	1.00	583.38	583.36
906-601-004	41806 PIONEER ST	SFR	1.00	583.38	583.36
906-601-005	41798 PIONEER ST	SFR	1.00	583.38	583.36
906-601-006	41790 PIONEER ST	SFR	1.00	583.38	583.36
906-601-007	41782 PIONEER ST	SFR	1.00	583.38	583.36
906-601-008	41774 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-009	41766 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-010	41758 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-011	41750 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-012	41742 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-013	41734 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-014	41726 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-015	41718 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-016	41710 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-017	41702 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-601-018	41694 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-602-001	23765 ADAMS AVE	SFR	1.00	583.38	583.36
906-602-002	23757 ADAMS AVE	SFR	1.00	583.38	583.36
906-602-003	23749 ADAMS AVE	SFR	1.00	583.38	583.36
906-602-004	23741 ADAMS AVE	SFR	1.00	583.38	583.36
906-602-005	41764 SPRINGBROOK CT	SFR	1.00	583.38	583.36
906-602-006	41772 SPRINGBROOK CT	SFR	1.00	583.38	583.36
906-602-007	41779 SPRINGBROOK CT	SFR	1.00	583.38	583.36
906-602-008	41771 SPRINGBROOK CT	SFR	1.00	583.38	583.36
906-602-009	41763 SPRINGBROOK CT	SFR	1.00	583.38	583.36
906-602-010	41755 SPRINGBROOK CT	SFR	1.00	583.38	583.36
906-602-011	41825 PIONEER ST	SFR	1.00	583.38	583.36
906-602-012	41817 PIONEER ST	SFR	1.00	583.38	583.36
906-602-013	41809 PIONEER ST	SFR	1.00	583.38	583.36
906-602-014	41801 PIONEER ST	SFR	1.00	583.38	583.36
906-602-015	41793 PIONEER ST	SFR	1.00	583.38	583.36
906-602-016	41751 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-602-017	41743 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-602-018	41735 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-602-019	41707 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-602-020	41693 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-602-021	41679 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-603-001	41678 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-603-002	41670 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-603-003	41662 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-603-004	41654 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-603-005	41646 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-001	41630 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-002	41614 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-003	41606 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-004	41598 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-005	41590 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-006	41582 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-007	41574 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-008	41566 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-009	41558 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-010	41550 GRAND VIEW DR	SFR	1.00	583.38	583.36

City of Murrieta
Murrieta Landscaping and Lighting District No. 09 (Tapestry)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-611-011	41542 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-012	41534 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-013	41526 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-014	41518 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-611-015	41510 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-612-001	41515 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-612-002	41523 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-612-003	41531 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-612-004	41539 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-612-005	41547 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-612-006	23798 HILLCREST CT	SFR	1.00	583.38	583.36
906-612-007	23790 HILLCREST CT	SFR	1.00	583.38	583.36
906-612-008	23782 HILLCREST CT	SFR	1.00	583.38	583.36
906-612-009	23774 HILLCREST CT	SFR	1.00	583.38	583.36
906-612-010	23771 HILLCREST CT	SFR	1.00	583.38	583.36
906-612-011	23779 HILLCREST CT	SFR	1.00	583.38	583.36
906-612-012	23787 HILLCREST CT	SFR	1.00	583.38	583.36
906-612-013	41587 GRAND VIEW DR	SFR	1.00	583.38	583.36
906-612-014	23800 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-015	23792 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-016	23784 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-017	23776 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-018	23768 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-019	23767 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-020	23775 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-021	23783 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-022	23799 BROOKSIDE CT	SFR	1.00	583.38	583.36
906-612-023	23797 BROOKSIDE CT	SFR	1.00	583.38	583.36
949-660-001	41474 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-002	41456 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-003	41438 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-004	41420 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-005	41402 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-006	41384 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-007	41366 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-008	41348 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-009	41337 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-010	41355 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-011	41439 MACKENZIE CT	SFR	1.00	583.38	583.36
949-660-012	41421 MACKENZIE CT	SFR	1.00	583.38	583.36
949-660-013	41403 MACKENZIE CT	SFR	1.00	583.38	583.36
949-660-014	41392 MACKENZIE CT	SFR	1.00	583.38	583.36
949-660-015	41410 MACKENZIE CT	SFR	1.00	583.38	583.36
949-660-016	41428 MACKENZIE CT	SFR	1.00	583.38	583.36
949-660-017	41446 MACKENZIE CT	SFR	1.00	583.38	583.36
949-660-018	41451 GRAND VIEW DR	SFR	1.00	583.38	583.36
949-660-019	41469 GRAND VIEW DR	SFR	1.00	583.38	583.36
Total			101.00	\$58,921.06	\$58,919.36
Parcels					101

City of Murrieta
Murrieta Landscaping and Lighting District No. 10
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-100-001	29622 HAZEL GLEN RD	SFR	A	1.00	\$175.36	\$175.36
908-100-002	29610 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-100-003	29598 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-100-004	29586 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-100-005	29574 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-100-006	29562 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-100-007	37511 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-008	37523 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-009	37535 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-010	37547 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-011	37559 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-012	37571 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-013	37583 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-014	37595 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-015	37607 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-016	37619 CARDIFF RD	SFR	A	1.00	175.36	175.36
908-100-019	37649 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-020	37637 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-021	37625 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-022	37613 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-023	37601 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-024	37589 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-025	37577 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-026	37565 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-027	37553 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-028	37541 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-029	37529 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-030	37517 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-031	37505 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-032	37510 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-033	37522 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-034	37534 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-035	37546 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-036	37558 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-037	37570 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-038	37582 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-039	37594 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-040	37606 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-041	37618 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-042	37630 EARLY LN	SFR	A	1.00	175.36	175.36
908-100-043	37642 EARLY LN	SFR	A	1.00	175.36	175.36
908-101-001	29577 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-101-002	29589 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-101-003	29601 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-101-004	29613 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-101-005	29625 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-101-006	29626 YORKTON RD	SFR	A	1.00	175.36	175.36
908-101-007	29614 YORKTON RD	SFR	A	1.00	175.36	175.36
908-101-008	29602 YORKTON RD	SFR	A	1.00	175.36	175.36
908-101-009	29590 YORKTON RD	SFR	A	1.00	175.36	175.36
908-101-010	29578 YORKTON RD	SFR	A	1.00	175.36	175.36
908-102-001	29575 YORKTON RD	SFR	A	1.00	175.36	175.36
908-102-002	29587 YORKTON RD	SFR	A	1.00	175.36	175.36
908-102-003	29599 YORKTON RD	SFR	A	1.00	175.36	175.36
908-102-004	29611 YORKTON RD	SFR	A	1.00	175.36	175.36
908-102-005	29623 YORKTON RD	SFR	A	1.00	175.36	175.36
908-103-001	29616 BAKER LN	SFR	A	1.00	175.36	175.36
908-103-002	29604 BAKER LN	SFR	A	1.00	175.36	175.36
908-103-003	29592 BAKER LN	SFR	A	1.00	175.36	175.36
908-103-004	29580 BAKER LN	SFR	A	1.00	175.36	175.36
908-103-005	29568 BAKER LN	SFR	A	1.00	175.36	175.36

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-103-006	29556 BAKER LN	SFR	A	1.00	175.36	175.36
908-103-007	29544 BAKER LN	SFR	A	1.00	175.36	175.36
908-103-008	29532 BAKER LN	SFR	A	1.00	175.36	175.36
908-103-009	37671 CRESTA DEL REYO	SFR	A	1.00	175.36	175.36
908-103-010	29564 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-103-011	29552 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-103-012	29540 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-103-013	37704 EARLY LN	SFR	A	1.00	175.36	175.36
908-103-014	37688 EARLY LN	SFR	A	1.00	175.36	175.36
908-103-015	37672 EARLY LN	SFR	A	1.00	175.36	175.36
908-103-016	37656 EARLY RD	SFR	A	1.00	175.36	175.36
908-104-002	37661 EARLY LN	SFR	A	1.00	175.36	175.36
908-104-003	37677 EARLY LN	SFR	A	1.00	175.36	175.36
908-104-004	37693 EARLY LN	SFR	A	1.00	175.36	175.36
908-104-005	37709 EARLY LN	SFR	A	1.00	175.36	175.36
908-104-006	37725 EARLY LN	SFR	A	1.00	175.36	175.36
908-104-007	29507 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-104-008	29513 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-104-009	29519 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-104-010	29531 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-104-011	29543 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-104-012	29555 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-104-013	29567 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-105-001	29579 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-105-002	29591 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-105-003	29603 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-105-004	29615 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-106-001	37702 CRESTA DEL REYO	SFR	A	1.00	175.36	175.36
908-106-002	29573 BAKER LN	SFR	A	1.00	175.36	175.36
908-106-003	29585 BAKER LN	SFR	A	1.00	175.36	175.36
908-106-004	29597 BAKER LN	SFR	A	1.00	175.36	175.36
908-106-005	29609 BAKER LN	SFR	A	1.00	175.36	175.36
908-106-006	29621 BAKER LN	SFR	A	1.00	175.36	175.36
908-106-007	29624 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-106-008	29612 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-106-009	29600 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-110-001	29778 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-002	29766 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-003	29754 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-004	29742 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-005	29730 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-006	29718 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-007	29706 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-008	29694 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-009	29682 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-010	29670 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-011	29658 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-012	29646 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-110-013	29634 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-001	29637 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-002	29649 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-003	29661 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-004	29673 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-005	29685 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-006	29697 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-007	29709 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-008	29721 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-009	29733 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-010	29745 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-011	29757 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-012	29769 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-111-013	29781 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-111-014	29782 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-015	29770 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-016	29758 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-017	29746 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-018	29734 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-019	29722 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-020	29710 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-021	29698 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-022	29686 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-023	29674 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-024	29662 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-025	29650 YORKTON RD	SFR	A	1.00	175.36	175.36
908-111-026	29638 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-001	29635 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-002	29647 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-003	29659 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-004	29671 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-005	29683 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-006	29695 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-007	29707 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-008	29719 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-009	29731 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-010	29743 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-011	29755 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-012	29767 YORKTON RD	SFR	A	1.00	175.36	175.36
908-112-013	29779 YORKTON RD	SFR	A	1.00	175.36	175.36
908-113-001	29712 BAKER LN	SFR	A	1.00	175.36	175.36
908-113-002	29700 BAKER LN	SFR	A	1.00	175.36	175.36
908-113-003	29688 BAKER LN	SFR	A	1.00	175.36	175.36
908-113-004	29676 BAKER LN	SFR	A	1.00	175.36	175.36
908-113-005	29664 BAKER LN	SFR	A	1.00	175.36	175.36
908-113-006	29652 BAKER LN	SFR	A	1.00	175.36	175.36
908-113-007	29640 BAKER LN	SFR	A	1.00	175.36	175.36
908-113-008	29628 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-001	29633 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-002	29645 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-003	29657 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-004	29669 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-005	29681 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-006	29693 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-007	29705 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-008	29717 BAKER LN	SFR	A	1.00	175.36	175.36
908-114-009	29720 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-114-010	29708 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-114-011	29696 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-114-012	29684 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-114-013	29672 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-114-014	29660 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-114-015	29648 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-114-016	29636 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-001	29627 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-002	29639 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-003	29651 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-004	29663 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-005	29675 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-006	29687 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-007	29699 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-008	29711 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-009	29723 ROSSITER RD	SFR	A	1.00	175.36	175.36
908-115-010	37738 RED ROBIN DR	SFR	A	1.00	175.36	175.36

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-115-011	37722 RED ROBIN DR	SFR	A	1.00	175.36	175.36
908-115-012	37706 RED ROBIN DR	SFR	A	1.00	175.36	175.36
908-115-013	37690 RED ROBIN DR	SFR	A	1.00	175.36	175.36
908-115-014	37674 RED ROBIN DR	SFR	A	1.00	175.36	175.36
908-115-015	37658 RED ROBIN DR	SFR	A	1.00	175.36	175.36
908-115-016	37642 RED ROBIN DR	SFR	A	1.00	175.36	175.36
908-115-017	37626 RED ROBIN DR	SFR	A	1.00	175.36	175.36
908-120-001	29910 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-002	29898 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-003	29886 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-004	29874 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-005	29862 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-006	29850 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-007	29838 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-008	29826 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-009	29814 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-010	29802 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-120-011	29790 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-001	29793 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-002	29805 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-003	29817 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-004	29829 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-005	29841 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-006	29853 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-007	29865 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-008	29877 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-009	29889 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-010	29901 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-121-011	29938 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-012	29914 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-013	29890 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-014	29878 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-015	29866 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-016	29854 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-017	29842 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-018	29830 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-019	29818 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-020	29806 YORKTON RD	SFR	A	1.00	175.36	175.36
908-121-021	29794 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-001	29791 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-002	29803 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-003	29815 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-004	29827 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-005	29839 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-006	29851 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-007	29863 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-008	29875 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-009	29887 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-010	29899 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-011	29911 YORKTON RD	SFR	A	1.00	175.36	175.36
908-122-012	29923 YORKTON RD	SFR	A	1.00	175.36	175.36
908-124-001	37689 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-124-002	37681 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-124-003	37673 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-124-004	37665 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-124-005	37657 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-124-006	37649 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-124-007	37633 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-001	29852 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-125-002	29864 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-125-003	29876 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-125-004	29888 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-125-005	29900 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-125-006	29912 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-125-007	29924 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-125-008	29936 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-125-009	37638 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-010	37646 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-011	37654 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-012	37662 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-013	37670 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-014	37678 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-015	37686 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-125-016	37694 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-126-001	29921 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-126-002	29909 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-126-003	29897 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-126-004	29885 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-126-005	29873 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-126-006	29861 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-126-007	29849 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-130-001	29959 YORKTON RD	SFR	A	1.00	175.36	175.36
908-130-002	29971 YORKTON RD	SFR	A	1.00	175.36	175.36
908-130-003	29983 YORKTON AVE	SFR	A	1.00	175.36	175.36
908-130-004	29995 YORKTON RD	SFR	A	1.00	175.36	175.36
908-130-005	29998 YORKTON RD	SFR	A	1.00	175.36	175.36
908-130-006	29986 YORKTON RD	SFR	A	1.00	175.36	175.36
908-130-007	29974 YORKTON RD	SFR	A	1.00	175.36	175.36
908-130-008	29962 YORKTON RD	SFR	A	1.00	175.36	175.36
908-130-009	29934 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-130-010	29922 HAZEL GLEN RD	SFR	A	1.00	175.36	175.36
908-131-001	37502 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-002	37510 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-003	37518 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-004	37526 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-005	37534 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-006	37542 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-007	37550 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-008	37558 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-009	37566 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-010	37574 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-011	37582 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-012	37590 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-131-013	37628 PLYMOUTH RD	SFR	A	1.00	175.36	175.36
908-131-014	37644 PLYMOUTH RD	SFR	A	1.00	175.36	175.36
908-131-015	37660 PLYMOUTH RD	SFR	A	1.00	175.36	175.36
908-131-016	30017 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-131-017	30005 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-131-018	37676 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-019	37692 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-020	37708 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-021	37724 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-022	37727 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-023	37711 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-024	37695 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-025	37679 TOWNSVILLE CT	SFR	A	1.00	175.36	175.36
908-131-026	29945 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-131-027	29939 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-131-028	29933 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-132-001	29935 YORKTON RD	SFR	A	1.00	175.36	175.36
908-132-002	29947 YORKTON RD	SFR	A	1.00	175.36	175.36
908-133-001	37625 NEWCASTLE RD	SFR	A	1.00	175.36	175.36

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908-133-002	37617 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-003	37609 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-004	37601 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-005	37593 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-006	37585 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-007	37577 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-008	37569 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-009	37553 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-010	37545 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-133-011	37537 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-134-001	29942 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-134-002	29948 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-134-003	29960 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-134-004	29972 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-134-005	29984 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-134-006	29996 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-134-007	30008 SYCAMORE RIDGE RD	SFR	A	1.00	175.36	175.36
908-134-008	37598 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-134-009	37606 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-134-010	37614 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-134-011	37622 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-134-012	37630 NEWCASTLE RD	SFR	A	1.00	175.36	175.36
908-140-001	37752 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-140-002	37758 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-140-003	37764 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-140-004	37772 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-140-005	29598 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-006	29606 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-007	29616 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-008	29626 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-009	29634 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-010	29644 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-011	29652 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-012	29716 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-013	29724 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-014	29732 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-015	29740 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-016	29739 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-017	29731 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-018	29723 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-019	29715 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-020	29705 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-021	29697 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-022	29687 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-023	29679 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-024	29671 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-025	29661 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-026	29651 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-027	29643 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-028	29633 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-029	29625 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-030	29615 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-031	29607 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-032	29597 SAWGRASS CIR	SFR	B	1.00	105.36	105.36
908-140-033	29640 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-034	29646 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-035	29652 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-036	29658 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-037	29664 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-038	29670 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-039	29676 WOODLANDS AVE	SFR	B	1.00	105.36	105.36

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908-140-040	29682 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-041	29688 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-042	29694 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-043	29700 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-044	29706 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-045	29712 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-140-046	37801 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-047	37795 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-048	37789 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-049	37783 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-050	37771 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-051	37765 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-052	37759 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-053	37753 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-054	37752 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-055	37758 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-056	37764 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-057	37770 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-058	37776 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-059	37784 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-060	37790 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-061	37794 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-062	37800 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-063	37810 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-064	37816 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-140-065	37822 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-141-001	37799 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-141-002	37793 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-141-003	37785 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-141-004	37779 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-141-006	37823 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-007	37815 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-008	37807 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-009	37799 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-010	37791 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-011	37783 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-012	37775 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-013	37767 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-014	37759 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-015	37758 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-016	37766 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-017	37774 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-018	37782 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-019	37790 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-020	37798 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-021	37806 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-022	37814 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-023	37822 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-024	37830 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-025	37838 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-026	37846 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-027	37823 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-141-028	37817 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-141-029	37811 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-141-030	37803 CRESTA DEL REYO AVE	SFR	B	1.00	105.36	105.36
908-141-031	37831 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-032	37839 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-033	37847 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-141-034	37855 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-150-001	37871 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-002	37861 VERANDA WAY	SFR	C	1.00	424.19	327.56

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908-150-003	37851 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-004	37841 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-005	37831 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-006	37821 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-007	37811 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-008	37801 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-009	37791 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-010	37781 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-011	37771 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-012	37761 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-150-013	29798 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-150-014	29808 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-150-015	29818 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-150-016	29828 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-150-017	29838 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-150-018	29848 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-150-019	37787 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-150-020	37777 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-150-021	37767 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-151-001	29888 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-002	29898 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-003	29908 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-004	29918 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-005	29928 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-006	29938 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-007	29948 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-008	29958 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-009	29968 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-010	29978 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-011	29988 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-012	29998 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-013	30008 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-014	30018 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-015	30028 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-016	30038 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-151-017	37773 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-018	37783 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-019	37793 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-020	37803 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-021	37813 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-022	37823 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-023	37833 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-024	37843 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-025	37853 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-026	37863 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-151-027	37873 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-152-001	37986 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-152-002	37976 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-152-003	37966 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-152-004	37956 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-152-005	37946 SWEET MAGNOLIA DR	SFR	C	1.00	424.19	327.56
908-152-006	37936 SWEET MAGNOLIA DR	SFR	C	1.00	424.19	327.56
908-152-007	37926 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-152-008	37916 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-152-009	29991 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-010	29971 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-011	29961 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-012	29951 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-013	29941 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-014	29931 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-015	29921 PEACH TREE CT	SFR	C	1.00	424.19	327.56

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908-152-016	29924 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-017	29934 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-018	29944 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-019	29954 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-020	29964 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-021	29974 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-022	29984 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-023	29994 PEACH TREE CT	SFR	C	1.00	424.19	327.56
908-152-024	30015 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-025	29995 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-026	29985 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-027	29975 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-028	29965 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-029	29955 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-030	29945 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-031	29935 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-032	29925 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-033	29915 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-034	29895 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-035	29885 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-152-036	37830 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-152-037	37840 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-152-038	37850 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-152-039	37860 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-152-040	37870 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-152-041	37880 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-001	29801 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-002	29811 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-003	29821 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-004	29831 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-005	29841 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-006	29851 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-007	29861 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-008	29854 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-009	29844 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-010	29834 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-011	29824 CAMDEN CIR	SFR	C	1.00	424.19	327.56
908-153-012	37834 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-153-013	37824 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-153-014	37814 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-153-015	37804 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-153-016	37794 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-153-017	37784 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-153-018	29825 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-153-019	29835 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-153-020	29845 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-153-021	29855 ROSE BLOSSOM DR	SFR	C	1.00	424.19	327.56
908-153-022	37807 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-023	37817 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-024	37827 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-025	37837 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-026	37847 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-027	37857 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-028	37867 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-029	37877 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-153-030	37887 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-160-002	37981 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-003	37969 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-004	37957 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-005	37945 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-006	37933 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-160-007	37921 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-008	37909 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-009	37897 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-010	37885 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-011	37873 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-012	37861 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-013	37849 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-014	37843 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-015	37835 CRESTA DEL REYO	SFR	B	1.00	105.36	105.36
908-160-016	37870 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-017	37878 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-018	37886 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-019	37894 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-020	37902 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-021	37910 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-022	37918 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-023	37926 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-024	37934 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-025	37942 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-026	37950 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-027	37958 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-028	37966 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-160-029	37974 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-161-002	29645 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-003	29651 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-004	29657 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-005	29663 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-006	29669 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-007	29675 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-008	29681 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-009	29687 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-010	29693 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-011	29699 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-012	29705 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-013	29711 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-014	29717 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-015	29723 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-016	29729 SAINT ANDREWS CT ##C	SFR	B	1.00	105.36	105.36
908-161-017	29735 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-018	29741 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-019	29747 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-020	29748 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-021	29740 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-022	29736 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-023	29730 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-024	29724 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-025	29718 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-026	29710 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-027	29704 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-028	29700 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-029	29694 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-030	29686 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-031	29680 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-032	29674 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-033	29670 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-034	29662 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-035	29656 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-036	29650 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-037	29642 SAINT ANDREWS CT	SFR	B	1.00	105.36	105.36
908-161-038	29643 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-039	29649 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-161-040	29655 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-041	29661 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-042	29667 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-043	29673 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-044	29679 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-045	29685 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-046	29691 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-047	29697 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-048	29703 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-049	29709 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-050	29715 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-051	29721 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-052	29729 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-053	29739 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-054	29749 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-161-055	37858 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-161-056	37852 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-161-057	37846 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-161-058	37840 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-161-059	37834 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-161-060	37828 SEA PINES CT	SFR	B	1.00	105.36	105.36
908-162-001	29646 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-002	29652 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-003	29658 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-004	29664 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-005	29672 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-006	29678 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-007	29684 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-008	29690 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-009	29696 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-010	29702 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-011	29708 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-012	29695 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-013	29689 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-014	29683 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-015	29677 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-016	29671 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-017	29665 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-018	29659 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-019	29653 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-020	29647 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-021	29641 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-022	29699 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-023	29705 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-024	29713 WOODLANDS AVE	SFR	B	1.00	105.36	105.36
908-162-025	29724 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-162-026	29716 EAGLE CREST AVE	SFR	B	1.00	105.36	105.36
908-163-001	37975 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-002	37967 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-003	37959 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-004	37951 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-005	37943 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-006	37935 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-007	37927 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-008	37919 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-009	37911 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-010	37903 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-011	37895 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-012	37887 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-013	37879 SPYGLASS CIR	SFR	B	1.00	105.36	105.36
908-163-014	37871 SPYGLASS CIR	SFR	B	1.00	105.36	105.36

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-170-001	29893 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-002	29883 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-003	29873 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-004	29863 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-005	29853 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-006	29843 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-007	29833 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-008	29823 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-009	29813 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-170-010	29803 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-171-001	37991 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-002	37981 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-003	37971 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-004	37961 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-005	37951 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-006	37941 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-007	37931 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-008	37921 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-009	37911 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-010	37901 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-011	37891 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-171-012	37881 VERANDA WAY	SFR	C	1.00	424.19	327.56
908-172-001	37903 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-002	37913 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-003	37923 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-004	37933 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-005	37943 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-006	37953 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-007	37963 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-008	37973 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-009	37983 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-010	37883 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-172-011	37893 SWEET MAGNOLIA WAY	SFR	C	1.00	424.19	327.56
908-173-001	29896 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-002	29886 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-003	29876 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-004	29866 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-005	29856 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-006	29846 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-007	29836 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-008	29826 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-009	29816 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-010	29806 OLD SYCAMORE LN	SFR	C	1.00	424.19	327.56
908-173-011	29807 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-012	29817 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-013	29827 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-014	29837 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-015	29847 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-016	29857 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-017	29867 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-018	29877 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-019	29880 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-020	29870 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-021	29860 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-022	29850 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-023	29840 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-024	29830 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-025	29820 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-026	29810 GARDENIA CIR	SFR	C	1.00	424.19	327.56
908-173-027	37897 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-173-028	37907 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-173-029	37917 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-173-030	37927 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
908-173-031	37937 SHADY MAPLE RD	SFR	C	1.00	424.19	327.56
Total				735.00	\$158,674.74	\$140,992.20
Parcels						735

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(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-260-001	29260 OAKMONT CT	SFR	B	1.00	\$135.95	\$135.94
908-260-002	29248 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-260-003	29236 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-260-004	29226 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-260-005	29229 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-260-006	29243 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-260-007	29257 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-260-008	29270 EAGLE DR	SFR	B	1.00	135.95	135.94
908-260-009	29258 EAGLE DR	SFR	B	1.00	135.95	135.94
908-260-010	29246 EAGLE DR	SFR	B	1.00	135.95	135.94
908-260-012	29261 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-001	29295 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-002	29307 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-003	29325 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-004	29337 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-005	29349 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-006	29361 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-007	29373 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-008	29385 EAGLE DR	SFR	B	1.00	135.95	135.94
908-261-009	38146 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-261-010	38132 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-261-011	38118 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-261-012	38104 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-261-013	38090 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-261-014	38076 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-261-015	38062 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-261-016	38048 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-262-001	29376 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-002	29364 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-003	29352 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-004	29340 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-005	29328 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-006	29316 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-007	29304 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-008	29292 EAGLE DR	SFR	B	1.00	135.95	135.94
908-262-009	29285 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-010	29297 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-011	29309 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-012	29321 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-013	29333 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-014	29345 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-015	29357 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-016	29369 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-017	29381 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-262-018	29393 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-001	38055 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-263-002	38069 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-263-003	38083 CYPRESS POINT DR	SFR	B	1.00	135.95	135.94
908-263-004	29390 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-005	29378 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-006	29366 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-007	29354 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-008	29342 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-009	29330 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-010	29318 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-011	29306 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-012	29294 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-263-013	29282 OAKMONT CT	SFR	B	1.00	135.95	135.94
908-270-001	29250 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-270-002	29238 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-270-003	29232 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-270-004	29224 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-270-005	29227 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-270-006	29235 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-270-007	29241 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-270-008	29253 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-001	29275 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-002	29287 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-003	29299 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-004	29311 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-005	29323 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-006	29335 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-007	29347 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-008	29359 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-009	29371 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-010	29383 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-011	29395 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-012	29407 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-271-013	29419 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-001	29428 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-002	29416 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-003	29404 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-004	29392 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-005	29380 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-006	29368 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-007	29356 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-008	29344 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-009	29332 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-010	29320 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-011	29308 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-012	29296 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-013	29284 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-272-014	29272 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-001	29680 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-002	29664 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-003	29648 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-004	29630 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-005	29616 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-006	29602 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-007	29584 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-008	29568 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-009	29552 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-010	29536 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-011	29520 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-012	29504 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-013	29488 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-014	29472 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-015	29456 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-280-016	29440 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-001	29459 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-002	29475 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-003	29491 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-004	29507 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-005	29523 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-006	29539 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-007	29555 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-008	29571 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-009	29587 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-010	29603 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-011	29621 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-012	29618 TROON CT	SFR	B	1.00	135.95	135.94
908-281-013	29604 TROON CT	SFR	B	1.00	135.95	135.94

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908-281-014	29590 TROON CT	SFR	B	1.00	135.95	135.94
908-281-015	29576 TROON CT	SFR	B	1.00	135.95	135.94
908-281-016	29562 TROON CT	SFR	B	1.00	135.95	135.94
908-281-017	29548 TROON CT	SFR	B	1.00	135.95	135.94
908-281-018	29537 TROON CT	SFR	B	1.00	135.95	135.94
908-281-019	29551 TROON CT	SFR	B	1.00	135.95	135.94
908-281-020	29565 TROON CT	SFR	B	1.00	135.95	135.94
908-281-021	29579 TROON CT	SFR	B	1.00	135.95	135.94
908-281-022	29593 TROON CT	SFR	B	1.00	135.95	135.94
908-281-023	29607 TROON CT	SFR	B	1.00	135.95	135.94
908-281-024	29621 TROON CT	SFR	B	1.00	135.95	135.94
908-281-025	29635 TROON CT	SFR	B	1.00	135.95	135.94
908-281-026	29649 TROON CT	SFR	B	1.00	135.95	135.94
908-281-027	29663 TROON CT	SFR	B	1.00	135.95	135.94
908-281-028	29677 TROON CT	SFR	B	1.00	135.95	135.94
908-281-029	29691 TROON CT	SFR	B	1.00	135.95	135.94
908-281-030	29688 TROON CT	SFR	B	1.00	135.95	135.94
908-281-031	29674 TROON CT	SFR	B	1.00	135.95	135.94
908-281-032	29660 TROON CT	SFR	B	1.00	135.95	135.94
908-281-033	29646 TROON CT	SFR	B	1.00	135.95	135.94
908-281-034	29651 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-035	29667 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-281-036	29683 PEBBLE BEACH DR	SFR	B	1.00	135.95	135.94
908-290-001	29823 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-002	29811 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-003	29799 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-004	29787 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-005	29775 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-006	29763 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-007	29751 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-008	29739 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-009	29727 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-010	29715 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-011	29703 HUNTER RD	SFR	B	1.00	135.95	135.94
908-290-012	29691 HUNTER RD	SFR	B	1.00	135.95	135.94
908-300-001	38132 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-300-002	38124 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-300-003	38116 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-300-004	38108 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-300-005	38100 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-300-006	38076 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-007	38068 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-008	38060 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-009	38052 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-010	38044 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-011	38036 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-012	38028 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-013	38020 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-014	38012 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-015	38055 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-016	38063 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-017	38071 RIVERA CT	SFR	A	1.00	251.19	251.18
908-300-018	38052 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-300-019	38044 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-300-020	38036 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-001	38193 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-002	38185 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-003	38177 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-004	38169 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-005	38161 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-006	38153 AUGUSTA DR	SFR	A	1.00	251.19	251.18

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-301-007	38145 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-008	38137 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-009	38129 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-010	38121 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-011	38113 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-012	38105 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-013	38097 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-014	38089 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-015	38081 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-016	38073 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-017	38065 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-018	38057 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-019	38049 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-020	38041 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-301-021	38033 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-001	38201 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-002	38209 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-003	38217 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-004	38225 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-005	38233 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-006	38241 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-007	38249 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-008	38257 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-009	38265 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-010	38273 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-011	38281 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-012	38289 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-013	38297 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-014	38305 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-015	38313 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-016	38321 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-017	38329 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-018	38337 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-019	38345 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-020	38353 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-021	38361 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-022	38369 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-310-023	29847 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-310-024	29853 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-310-025	29861 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-310-026	29869 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-311-001	38365 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-002	38373 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-003	38381 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-004	38389 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-005	38397 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-006	38402 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-007	38394 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-008	38386 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-009	38378 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-010	38370 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-011	38362 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-012	38354 BIRCH HILL CT	SFR	A	1.00	251.19	251.18
908-311-013	29896 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-311-014	29888 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-311-015	29880 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-311-016	29872 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-311-017	29864 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-311-018	29856 PINEHURST DR	SFR	A	1.00	251.19	251.18
908-311-019	29857 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-311-020	29865 CHERRY HILL DR	SFR	A	1.00	251.19	251.18

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-311-021	29873 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-311-022	29881 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-311-023	29889 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-311-024	29897 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-311-025	29905 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-311-026	38326 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-027	38318 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-028	38310 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-029	38302 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-030	38294 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-031	38286 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-032	38278 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-033	38270 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-034	38262 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-035	38254 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-311-036	38212 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-311-037	38220 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-001	38236 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-002	38252 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-003	38268 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-004	38276 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-005	38284 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-006	38292 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-007	38300 AUGUSTA DR	SFR	A	1.00	251.19	251.18
908-312-008	29860 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-312-009	29868 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-312-010	29878 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-312-011	29884 CHERRY HILL DR	SFR	A	1.00	251.19	251.18
908-312-012	38299 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-312-013	38291 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-312-014	38283 WILLOWICK DR	SFR	A	1.00	251.19	251.18
908-312-015	38275 WILLOWICK DR	SFR	A	1.00	251.19	251.18
Total				276.00	\$51,236.01	\$51,233.00
Parcels						276

City of Murrieta
Murrieta Landscaping and Lighting District No. 12
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Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-261-001	26798 SILVER OAKS DR	SFR	F	1.00	\$562.95	\$443.88
913-261-002	26788 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-003	26778 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-004	26768 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-005	26758 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-006	26748 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-007	26738 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-008	26728 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-009	26718 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-010	26708 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-011	26698 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-012	26688 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-013	26678 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-014	26668 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-015	26658 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-016	26648 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-017	26638 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-018	26628 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-019	26618 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-020	26608 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-021	26598 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-022	26588 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-261-023	26578 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-001	26575 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-002	26585 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-003	26595 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-004	26605 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-005	26615 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-006	26625 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-007	26635 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-008	26645 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-009	26655 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-010	26665 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-011	26675 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-012	26685 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-013	26695 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-014	26705 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-015	26715 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-016	26725 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-017	26735 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-018	26745 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-019	26755 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-020	26765 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-021	26775 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-022	26785 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-262-023	26795 SILVER OAKS DR	SFR	F	1.00	562.95	443.88
913-291-001	26535 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-002	26555 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-003	26575 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-004	26595 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-005	26615 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-006	26635 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-007	26655 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-008	26675 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-291-009	39853 CLEMENTS WAY	SFR	E	1.00	219.00	219.00

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-291-010	39843 CLEMENTS WAY	SFR	E	1.00	219.00	219.00
913-291-011	39833 CLEMENTS WAY	SFR	E	1.00	219.00	219.00
913-291-012	39823 CLEMENTS WAY	SFR	E	1.00	219.00	219.00
913-291-013	39813 CLEMENTS WAY	SFR	E	1.00	219.00	219.00
913-291-016	39803 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-291-017	39793 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-291-018	39783 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-291-019	39773 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-292-001	39818 CLEMENTS WAY	SFR	E	1.00	219.00	219.00
913-292-002	26650 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-292-003	26640 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-292-004	26620 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-292-005	26600 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-292-009	26520 SAINT MICHEL LN	SFR	C	1.00	529.84	417.78
913-292-010	26540 SAINT MICHEL LN	SFR	C	1.00	529.84	417.78
913-292-011	26560 SAINT MICHEL LN	SFR	C	1.00	529.84	417.78
913-292-012	26580 SAINT MICHEL LN	SFR	C	1.00	529.84	417.78
913-292-013	26604 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-014	26594 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-015	26584 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-016	26574 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-017	26564 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-018	26554 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-019	26544 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-020	26534 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-021	26529 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-022	26539 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-023	26549 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-024	26559 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-025	26569 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-026	26579 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-027	26589 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-028	26609 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-029	26619 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-030	26629 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-031	26639 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-032	26649 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-033	26669 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-034	26679 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-035	26699 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-036	26709 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-037	26719 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-038	26729 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-292-039	39768 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-292-040	39774 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-292-041	39778 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-292-042	39788 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-292-043	39755 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-044	39735 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-045	39725 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-046	39715 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-047	39705 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-048	39695 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-049	39700 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-050	39710 PRIMROSE CIR	SFR	C	1.00	529.84	417.78

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913-292-051	39720 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-052	39730 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-053	39740 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-054	39750 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-055	39760 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-056	39770 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-057	39780 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-058	39790 PRIMROSE CIR	SFR	C	1.00	529.84	417.78
913-292-059	39798 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-292-060	39804 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-292-061	39808 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-301-002	26515 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-003	26505 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-004	26495 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-005	26485 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-006	26475 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-007	26465 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-008	26455 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-009	26445 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-010	26435 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-011	26425 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-012	26415 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-013	26405 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-014	26395 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-015	26385 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-016	26375 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-017	26365 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-018	26355 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-019	26345 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-301-020	39900 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-021	39890 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-022	39880 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-023	39870 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-024	39860 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-025	39850 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-026	39840 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-027	39830 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-028	39820 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-029	39810 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-030	39800 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-301-031	39790 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-002	39783 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-003	39793 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-004	39803 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-005	39813 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-006	39823 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-007	39833 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-008	39843 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-009	39853 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-010	39863 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-011	39873 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-012	39883 SAINT HONORE DR	SFR	E	1.00	219.00	219.00
913-302-013	39892 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-014	39882 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-015	39872 DE VENDOME CT	SFR	E	1.00	219.00	219.00

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-302-016	39862 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-017	39852 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-018	39842 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-019	39832 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-020	39822 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-021	39812 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-022	39802 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-023	39805 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-024	39815 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-025	39825 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-026	39835 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-027	39845 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-028	39855 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-029	39865 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-030	39875 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-031	39885 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-032	39895 DE VENDOME CT	SFR	E	1.00	219.00	219.00
913-302-033	26422 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-302-034	26432 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-302-035	26442 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-302-036	26452 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-302-037	26462 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-302-038	39894 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-302-039	39884 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-302-040	39874 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-302-041	39864 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-302-042	26453 SAINT IVES CT	SFR	E	1.00	219.00	219.00
913-302-043	26443 SAINT IVES CT	SFR	E	1.00	219.00	219.00
913-302-044	26433 SAINT IVES CT	SFR	E	1.00	219.00	219.00
913-302-045	26430 SAINT IVES CT	SFR	E	1.00	219.00	219.00
913-302-046	26440 SAINT IVES CT	SFR	E	1.00	219.00	219.00
913-302-047	26450 SAINT IVES CT	SFR	E	1.00	219.00	219.00
913-302-048	39844 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-302-049	39834 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-302-050	39824 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-302-051	39814 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-002	39817 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-003	39827 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-004	39837 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-005	39847 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-006	39857 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-007	39867 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-008	39877 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-009	39887 COTE D AZURE DR	SFR	E	1.00	219.00	219.00
913-303-010	26512 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-303-011	26502 SAINT MICHEL LN	SFR	E	1.00	219.00	219.00
913-311-001	39663 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-002	39673 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-003	39683 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-004	39693 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-005	39703 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-006	39713 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-007	39723 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-008	39733 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-009	39743 BONAIRE WAY	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-311-010	39753 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-011	39763 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-012	39773 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-311-013	26985 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-014	26975 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-015	26965 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-016	26955 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-017	26945 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-018	26935 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-019	26925 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-020	26915 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-021	26905 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-022	26895 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-023	26885 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-024	26875 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-025	26865 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-026	26855 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-027	26845 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-028	26835 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-029	26825 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-030	26815 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-031	26805 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-032	26818 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-033	26828 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-034	26838 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-311-035	39764 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-311-036	39754 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-311-037	39744 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-311-038	39734 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-311-039	39724 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-311-040	26833 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-041	26823 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-042	26813 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-043	26803 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-044	26816 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-045	26826 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-046	26836 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-047	26846 ABACO CT	SFR	A	1.00	419.46	344.10
913-311-048	26856 ABACO CT	SFR	A	1.00	419.46	344.10
913-312-002	39697 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-003	39707 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-004	39717 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-005	39727 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-006	39737 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-007	39747 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-008	39757 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-009	39767 BARBADOS DR	SFR	A	1.00	419.46	344.10
913-312-010	26888 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-312-011	26898 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-312-012	26908 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-312-013	26918 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-312-014	26928 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-312-015	26938 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-312-016	26948 MONTSERATT CT	SFR	A	1.00	419.46	344.10
913-312-017	39760 BONAIRE WAY	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-312-018	39750 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-312-019	39740 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-312-020	26963 CAICOS CT	SFR	A	1.00	419.46	344.10
913-312-021	26953 CAICOS CT	SFR	A	1.00	419.46	344.10
913-312-022	26950 CAICOS CT	SFR	A	1.00	419.46	344.10
913-312-023	26960 CAICOS CT	SFR	A	1.00	419.46	344.10
913-312-024	39710 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-312-025	39700 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-312-026	39690 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-312-027	26941 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-028	26931 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-029	26921 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-030	26911 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-031	26871 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-032	26861 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-033	26851 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-034	26854 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-035	26864 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-036	26874 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-037	26884 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-038	26894 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-039	26904 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-040	26914 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-041	26924 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-042	26934 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-043	26944 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-044	26954 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-312-045	26964 SAINT KITTS CT	SFR	A	1.00	419.46	344.10
913-320-001	26810 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-002	26816 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-003	26822 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-004	39543 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-005	39535 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-006	39527 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-007	39519 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-008	39511 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-009	39503 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-010	39506 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-011	39514 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-012	39522 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-013	39530 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-014	39538 OAK CIR	SFR	F	1.00	562.95	443.88
913-320-015	26840 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-016	26846 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-017	26852 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-018	26856 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-019	26864 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-020	39529 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-021	39521 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-022	39513 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-023	39505 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-024	39508 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-025	39516 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-026	39524 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-027	39532 CEDAR CIR	SFR	F	1.00	562.95	443.88

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913-320-028	39540 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-029	39548 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-030	39556 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-031	39564 CEDAR CIR	SFR	F	1.00	562.95	443.88
913-320-032	26873 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-033	26867 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-034	26861 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-035	26855 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-036	26849 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-037	26843 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-038	26837 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-039	26831 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-040	26825 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-041	26819 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-042	26813 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-043	26807 MAPLE GLEN ST	SFR	F	1.00	562.95	443.88
913-320-044	26808 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-045	26818 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-046	26826 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-047	26834 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-048	26842 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-049	26850 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-050	26858 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-051	26866 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-052	26874 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-053	26882 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-320-054	26890 BAHAMA WAY	SFR	F	1.00	562.95	443.88
913-331-001	39643 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-002	39633 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-003	39623 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-004	39613 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-005	39603 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-006	39593 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-007	39583 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-008	39573 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-009	39563 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-010	39553 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-011	39543 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-012	39533 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-013	39523 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-014	39513 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-015	39503 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-016	39493 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-017	39483 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-018	39473 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-331-019	39463 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-001	39450 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-002	39460 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-003	39470 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-004	39480 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-005	39490 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-006	39500 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-007	39510 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-008	39520 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-009	39530 BONAIRE WAY	SFR	A	1.00	419.46	344.10

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913-332-010	39540 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-011	39550 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-012	39560 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-332-013	39561 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-014	39551 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-015	39541 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-016	39531 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-017	39521 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-018	39511 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-019	39501 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-020	39491 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-021	39481 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-022	39471 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-023	39461 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-024	39451 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-025	39458 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-026	39468 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-027	39478 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-028	39488 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-029	39498 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-030	39508 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-031	39518 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-032	39528 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-033	39538 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-034	39548 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-332-035	39558 COZUMEL CT	SFR	A	1.00	419.46	344.10
913-333-001	39578 SABA CT	SFR	A	1.00	419.46	344.10
913-333-002	39588 SABA CT	SFR	A	1.00	419.46	344.10
913-333-003	39598 SABA CT	SFR	A	1.00	419.46	344.10
913-333-004	39608 SABA CT	SFR	A	1.00	419.46	344.10
913-333-005	39618 SABA CT	SFR	A	1.00	419.46	344.10
913-333-006	39628 SABA CT	SFR	A	1.00	419.46	344.10
913-333-007	39638 SABA CT	SFR	A	1.00	419.46	344.10
913-333-008	39648 SABA CT	SFR	A	1.00	419.46	344.10
913-333-009	39651 SABA CT	SFR	A	1.00	419.46	344.10
913-333-010	39641 SABA CT	SFR	A	1.00	419.46	344.10
913-333-011	39631 SABA CT	SFR	A	1.00	419.46	344.10
913-333-012	39621 SABA CT	SFR	A	1.00	419.46	344.10
913-333-013	39611 SABA CT	SFR	A	1.00	419.46	344.10
913-333-014	39601 SABA CT	SFR	A	1.00	419.46	344.10
913-333-015	39591 SABA CT	SFR	A	1.00	419.46	344.10
913-333-016	39581 SABA CT	SFR	A	1.00	419.46	344.10
913-333-017	39580 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-333-018	39590 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-333-019	39600 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-333-020	39610 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-333-021	39620 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-333-022	39630 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-333-023	39640 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-333-024	39650 BONAIRE WAY	SFR	A	1.00	419.46	344.10
913-341-001	26624 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-002	26634 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-003	26644 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-004	26654 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-005	26664 EVERGREEN AVE	SFR	C	1.00	529.84	417.78

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913-341-006	26674 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-007	26684 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-008	26694 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-009	26704 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-010	26714 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-011	26724 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-012	26734 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-013	26744 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-014	26754 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-015	26764 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-016	26774 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-017	26784 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-018	26794 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-019	26804 EVERGREEN AVE	SFR	C	1.00	529.84	417.78
913-341-020	39599 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-341-021	39609 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-341-022	39619 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-001	39649 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-002	39659 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-003	39669 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-004	39679 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-005	39689 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-006	39699 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-007	39709 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-342-008	39693 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-342-009	39703 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-342-010	39713 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-342-011	39723 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-342-012	39733 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-342-013	39743 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-342-014	39753 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-342-015	39763 CLEMENTS WAY	SFR	C	1.00	529.84	417.78
913-343-001	39614 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-002	39624 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-003	39634 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-004	39644 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-005	39654 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-006	39664 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-007	39674 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-008	39684 TAMARISK ST	SFR	C	1.00	529.84	417.78
913-343-009	39685 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-343-010	39675 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-343-011	39665 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-343-012	39655 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-343-013	39645 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-343-014	39635 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-343-015	39625 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-343-016	39615 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-344-001	39612 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-344-002	39622 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-344-003	39632 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-344-004	39642 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-344-005	39652 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-344-006	39662 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-344-007	39672 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-344-008	39682 BREEZY MEADOW ST	SFR	C	1.00	529.84	417.78
913-361-001	39383 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-361-002	39393 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-361-003	39403 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-361-004	39413 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-361-005	39423 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-361-006	39433 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-361-007	39443 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-362-001	39440 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-362-002	39430 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-362-003	39420 BONAIRE WAY	SFR	F	1.00	562.95	443.88
913-362-004	26983 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-005	26986 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-006	26980 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-007	26974 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-008	26968 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-009	26962 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-010	26956 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-011	26950 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-012	26944 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-013	26938 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-014	26932 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-015	26926 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-016	26920 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-017	26923 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-018	26929 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-019	26935 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-362-020	26977 ST JULIAN CIR	SFR	F	1.00	562.95	443.88
913-363-001	26900 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-002	26890 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-003	26880 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-004	26870 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-005	26860 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-006	26850 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-007	26840 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-008	26830 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-009	26820 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-010	26827 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-011	26837 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-012	26847 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-013	26857 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-014	26867 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-015	26877 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-016	26887 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-363-017	26897 REDWOOD CIR	SFR	F	1.00	562.95	443.88
913-371-001	26812 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-371-002	26824 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-371-003	26836 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-371-004	26848 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-371-005	26860 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-371-006	26872 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-371-007	26884 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-371-009	39326 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-371-010	39340 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-371-011	39354 BRIGHTON ST	SFR	C	1.00	529.84	417.78

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913-371-012	39368 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-371-013	39382 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-371-014	39396 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-371-015	39410 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-371-018	26896 REDCLIFFE RD	SFR	C	1.00	529.84	417.78
913-372-001	39438 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-372-002	39452 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-372-003	26891 TALBOT RD	SFR	C	1.00	529.84	417.78
913-372-004	26879 TALBOT RD	SFR	C	1.00	529.84	417.78
913-372-005	26867 TALBOT RD	SFR	C	1.00	529.84	417.78
913-372-006	26855 TALBOT RD	SFR	C	1.00	529.84	417.78
913-372-007	26843 TALBOT RD	SFR	C	1.00	529.84	417.78
913-372-008	26831 TALBOT RD	SFR	C	1.00	529.84	417.78
913-372-009	26819 TALBOT RD	SFR	C	1.00	529.84	417.78
913-372-010	39453 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-011	39439 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-012	39425 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-013	39411 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-014	39397 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-015	39383 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-016	39369 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-017	39355 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-372-018	39341 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-001	39336 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-002	39350 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-003	39364 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-004	39378 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-005	39392 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-006	39406 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-007	39420 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-008	39434 WENTWORTH ST	SFR	C	1.00	529.84	417.78
913-373-009	39443 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-373-010	39429 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-373-011	39415 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-373-012	39401 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-373-013	39387 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-373-014	39373 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-373-015	39359 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-373-016	39345 BRIGHTON ST	SFR	C	1.00	529.84	417.78
913-381-001	26265 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-381-002	26275 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-381-003	26285 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-381-004	26295 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-381-005	39899 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-006	39889 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-007	39879 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-008	39869 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-009	39859 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-010	39849 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-011	39839 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-012	39829 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-013	39819 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-014	39809 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-015	39799 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-016	39789 CHAMBRAY DR	SFR	A	1.00	419.46	344.10

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913-381-017	39779 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-018	39769 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-019	39759 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-020	39749 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-381-021	39739 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-001	39719 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-002	39709 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-003	39699 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-004	39689 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-005	39679 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-006	39669 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-007	39659 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-008	39654 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-009	39674 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-382-010	26266 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-011	26256 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-012	26246 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-013	26236 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-014	26226 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-015	26216 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-016	26206 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-017	26196 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-018	26186 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-019	26176 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-382-020	39710 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-021	39720 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-022	39730 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-023	39740 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-024	39750 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-025	39760 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-026	39770 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-027	39780 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-028	39790 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-029	39800 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-030	39810 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-031	39820 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-032	39830 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-033	39840 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-034	39850 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-035	39860 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-036	39870 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-037	39880 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-038	39890 MONARCH DR	SFR	A	1.00	419.46	344.10
913-382-039	26175 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-382-040	26185 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-382-041	26195 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-382-042	26205 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-382-043	26215 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-382-044	26225 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-382-045	26235 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-383-001	26190 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-383-002	26200 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-383-003	26210 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-383-004	26220 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-383-005	26230 MONTICELLO WAY	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-383-006	26260 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-383-007	26270 MONTICELLO WAY	SFR	A	1.00	419.46	344.10
913-383-008	26277 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-383-009	26267 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-383-010	26237 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-383-011	26227 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-383-012	26217 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-383-013	26207 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-383-014	26197 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-001	26192 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-002	26202 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-003	26212 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-004	26222 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-005	26232 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-006	26242 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-007	26252 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-008	26262 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-009	26272 HERITAGE UNION LN	SFR	A	1.00	419.46	344.10
913-384-010	26279 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-011	26269 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-012	26259 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-013	26249 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-014	26239 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-015	26229 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-016	26219 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-017	26209 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-384-018	26199 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-001	26194 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-002	26204 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-003	26214 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-004	26224 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-005	26234 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-006	26244 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-007	26254 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-008	26264 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-009	26274 DOUGLASS UNION LN	SFR	A	1.00	419.46	344.10
913-385-010	39774 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-385-011	39764 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-385-012	39754 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-385-013	39744 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-385-014	39734 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-385-015	39724 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-385-016	39714 CHAMBRAY DR	SFR	A	1.00	419.46	344.10
913-385-017	26273 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-385-018	26263 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-385-019	26253 LAWRENCE UNION DR	SFR	A	1.00	419.46	344.10
913-385-020	39717 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-385-021	39727 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-385-022	39737 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-385-023	39747 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-385-024	39757 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-385-025	39767 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-385-026	26241 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10
913-385-027	26231 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10
913-385-028	26221 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-385-029	26211 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10
913-385-030	26201 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10
913-385-031	26191 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10
913-386-001	26226 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10
913-386-002	26236 CYPRESS UNION LN	SFR	A	1.00	419.46	344.10
913-386-003	39732 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-386-004	39722 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-386-005	39712 SHERWOOD UNION LN	SFR	A	1.00	419.46	344.10
913-390-001	39695 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-002	39677 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-003	39659 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-004	39641 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-005	39623 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-006	39605 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-007	39587 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-008	39569 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-009	39551 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-010	39533 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-011	39515 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-012	39497 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-013	39479 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-014	39458 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-015	39504 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-016	26312 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-017	26328 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-018	26344 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-019	26360 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-020	26376 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-021	26392 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-022	39528 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-023	39546 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-024	39564 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-025	39582 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-026	39600 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-027	39608 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-028	39616 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-029	39634 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-030	39652 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-031	39648 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-032	39666 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-033	39684 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-034	39708 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-035	39726 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-036	39744 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-039	39751 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-040	39733 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-041	39715 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-042	39697 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-043	39612 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-044	39594 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-045	39576 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-046	39540 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-390-047	26321 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-048	26337 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-049	26353 PALISADES DR	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-390-050	26369 PALISADES DR	SFR	A	1.00	419.46	344.10
913-390-051	39619 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-052	39637 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-053	39655 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-054	39673 MONTEBELLO WAY	SFR	A	1.00	419.46	344.10
913-390-057	39769 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-390-059	39763 SCHOOL HOUSE WAY	SFR	A	1.00	419.46	344.10
913-400-001	39461 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-002	39443 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-003	39425 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-004	39407 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-005	39389 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-006	39371 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-007	39353 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-008	39335 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-009	26252 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-010	26268 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-011	26284 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-012	26300 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-013	26316 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-014	26332 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-015	26364 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-016	26380 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-017	39330 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-018	39348 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-019	39366 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-020	39384 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-021	39402 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-022	39420 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-023	26397 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-024	26389 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-025	26381 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-026	26365 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-027	26349 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-028	26333 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-029	26317 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-030	26301 COLLIER UNION DR	SFR	A	1.00	419.46	344.10
913-400-031	39450 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-032	39468 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-033	39414 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-034	39396 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-035	39378 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-036	39342 VANDERBILT AVE	SFR	A	1.00	419.46	344.10
913-400-037	26309 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-038	26325 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-039	26341 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-040	26357 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-041	26373 ALCOTT UNION DR	SFR	A	1.00	419.46	344.10
913-400-042	39395 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-043	39413 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-044	39431 COLONY UNION ST	SFR	A	1.00	419.46	344.10
913-400-045	39418 CHANCELLOR CT	SFR	A	1.00	419.46	344.10
913-400-046	39400 CHANCELLOR CT	SFR	A	1.00	419.46	344.10
913-400-047	39382 CHANCELLOR CT	SFR	A	1.00	419.46	344.10
913-400-048	39375 CHANCELLOR CT	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
913-400-049	39393 CHANCELLOR CT	SFR	A	1.00	419.46	344.10
913-400-050	39411 CHANCELLOR CT	SFR	A	1.00	419.46	344.10
913-411-001	39570 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-002	39560 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-003	39550 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-004	39540 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-005	39530 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-006	39520 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-007	39510 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-008	39500 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-009	39490 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-010	39480 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-011	39470 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-012	39460 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-015	39503 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-016	39513 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-017	39523 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-018	39533 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-019	26518 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-020	26526 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-021	39504 VAL VISTA CT	SFR	F	1.00	562.95	443.88
913-411-022	39494 VAL VISTA CT	SFR	F	1.00	562.95	443.88
913-411-023	39484 VAL VISTA CT	SFR	F	1.00	562.95	443.88
913-411-025	39497 VAL VISTA CT	SFR	F	1.00	562.95	443.88
913-411-026	39507 VAL VISTA CT	SFR	F	1.00	562.95	443.88
913-411-027	26542 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-028	26550 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-029	26558 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-030	26566 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-031	26574 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-032	26582 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-033	26590 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-034	26598 LIDO DR	SFR	F	1.00	562.95	443.88
913-411-037	39463 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-040	39493 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-041	39450 SAINT HONORE DR	SFR	F	1.00	562.95	443.88
913-411-042	39474 VAL VISTA CT	SFR	F	1.00	562.95	443.88
913-412-001	26569 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-002	26561 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-003	26553 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-004	26545 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-005	26537 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-006	26529 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-007	26521 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-008	26513 LIDO DR	SFR	F	1.00	562.95	443.88
913-412-009	26505 LIDO DR	SFR	F	1.00	562.95	443.88
916-071-001	39942 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-002	39942 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-003	39942 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-004	39930 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-005	39930 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-006	39930 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-007	39918 ALPINE UNION ST ##72A	SFR	A	1.00	419.46	344.10
916-071-008	39918 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-009	39918 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-071-011	39975 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-012	39975 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-013	39975 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-014	39954 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-015	39954 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-016	39954 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-017	39960 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-018	39960 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-019	39960 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-021	39963 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-022	39963 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-023	39963 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-024	39951 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-025	39951 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-026	39951 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-027	39939 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-028	39939 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-029	39939 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-031	39927 MILLBROOK WAY ##5A	SFR	A	1.00	419.46	344.10
916-071-032	39927 MILLBROOK WAY ##5B	SFR	A	1.00	419.46	344.10
916-071-033	39927 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-034	39915 MILLBROOK WAY ##6A	SFR	A	1.00	419.46	344.10
916-071-035	39915 MILLBROOK WAY ##6B	SFR	A	1.00	419.46	344.10
916-071-036	39915 MILLBROOK WAY ##6-C	SFR	A	1.00	419.46	344.10
916-071-037	39903 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-038	39903 MILLBROOK WAY ##7B	SFR	A	1.00	419.46	344.10
916-071-039	39903 MILLBROOK WAY ##7C	SFR	A	1.00	419.46	344.10
916-071-040	39908 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-041	39908 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-042	39908 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-044	39891 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-045	39891 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-046	39891 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-047	39879 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-048	39879 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-049	39879 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-050	39867 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-071-051	39867 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-052	39867 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-053	39862 MILLBROOK WAY ##18A	SFR	A	1.00	419.46	344.10
916-071-054	39862 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-071-055	39862 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-071-057	39870 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-058	39870 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-059	39870 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-060	39882 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-061	39882 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-062	39882 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-063	39894 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-064	39894 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-065	39894 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-066	39906 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-067	39906 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-068	39906 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-070	39901 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-071-071	39901 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-072	39901 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-073	39889 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-074	39889 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-075	39889 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-071-076	39875 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-071-077	39875 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-071-078	39875 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-072-001	12693 WILLIAMS WAY ##A	SFR	A	1.00	419.46	344.10
916-072-002	26193 WILLIAMS WAY ##13C	SFR	A	1.00	419.46	344.10
916-072-003	26193 WILLIAMS WAY ##B	SFR	A	1.00	419.46	344.10
916-072-004	26190 WILLIAMS WAY ##A	SFR	A	1.00	419.46	344.10
916-072-005	26190 WILLIAMS WAY ##C	SFR	A	1.00	419.46	344.10
916-072-006	26190 WILLIAMS WAY ##C	SFR	A	1.00	419.46	344.10
916-072-007	26178 WILLIAMS WAY ##A	SFR	A	1.00	419.46	344.10
916-072-008	26178 WILLIAMS WAY ##C	SFR	A	1.00	419.46	344.10
916-072-009	26178 WILLIAMS WAY ##15-B	SFR	A	1.00	419.46	344.10
916-072-011	39863 ALPINE UNION ST ##A	SFR	A	1.00	419.46	344.10
916-072-012	39863 ALPINE UNION ST ##B	SFR	A	1.00	419.46	344.10
916-072-013	39863 ALPINE UNION ST ##C	SFR	A	1.00	419.46	344.10
916-072-014	26154 WILLIAMS WAY ##A	SFR	A	1.00	419.46	344.10
916-072-015	26154 WILLIAMS WAY ##B	SFR	A	1.00	419.46	344.10
916-072-016	26154 WILLIAMS WAY ##C	SFR	A	1.00	419.46	344.10
916-072-017	26142 WILLIAMS WAY ##A	SFR	A	1.00	419.46	344.10
916-072-018	26142 WILLIAMS WAY ##B	SFR	A	1.00	419.46	344.10
916-072-019	26142 WILLIAMS WAY ##C	SFR	A	1.00	419.46	344.10
916-072-020	26130 WILLIAMS WAY ##A	SFR	A	1.00	419.46	344.10
916-072-021	26130 WILLIAMS WAY ##B	SFR	A	1.00	419.46	344.10
916-072-022	26130 WILLIAMS WAY ##C	SFR	A	1.00	419.46	344.10
916-072-023	26133 WILLIAMS WAY ##A	SFR	A	1.00	419.46	344.10
916-072-024	26133 WILLIAMS WAY ##B	SFR	A	1.00	419.46	344.10
916-072-025	26133 WILLIAMS WAY ##C	SFR	A	1.00	419.46	344.10
916-072-027	39855 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-072-028	39855 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-072-029	39855 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-072-030	39843 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-072-031	39843 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-072-032	39843 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-072-033	39832 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-072-034	39832 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-072-035	39832 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-072-036	39848 MILLBROOK WAY ##A	SFR	A	1.00	419.46	344.10
916-072-037	39848 MILLBROOK WAY ##B	SFR	A	1.00	419.46	344.10
916-072-038	39848 MILLBROOK WAY ##C	SFR	A	1.00	419.46	344.10
916-073-001	39753 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-002	39753 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-003	39753 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-004	39743 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-005	39743 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-006	39743 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-007	39731 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-008	39731 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-009	39731 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-010	39719 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-011	39719 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10

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916-073-012	39719 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-014	39710 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-015	39710 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-016	39710 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-017	39722 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-018	39722 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-019	39722 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-020	39734 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-021	39734 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-022	39734 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-023	39707 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-024	39707 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-025	39707 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-027	39695 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-028	39695 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-029	39695 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-030	39683 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-031	39683 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-032	39683 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-033	39671 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-034	39671 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-035	39671 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-036	39668 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-037	39668 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-038	39668 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-040	26095 MAYFIELD UNION WAY ##A	SFR	A	1.00	419.46	344.10
916-073-041	26095 MAYFIELD UNION WAY ##B	SFR	A	1.00	419.46	344.10
916-073-042	26095 MAYFIELD UNION WAY ##C	SFR	A	1.00	419.46	344.10
916-073-043	26107 MAYFIELD UNION WAY ##A	SFR	A	1.00	419.46	344.10
916-073-044	26107 MAYFIELD UNION WAY ##B	SFR	A	1.00	419.46	344.10
916-073-045	26107 MAYFIELD UNION WAY ##C	SFR	A	1.00	419.46	344.10
916-073-046	39686 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-047	39686 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-048	39686 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-073-049	39692 PRINCETON WAY ##A	SFR	A	1.00	419.46	344.10
916-073-050	39692 PRINCETON WAY ##B	SFR	A	1.00	419.46	344.10
916-073-051	39692 PRINCETON WAY ##C	SFR	A	1.00	419.46	344.10
916-074-001	26092 MAYFIELD UNION WAY ##A	SFR	A	1.00	419.46	344.10
916-074-002	26092 MAYFIELD UNION WAY ##B	SFR	A	1.00	419.46	344.10
916-074-003	26092 MAYFIELD UNION WAY ##C	SFR	A	1.00	419.46	344.10
916-074-004	26080 MAYFIELD UNION WAY ##A	SFR	A	1.00	419.46	344.10
916-074-005	26080 MAYFIELD UNION WAY ##B	SFR	A	1.00	419.46	344.10
916-074-006	26080 MAYFIELD UNION WAY ##C	SFR	A	1.00	419.46	344.10
916-074-007	39635 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-008	39635 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-009	39635 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-010	39632 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-011	39632 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-012	39632 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-014	39659 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-015	39659 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-016	39659 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-017	39644 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-018	39644 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-019	39644 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-074-020	39656 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-021	39656 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-022	39656 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-023	39664 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-024	39664 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-025	39664 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-027	39687 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-028	39687 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-029	39687 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-030	39675 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-031	39675 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-032	39675 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-033	39678 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-034	39678 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-035	39678 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-036	39690 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-037	39690 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-038	39690 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-040	39717 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-041	39717 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-042	39717 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-043	39699 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-044	39699 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-045	39699 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-046	39702 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-047	39702 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-048	39702 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-049	39714 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-050	39714 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-051	39714 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-053	39741 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-054	39741 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-055	39741 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-056	39723 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-057	39723 COLUMBIA UNION WAY ##B	SFR	A	1.00	419.46	344.10
916-074-058	39723 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-059	39726 COLUMBIA UNION DR ##62A	SFR	A	1.00	419.46	344.10
916-074-060	39726 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-061	39726 COLUMBIA UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-062	39738 COLUMBIA UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-063	39738 COLUMBIA UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-064	39738 COLUMBIA UNION WAY ##C	SFR	A	1.00	419.46	344.10
916-074-066	26137 OAKCREEK UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-067	26137 OAKCREEK UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-068	26137 OAKCREEK UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-069	36149 OAKCREEK UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-070	36149 OAKCREEK UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-071	36149 OAKCREEK UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-072	26128 OAKCREEK UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-073	26128 OAKCREEK UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-074	26128 OAKCREEK UNION DR ##C	SFR	A	1.00	419.46	344.10
916-074-075	26125 OAKCREEK UNION DR ##A	SFR	A	1.00	419.46	344.10
916-074-076	26125 OAKCREEK UNION DR ##B	SFR	A	1.00	419.46	344.10
916-074-077	26125 OAKCREEK UNION DR ##C	SFR	A	1.00	419.46	344.10
916-121-002	26196 PALM TREE LN	SFR	B	1.00	518.80	417.26

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916-121-003	26202 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-121-004	26208 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-121-006	39795 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-121-007	39803 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-121-008	39811 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-121-009	39819 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-121-012	26190 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-121-013	26214 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-003	26288 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-004	26264 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-017	26307 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-018	26321 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-020	26232 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-021	26238 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-031	26240 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-032	26228 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-033	26216 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-034	26210 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-035	26213 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-036	26225 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-037	26237 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-038	26249 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-039	26261 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-040	26273 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-041	26285 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-042	26297 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-043	26250 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-044	26256 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-045	26262 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-046	26268 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-047	26274 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-048	26280 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-050	26244 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-122-051	26324 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-052	26312 SWEET GUM CT	SFR	B	1.00	518.80	417.26
916-122-053	26226 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-123-001	26163 CASTLE LN	SFR	B	1.00	518.80	417.26
916-123-002	26155 CASTLE LN	SFR	B	1.00	518.80	417.26
916-123-003	26147 CASTLE LN	SFR	B	1.00	518.80	417.26
916-123-004	26139 CASTLE LN	SFR	B	1.00	518.80	417.26
916-130-001	26480 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-002	26490 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-003	26500 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-004	26510 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-005	26520 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-006	26530 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-007	26540 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-008	26550 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-009	26545 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-010	26535 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-011	26525 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-012	26515 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-013	26505 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-014	26495 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-015	26485 KHEPERA CT	SFR	B	1.00	518.80	417.26

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-130-016	26475 KHEPERA CT	SFR	B	1.00	518.80	417.26
916-130-017	26462 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-018	26472 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-019	26482 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-020	26492 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-021	26502 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-022	26512 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-023	26522 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-024	26532 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-025	26542 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-026	26537 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-027	26527 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-028	26517 WINTERSET CT	SFR	B	1.00	518.80	417.26
916-130-029	39882 BUXTON CT	SFR	B	1.00	518.80	417.26
916-130-030	39892 BUXTON CT	SFR	B	1.00	518.80	417.26
916-130-031	39902 BUXTON CT	SFR	B	1.00	518.80	417.26
916-130-032	39912 BUXTON CT	SFR	B	1.00	518.80	417.26
916-130-033	39907 BUXTON CT	SFR	B	1.00	518.80	417.26
916-130-034	39897 BUXTON CT	SFR	B	1.00	518.80	417.26
916-130-035	39887 BUXTON CT	SFR	B	1.00	518.80	417.26
916-130-036	39877 BUXTON CT	SFR	B	1.00	518.80	417.26
916-141-001	40131 N END RD	SFR	D	1.00	486.25	383.40
916-141-002	40145 N END RD	SFR	D	1.00	486.25	383.40
916-141-003	40159 N END DR	SFR	D	1.00	486.25	383.40
916-141-004	40173 N END RD	SFR	D	1.00	486.25	383.40
916-141-005	40187 N END RD	SFR	D	1.00	486.25	383.40
916-141-006	40201 N END DR	SFR	D	1.00	486.25	383.40
916-141-007	40215 N END RD	SFR	D	1.00	486.25	383.40
916-142-001	40222 N END RD	SFR	D	1.00	486.25	383.40
916-142-002	40208 N END RD	SFR	D	1.00	486.25	383.40
916-142-003	40194 N END RD	SFR	D	1.00	486.25	383.40
916-142-004	40180 N END RD	SFR	D	1.00	486.25	383.40
916-142-005	40166 N END RD	SFR	D	1.00	486.25	383.40
916-142-006	40152 N END RD	SFR	D	1.00	486.25	383.40
916-142-007	40138 N END RD	SFR	D	1.00	486.25	383.40
916-142-008	26637 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-142-009	26649 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-142-010	26661 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-142-011	40161 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-142-012	40175 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-142-013	26652 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-014	26640 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-015	26635 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-016	26647 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-017	26659 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-019	26683 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-020	26695 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-021	26707 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-022	26719 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-023	26731 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-024	26743 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-025	26755 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-026	26767 PADDINGTON CT	SFR	D	1.00	486.25	383.40
916-142-027	40206 S BEND RD	SFR	D	1.00	486.25	383.40
916-142-028	40192 S BEND RD	SFR	D	1.00	486.25	383.40

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916-142-029	40178 S BEND RD	SFR	D	1.00	486.25	383.40
916-142-030	40164 S BEND RD	SFR	D	1.00	486.25	383.40
916-142-031	40150 S BEND RD	SFR	D	1.00	486.25	383.40
916-142-032	40136 S BEND RD	SFR	D	1.00	486.25	383.40
916-142-033	40122 S BEND RD	SFR	D	1.00	486.25	383.40
916-143-001	40185 S BEND RD	SFR	D	1.00	486.25	383.40
916-143-002	40171 S BEND RD	SFR	D	1.00	486.25	383.40
916-143-003	40157 S BEND RD	SFR	D	1.00	486.25	383.40
916-143-004	40143 S BEND RD	SFR	D	1.00	486.25	383.40
916-143-005	26757 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-143-006	26745 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-143-007	26733 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-143-008	26721 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-143-009	26709 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-143-010	26697 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-143-011	40154 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-143-012	40168 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-143-013	40182 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-143-014	40177 PROVOST CT	SFR	D	1.00	486.25	383.40
916-143-015	40163 PROVOST CT	SFR	D	1.00	486.25	383.40
916-143-016	40149 PROVOST CT	SFR	D	1.00	486.25	383.40
916-143-017	40156 PROVOST CT	SFR	D	1.00	486.25	383.40
916-143-018	40170 PROVOST CT	SFR	D	1.00	486.25	383.40
916-143-019	40184 PROVOST CT	SFR	D	1.00	486.25	383.40
916-151-001	26793 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-002	26787 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-003	26781 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-004	26775 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-005	26769 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-006	26757 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-007	26745 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-008	26733 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-009	26721 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-010	26709 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-011	26714 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-012	26726 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-013	26738 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-014	26750 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-015	26762 QUEEN CT	SFR	D	1.00	486.25	383.40
916-151-016	26759 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-151-017	26747 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-151-018	26735 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-151-019	26723 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-151-020	26711 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-151-021	40040 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-151-022	40054 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-151-023	40068 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-151-024	40082 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-151-025	40096 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-151-026	40112 TENNYSON RD	SFR	D	1.00	486.25	383.40
916-151-027	26692 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-151-028	26704 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-151-029	26716 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-151-030	26728 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-151-031	26740 KINGWOOD RD	SFR	D	1.00	486.25	383.40

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916-151-032	26752 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-151-033	26764 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-151-034	26776 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-151-035	26788 KINGWOOD RD	SFR	D	1.00	486.25	383.40
916-152-001	40093 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-002	40079 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-003	40065 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-004	40051 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-005	40037 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-006	40023 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-007	40009 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-008	40002 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-009	40016 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-010	40030 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-011	40044 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-012	40058 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-013	40072 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-014	40086 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-015	40100 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-016	40114 TEMPLE CT	SFR	D	1.00	486.25	383.40
916-152-017	26663 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-018	26651 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-019	26639 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-020	26646 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-021	26658 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-022	26670 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-023	26682 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-024	26694 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-025	26706 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-026	26718 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-027	26730 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-028	26742 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-029	26754 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-030	26766 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-031	26778 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-152-032	26790 TRAFALGAR WAY	SFR	D	1.00	486.25	383.40
916-191-002	40152 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-191-003	40144 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-191-004	40136 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-191-005	40128 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-191-006	40120 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-191-008	40160 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-192-001	40208 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-192-002	40200 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-192-003	40131 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-192-004	40139 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-192-005	40147 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-192-006	40155 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-001	26437 LARES LN	SFR	B	1.00	518.80	417.26
916-193-002	26427 LARES LN	SFR	B	1.00	518.80	417.26
916-193-003	26417 LARES LN	SFR	B	1.00	518.80	417.26
916-193-004	26414 LARES LN	SFR	B	1.00	518.80	417.26
916-193-005	26424 LARES LN	SFR	B	1.00	518.80	417.26
916-193-006	26434 LARES LN	SFR	B	1.00	518.80	417.26
916-193-007	40236 BANYAN ST	SFR	B	1.00	518.80	417.26

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916-193-008	40228 BANYAN ST	SFR	B	1.00	518.80	417.26
916-193-009	40220 BANYAN ST	SFR	B	1.00	518.80	417.26
916-193-010	40212 BANYAN ST	SFR	B	1.00	518.80	417.26
916-193-011	40204 BANYAN ST	SFR	B	1.00	518.80	417.26
916-193-012	40196 BANYAN ST	SFR	B	1.00	518.80	417.26
916-193-013	40203 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-014	40211 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-015	40219 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-016	40224 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-017	40216 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-018	40208 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-019	40200 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-020	40192 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-021	40184 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-193-024	40176 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-194-001	40135 ISHERWOOD ST	SFR	B	1.00	518.80	417.26
916-194-003	40132 BANYAN ST	SFR	B	1.00	518.80	417.26
916-194-006	40140 BANYAN ST	SFR	B	1.00	518.80	417.26
916-201-001	40247 BANYAN ST	SFR	B	1.00	518.80	417.26
916-201-002	40255 BANYAN ST	SFR	B	1.00	518.80	417.26
916-201-003	40258 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-201-004	40250 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-202-001	40245 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-202-002	40253 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-202-003	40261 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-202-004	40269 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-202-005	40277 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-202-007	40246 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-202-008	40238 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-202-009	40230 TORREY PINES DR	SFR	B	1.00	518.80	417.26
916-202-010	40222 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-202-012	40285 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-203-002	40284 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-203-003	40280 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-203-004	40274 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-203-005	40266 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-203-006	40271 BANYAN ST	SFR	B	1.00	518.80	417.26
916-203-007	40279 BANYAN ST	SFR	B	1.00	518.80	417.26
916-203-008	40344 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-203-009	40336 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-203-010	40328 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-203-012	40288 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-001	40227 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-002	40235 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-003	40243 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-004	40251 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-005	40259 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-006	40267 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-007	40275 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-009	40307 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-010	40315 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-012	40331 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-013	40339 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-014	40347 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-015	40355 MIKLICH DR	SFR	B	1.00	518.80	417.26

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916-204-016	40363 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-017	40371 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-018	40379 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-019	40387 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-204-020	26569 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-021	26561 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-022	26553 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-023	26545 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-024	26537 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-025	26529 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-026	26521 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-027	26513 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-028	26505 ROLAND RD	SFR	B	1.00	518.80	417.26
916-204-030	40283 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-204-031	40323 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-001	40370 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-002	40362 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-003	40354 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-004	40346 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-005	40338 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-006	40330 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-009	40357 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-010	26532 ROLAND RD	SFR	B	1.00	518.80	417.26
916-205-011	26540 ROLAND RD	SFR	B	1.00	518.80	417.26
916-205-012	26548 ROLAND CT	SFR	B	1.00	518.80	417.26
916-205-013	26556 ROLAND RD	SFR	B	1.00	518.80	417.26
916-205-014	40366 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-015	40358 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-016	40350 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-017	40342 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-018	40334 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-019	40320 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-020	40304 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-022	40315 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-205-023	40323 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-205-024	40331 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-205-025	40339 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-205-026	40347 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-205-028	40296 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-205-029	40343 KAEAN CT	SFR	B	1.00	518.80	417.26
916-205-030	40335 KAEAN CT	SFR	B	1.00	518.80	417.26
916-211-001	40112 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-211-002	40104 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-211-003	40096 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-211-005	40101 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-006	40109 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-007	40117 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-008	40125 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-009	40133 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-010	40141 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-011	40149 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-012	40157 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-013	40165 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-014	40173 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-015	40181 JULIANNE DR	SFR	B	1.00	518.80	417.26

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916-211-016	40189 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-017	40197 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-018	40205 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-019	40213 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-211-020	40231 BANYAN ST	SFR	B	1.00	518.80	417.26
916-211-021	40239 BANYAN ST	SFR	B	1.00	518.80	417.26
916-211-022	40242 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-211-023	40234 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-211-024	40226 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-211-025	40218 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-211-026	40221 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-211-027	40229 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-211-028	40237 MIKLICH DR	SFR	B	1.00	518.80	417.26
916-211-029	40216 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-211-030	40206 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-211-031	40198 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-211-032	40190 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-211-033	40182 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-211-034	40174 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-211-035	40166 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-211-037	40088 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-212-001	40192 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-212-002	40184 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-212-003	40176 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-212-004	40168 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-212-005	40160 JULIANNE DR	SFR	B	1.00	518.80	417.26
916-212-006	40107 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-212-007	40115 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-212-008	40123 GRENACHE CT	SFR	B	1.00	518.80	417.26
916-213-002	40171 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-213-003	40179 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-213-004	40187 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-213-005	40195 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-213-006	40203 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-213-007	40211 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-213-008	40219 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-213-010	40163 TORREY PINES RD	SFR	B	1.00	518.80	417.26
916-221-001	39827 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-221-002	39835 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-221-003	39843 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-221-004	39834 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-005	39828 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-006	39822 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-007	39816 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-008	39810 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-009	39813 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-010	39819 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-011	39825 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-012	39831 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-221-013	39837 SHERIDAN CT	SFR	B	1.00	518.80	417.26
916-222-001	26405 PLUMERIA LN	SFR	B	1.00	518.80	417.26
916-222-002	26393 PLUMERIA LN	SFR	B	1.00	518.80	417.26
916-222-003	26381 PLUMERIA LN	SFR	B	1.00	518.80	417.26
916-222-004	26369 PLUMERIA LN	SFR	B	1.00	518.80	417.26
916-222-005	26357 PLUMERIA LN	SFR	B	1.00	518.80	417.26

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916-222-006	26345 PLUMERIA LN	SFR	B	1.00	518.80	417.26
916-222-007	26333 PLUMERIA LN	SFR	B	1.00	518.80	417.26
916-222-008	26321 PLUMERIA LN	SFR	B	1.00	518.80	417.26
916-222-009	39981 BANYAN ST	SFR	B	1.00	518.80	417.26
916-222-010	26382 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-011	26388 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-012	26394 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-013	26400 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-014	26406 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-015	26412 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-016	26418 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-017	26424 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-222-018	40005 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-019	40011 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-020	40017 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-021	40023 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-022	40029 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-023	40035 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-025	40047 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-026	40053 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-027	40059 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-028	40065 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-029	40071 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-030	40077 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-031	40083 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-032	40089 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-036	40041 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-222-037	40095 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-001	40092 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-002	40086 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-003	40080 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-004	26339 ALISE CT	SFR	B	1.00	518.80	417.26
916-223-005	26331 ALISE CT	SFR	B	1.00	518.80	417.26
916-223-006	26323 ALISE CT	SFR	B	1.00	518.80	417.26
916-223-007	26318 ALISE CT	SFR	B	1.00	518.80	417.26
916-223-008	26326 ALISE CT	SFR	B	1.00	518.80	417.26
916-223-009	26334 ALISE CT	SFR	B	1.00	518.80	417.26
916-223-010	26342 ALISE CT	SFR	B	1.00	518.80	417.26
916-223-011	40068 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-012	40062 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-013	40056 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-014	40026 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-015	40020 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-016	40014 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-017	40008 MONTAGE LN	SFR	B	1.00	518.80	417.26
916-223-018	26409 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-223-019	26403 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-223-020	26397 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-223-021	26391 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-223-022	26385 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-001	39846 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-230-002	39838 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-230-003	39830 RIVER BIRCH LN	SFR	B	1.00	518.80	417.26
916-230-004	26299 TULIP TREE CT	SFR	B	1.00	518.80	417.26
916-230-005	26293 TULIP TREE CT	SFR	B	1.00	518.80	417.26

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916-230-006	26287 TULIP TREE CT	SFR	B	1.00	518.80	417.26
916-230-007	26296 TULIP TREE CT	SFR	B	1.00	518.80	417.26
916-230-008	26302 TULIP TREE CT	SFR	B	1.00	518.80	417.26
916-230-009	26308 TULIP TREE CT	SFR	B	1.00	518.80	417.26
916-230-010	26286 PALM TREE CT	SFR	B	1.00	518.80	417.26
916-230-011	26292 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-012	26298 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-013	26304 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-014	26310 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-015	26316 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-016	26322 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-017	26328 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-018	26334 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-019	26340 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-020	26346 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-021	26352 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-022	26358 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-023	26364 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-230-024	39972 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-025	39960 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-026	39948 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-027	39936 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-028	39924 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-029	39912 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-030	39902 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-031	39888 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-032	39885 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-033	39897 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-034	39909 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-035	39921 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-036	39933 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-037	39945 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-038	39957 BANYAN ST	SFR	B	1.00	518.80	417.26
916-230-039	39969 BANYAN ST	SFR	B	1.00	518.80	417.26
916-271-002	26199 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-271-003	26205 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-271-005	26416 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-006	26424 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-007	26432 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-008	26440 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-009	26448 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-011	26437 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-012	26429 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-013	26421 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-014	26413 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-015	26405 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-016	26397 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-017	26389 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-018	26381 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-019	26373 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-020	26365 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-021	26357 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-022	26349 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-031	26211 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-032	26203 CASTLE LN	SFR	B	1.00	518.80	417.26

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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-271-033	26195 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-034	26187 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-035	26179 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-036	26171 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-060	26193 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-271-061	26445 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-062	26211 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-271-074	26225 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-081	39733 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-271-082	39725 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-271-083	39717 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-271-084	39720 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-271-085	39728 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-271-086	26239 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-087	26253 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-088	26267 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-089	26341 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-095	26333 CASTLE LN	SFR	B	1.00	518.80	417.26
916-271-096	39741 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-272-002	26229 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-272-003	26235 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-272-004	26241 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-272-005	26247 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-272-006	26253 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-272-007	26336 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-008	26344 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-009	26360 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-010	26368 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-011	26376 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-012	26384 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-013	26392 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-014	26400 CASTLE LN	SFR	B	1.00	518.80	417.26
916-272-016	26223 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-273-016	39752 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-273-020	26269 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-273-021	26265 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-273-022	26259 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-273-025	26273 PALM TREE LN	SFR	B	1.00	518.80	417.26
916-273-026	26136 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-027	26144 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-028	26152 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-029	26190 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-030	26198 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-031	26220 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-033	26250 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-036	26236 CASTLE LN	SFR	B	1.00	518.80	417.26
916-273-038	39760 BENJAMIN CT	SFR	B	1.00	518.80	417.26
916-281-001	39710 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-002	39722 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-003	39734 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-004	39746 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-005	39758 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-006	39770 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-007	39782 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-008	39794 SAVANNA WAY	SFR	A	1.00	419.46	344.10

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916-281-009	39806 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-010	39818 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-011	39830 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-281-012	39842 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-001	26008 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-282-002	25996 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-282-003	25984 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-282-004	25978 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-282-005	25972 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-282-006	25960 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-282-007	25948 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-282-008	39839 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-009	39827 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-010	39815 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-011	39803 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-012	39791 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-013	39779 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-014	39725 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-015	39713 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-282-016	26301 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-282-017	26307 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-282-018	26313 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-282-019	26317 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-282-020	26321 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-282-021	26325 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-282-022	26331 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-282-023	26337 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-283-001	26343 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-283-002	26349 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-283-004	26089 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-283-005	26077 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-283-006	26065 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-283-007	26053 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-283-008	26355 PALM TREE LN	SFR	A	1.00	419.46	344.10
916-290-001	39854 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-002	39866 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-003	39878 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-004	39890 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-005	39902 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-006	39914 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-007	39926 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-008	39938 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-009	39950 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-010	39958 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-011	39966 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-012	39974 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-013	39982 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-014	39990 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-015	39998 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-016	39977 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-017	39969 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-018	39961 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-019	39945 SAVANNA WAY	SFR	A	1.00	419.46	344.10
916-290-020	25919 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-021	25927 KILEY CT	SFR	A	1.00	419.46	344.10

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916-290-022	25943 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-023	25951 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-024	25959 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-025	25962 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-026	25954 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-027	25946 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-028	25938 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-029	25930 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-030	25922 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-031	25914 KILEY CT	SFR	A	1.00	419.46	344.10
916-290-032	25933 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-033	25945 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-034	25957 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-035	25969 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-036	25981 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-037	25993 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-038	26005 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-039	26017 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-040	26029 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-290-041	26041 SCHAFER DR	SFR	A	1.00	419.46	344.10
916-301-001	26586 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-301-002	26574 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-301-003	26562 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-301-004	37853 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-005	37887 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-006	37921 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-007	37955 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-008	37989 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-009	38023 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-010	38057 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-011	38091 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-012	38125 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-013	38159 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-014	38193 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-015	38227 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-016	38261 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-017	38295 IRIS WAY	SFR	A	1.00	419.46	344.10
916-301-018	26557 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-019	26569 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-020	26581 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-021	26593 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-022	26605 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-023	26617 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-024	26629 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-025	26641 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-026	26653 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-027	26665 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-028	26677 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-029	26689 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-030	26701 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-031	26713 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-032	26725 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-033	26737 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-034	26749 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-035	26761 PEACHWOOD DR	SFR	A	1.00	419.46	344.10

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916-301-036	26773 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-037	26785 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-301-038	38209 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-301-039	38175 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-301-040	38141 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-301-043	38107 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-302-001	38039 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-302-002	38005 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-302-003	37971 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-302-004	37937 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-302-005	26766 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-006	26754 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-007	26742 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-008	26730 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-009	26718 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-010	26706 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-011	26694 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-012	26682 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-013	26670 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-014	26658 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-015	26646 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-016	26634 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-017	26622 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-302-018	26610 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-303-001	26764 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-002	26752 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-003	26740 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-004	26728 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-005	26716 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-006	26704 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-007	26692 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-008	26680 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-009	26668 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-010	26656 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-011	26644 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-012	26632 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-013	26620 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-014	26608 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-015	26596 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-016	26584 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-017	26572 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-018	26560 PEACHWOOD DR	SFR	A	1.00	419.46	344.10
916-303-019	38128 IRIS WAY	SFR	A	1.00	419.46	344.10
916-303-020	38094 IRIS WAY	SFR	A	1.00	419.46	344.10
916-303-021	38026 IRIS WAY	SFR	A	1.00	419.46	344.10
916-303-022	37992 IRIS WAY	SFR	A	1.00	419.46	344.10
916-303-023	37958 IRIS WAY	SFR	A	1.00	419.46	344.10
916-303-024	26577 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-303-025	26589 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-303-026	26595 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-303-027	26601 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-303-028	26613 WESTON HILLS DR	SFR	A	1.00	419.46	344.10
916-303-029	37958 PEARWOOD LN	SFR	A	1.00	419.46	344.10
916-303-030	37992 PEARWOOD LN	SFR	A	1.00	419.46	344.10
916-303-031	26616 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10

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916-303-032	26604 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-033	26592 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-034	26580 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-035	26577 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-036	26589 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-037	26601 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-038	26613 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-039	26625 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-040	26637 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-041	26649 BRICKENRIDGE CIR	SFR	A	1.00	419.46	344.10
916-303-042	38057 PEARWOOD LN	SFR	A	1.00	419.46	344.10
916-303-043	38023 PEARWOOD LN	SFR	A	1.00	419.46	344.10
916-303-044	37989 PEARWOOD LN	SFR	A	1.00	419.46	344.10
916-303-045	37955 PEARWOOD LN	SFR	A	1.00	419.46	344.10
916-303-046	37972 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-047	38004 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-048	38040 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-049	38068 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-050	38102 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-051	38071 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-052	38043 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-053	38007 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-054	37975 FLORAL CIR	SFR	A	1.00	419.46	344.10
916-303-055	37974 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-303-056	38008 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-303-057	38042 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-303-058	38070 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-303-059	38104 ORANGE BLOSSOM LN	SFR	A	1.00	419.46	344.10
916-311-001	26325 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-002	26343 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-003	26361 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-004	26379 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-005	26397 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-006	26415 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-007	26433 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-009	26469 ROLAND RD	SFR	A	1.00	419.46	344.10
916-311-010	26487 ROLAND RD	SFR	A	1.00	419.46	344.10
916-312-001	40488 OLD CASTLE ST	SFR	A	1.00	419.46	344.10
916-312-002	40474 OLD CASTLE ST	SFR	A	1.00	419.46	344.10
916-312-003	40460 OLD CASTLE ST	SFR	A	1.00	419.46	344.10
916-312-004	40446 OLD CASTLE ST	SFR	A	1.00	419.46	344.10
916-312-005	40432 OLD CASTLE ST	SFR	A	1.00	419.46	344.10
916-312-006	26476 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-312-007	26458 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-312-008	26440 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-312-009	26422 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-312-010	26404 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-312-011	26386 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-313-001	26381 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-313-002	26399 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-313-003	26417 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-313-004	26435 JOHN ADAMS ST	SFR	A	1.00	419.46	344.10
916-313-005	26438 ROLAND RD	SFR	A	1.00	419.46	344.10
916-313-006	26420 ROLAND RD	SFR	A	1.00	419.46	344.10
916-313-007	26402 ROLAND RD	SFR	A	1.00	419.46	344.10

City of Murrieta
Murrieta Landscaping and Lighting District No. 12
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-313-008	26384 ROLAND DR	SFR	A	1.00	419.46	344.10
916-314-001	40483 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-314-002	40469 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-314-003	40455 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-314-004	40441 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-314-005	40427 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-314-006	40413 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-314-007	40399 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-001	40371 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-002	40357 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-003	40343 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-004	40329 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-005	40315 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-006	40301 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-007	40287 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-008	40273 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-009	40259 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-010	40252 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-011	40266 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-012	40280 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-013	40294 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-014	40308 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-015	40322 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-016	40336 CAMBRIDGE ST	SFR	A	1.00	419.46	344.10
916-315-017	26406 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-315-018	26424 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-315-019	26442 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-315-020	26460 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-316-001	40287 BANYAN ST	SFR	A	1.00	419.46	344.10
916-316-002	40295 BANYAN ST	SFR	A	1.00	419.46	344.10
916-316-003	40303 BANYAN ST	SFR	A	1.00	419.46	344.10
916-316-004	26473 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-316-005	26455 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-316-006	26437 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-316-007	26419 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-316-008	26401 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
916-316-009	26383 OAKLINGTON RD	SFR	A	1.00	419.46	344.10
Total				1,907.00	\$873,539.22	\$709,244.48
Parcels						1907

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-020-001	29110 WRANGLER DR	SFR	1.00	\$615.68	\$615.68
908-020-002	29120 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-003	29130 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-004	29140 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-005	29150 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-006	29160 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-007	29170 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-008	29180 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-009	29190 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-010	29200 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-011	29210 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-012	29220 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-013	29230 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-014	29240 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-015	29250 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-016	29260 WRANGLER DR	SFR	1.00	615.68	615.68
908-020-017	29270 WRANGLER DR	SFR	1.00	615.68	615.68
908-021-001	29275 WRANGLER DR	SFR	1.00	615.68	615.68
908-021-002	29265 WRANGLER DR	SFR	1.00	615.68	615.68
908-021-003	29268 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-021-004	29278 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-001	29273 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-002	29263 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-003	29253 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-004	29243 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-005	29233 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-006	29223 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-007	29213 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-008	29203 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-009	29193 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-010	29173 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-012	29178 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-014	29198 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-015	29208 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-016	29218 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-017	29228 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-018	29238 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-019	29248 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-022-020	29245 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-021	29235 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-022	29225 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-023	29215 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-024	29205 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-025	29185 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-026	29175 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-027	29155 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-028	29145 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-029	29135 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-030	29115 WRANGLER DR	SFR	1.00	615.68	615.68
908-022-031	29105 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-001	29280 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-002	29290 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-003	29300 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-004	29310 WRANGLER DR	SFR	1.00	615.68	615.68

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-030-005	29320 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-006	29330 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-007	29340 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-008	29350 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-009	29360 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-010	29370 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-011	29380 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-012	29390 WRANGLER DR	SFR	1.00	615.68	615.68
908-030-013	29400 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-001	29375 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-002	29365 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-003	29355 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-004	29345 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-005	29335 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-006	29325 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-007	29315 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-008	29305 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-009	29295 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-010	29285 WRANGLER DR	SFR	1.00	615.68	615.68
908-031-011	29288 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-012	29298 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-013	29308 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-014	29318 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-015	29328 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-016	29338 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-017	29348 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-018	29358 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-019	29368 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-031-020	29378 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-001	29443 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-002	29433 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-003	29423 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-004	29413 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-005	29403 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-006	29393 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-007	29383 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-008	29373 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-009	29363 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-010	29353 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-011	29333 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-012	29323 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-013	29313 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-014	29303 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-015	29293 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-032-016	29283 BROKEN ARROW WAY	SFR	1.00	615.68	615.68
908-040-001	29113 VIA ESPADA	SFR	1.00	615.68	615.68
908-040-002	29103 VIA ESPADA	SFR	1.00	615.68	615.68
908-040-003	29093 VIA ESPADA	SFR	1.00	615.68	615.68
908-040-004	37712 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-005	37724 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-006	37736 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-007	37729 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-008	37717 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-009	37705 SUMMER WIND CT	SFR	1.00	615.68	615.68

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-040-010	29153 VIA ESPADA	SFR	1.00	615.68	615.68
908-040-011	29143 VIA ESPADA	SFR	1.00	615.68	615.68
908-040-012	29133 VIA ESPADA	SFR	1.00	615.68	615.68
908-040-013	29123 VIA ESPADA	SFR	1.00	615.68	615.68
908-040-014	37748 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-015	37760 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-016	37772 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-017	37784 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-018	37796 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-019	37801 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-020	37777 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-021	37765 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-022	37753 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-040-023	37741 SUMMER WIND CT	SFR	1.00	615.68	615.68
908-041-001	37693 FLORA CT	SFR	1.00	615.68	615.68
908-041-002	37681 FLORA CT	SFR	1.00	615.68	615.68
908-041-003	37669 FLORA CT	SFR	1.00	615.68	615.68
908-041-004	37657 FLORA CT	SFR	1.00	615.68	615.68
908-041-005	37645 FLORA CT	SFR	1.00	615.68	615.68
908-041-006	37633 FLORA CT	SFR	1.00	615.68	615.68
908-041-007	37621 FLORA CT	SFR	1.00	615.68	615.68
908-041-008	37609 FLORA CT	SFR	1.00	615.68	615.68
908-041-009	37597 FLORA CT	SFR	1.00	615.68	615.68
908-041-010	37604 FLORA CT	SFR	1.00	615.68	615.68
908-041-011	37616 FLORA CT	SFR	1.00	615.68	615.68
908-041-012	37628 FLORA CT	SFR	1.00	615.68	615.68
908-041-013	37640 FLORA CT	SFR	1.00	615.68	615.68
908-041-014	37652 FLORA CT	SFR	1.00	615.68	615.68
908-041-015	37664 FLORA CT	SFR	1.00	615.68	615.68
908-041-016	37676 FLORA CT	SFR	1.00	615.68	615.68
908-041-017	37688 FLORA CT	SFR	1.00	615.68	615.68
908-041-018	29080 WRANGLER DR	SFR	1.00	615.68	615.68
908-041-019	29070 WRANGLER DR	SFR	1.00	615.68	615.68
908-041-020	29060 WRANGLER DR	SFR	1.00	615.68	615.68
908-041-021	29050 WRANGLER DR	SFR	1.00	615.68	615.68
908-041-022	29040 WRANGLER DR	SFR	1.00	615.68	615.68
908-041-023	29030 WRANGLER DR	SFR	1.00	615.68	615.68
908-041-024	29020 WRANGLER DR	SFR	1.00	615.68	615.68
908-041-025	29010 WRANGLER DR	SFR	1.00	615.68	615.68
908-042-001	29092 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-042-002	29104 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-042-003	29116 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-042-004	29128 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-042-005	29152 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-042-006	29164 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-043-001	37662 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-043-002	37674 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-043-003	37686 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-043-004	37698 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-043-005	37710 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-043-006	37734 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-001	37739 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-002	37727 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-003	37715 SILVER BREEZE CT	SFR	1.00	615.68	615.68

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-044-004	37703 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-005	37691 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-006	37679 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-007	37667 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-008	29035 WRANGLER DR	SFR	1.00	615.68	615.68
908-044-009	29025 WRANGLER DR	SFR	1.00	615.68	615.68
908-044-010	29015 WRANGLER DR	SFR	1.00	615.68	615.68
908-044-011	29005 WRANGLER DR	SFR	1.00	615.68	615.68
908-044-012	29098 VIA ESPADA	SFR	1.00	615.68	615.68
908-044-013	29108 VIA ESPADA	SFR	1.00	615.68	615.68
908-044-014	29118 VIA ESPADA	SFR	1.00	615.68	615.68
908-044-015	37763 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-016	37751 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-044-017	29128 VIA ESPADA	SFR	1.00	615.68	615.68
908-044-018	29148 VIA ESPADA	SFR	1.00	615.68	615.68
908-044-019	29158 VIA ESPADA	SFR	1.00	615.68	615.68
908-050-001	29176 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-002	29188 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-003	29200 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-004	29212 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-005	29224 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-006	29236 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-007	29248 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-008	29260 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-009	29272 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-050-010	37649 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-050-011	37637 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-050-012	37625 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-050-013	37613 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-050-014	37601 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-001	37570 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-002	37582 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-003	37594 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-004	37606 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-005	37618 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-006	37630 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-007	37642 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-008	37654 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-009	37678 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-010	37690 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-011	37702 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-012	37714 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-013	37726 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-014	37738 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-015	37750 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-016	37762 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-017	37774 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-051-018	37786 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-001	37721 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-002	37709 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-003	37697 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-004	37685 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-005	37673 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-006	29267 SMOKEWOOD DR	SFR	1.00	615.68	615.68

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-052-007	29241 SMOKEWOOD DR	SFR	1.00	615.68	615.68
908-052-008	37659 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-009	37670 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-010	37682 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-011	37694 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-012	37718 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-013	37730 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-014	37723 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-015	37699 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-016	37687 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-017	37675 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-018	37663 SEDONA CIR	SFR	1.00	615.68	615.68
908-052-019	37758 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-020	37770 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-021	37793 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-022	37781 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-023	37769 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-024	37757 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-025	37745 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-026	37733 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-052-027	37782 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-028	37794 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-029	37806 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-030	37811 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-031	37799 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-032	37787 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-052-033	37775 SILVER BREEZE CT	SFR	1.00	615.68	615.68
908-060-001	29307 SHADY LN	SFR	1.00	615.68	615.68
908-060-002	29321 SHADY LN	SFR	1.00	615.68	615.68
908-060-003	29335 SHADY LN	SFR	1.00	615.68	615.68
908-060-004	29349 SHADY LN	SFR	1.00	615.68	615.68
908-060-005	29363 SHADY LN	SFR	1.00	615.68	615.68
908-060-006	29377 SHADY LN	SFR	1.00	615.68	615.68
908-060-007	29391 SHADY LN	SFR	1.00	615.68	615.68
908-060-008	29405 SHADY LN	SFR	1.00	615.68	615.68
908-060-009	29419 SHADY LN	SFR	1.00	615.68	615.68
908-060-010	29433 SHADY LN	SFR	1.00	615.68	615.68
908-060-011	29447 SHADY LN	SFR	1.00	615.68	615.68
908-060-012	29461 SHADY LN	SFR	1.00	615.68	615.68
908-060-013	29475 SHADY LN	SFR	1.00	615.68	615.68
908-060-014	29489 SHADY LN	SFR	1.00	615.68	615.68
908-060-015	37758 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-016	37746 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-017	37734 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-018	37722 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-019	37710 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-020	37698 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-021	37686 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-022	37680 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-023	37674 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-024	37662 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-025	37650 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-026	37638 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-060-027	37626 SPRUCEWOOD LN	SFR	1.00	615.68	615.68

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
Preliminary Assessment Roll
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-061-001	37621 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-002	37633 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-003	37645 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-004	37657 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-005	37669 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-006	37693 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-007	37705 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-008	37717 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-009	37729 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-010	37741 SPRUCEWOOD LN	SFR	1.00	615.68	615.68
908-061-011	29440 SHADY LN	SFR	1.00	615.68	615.68
908-061-012	29426 SHADY LN	SFR	1.00	615.68	615.68
908-061-013	29412 SHADY LN	SFR	1.00	615.68	615.68
908-061-014	29384 SHADY LN	SFR	1.00	615.68	615.68
908-061-015	29370 SHADY LN	SFR	1.00	615.68	615.68
908-061-016	29356 SHADY LN	SFR	1.00	615.68	615.68
908-061-017	29342 SHADY LN	SFR	1.00	615.68	615.68
908-061-018	37748 QUINTANA DR	SFR	1.00	615.68	615.68
908-061-019	37736 QUINTANA DR	SFR	1.00	615.68	615.68
908-061-020	37712 QUINTANA DR	SFR	1.00	615.68	615.68
908-061-021	37700 QUINTANA DR	SFR	1.00	615.68	615.68
908-061-022	29361 TAOS CIR	SFR	1.00	615.68	615.68
908-061-023	29375 TAOS CIR	SFR	1.00	615.68	615.68
908-061-024	29389 TAOS CIR	SFR	1.00	615.68	615.68
908-061-025	29403 TAOS CIR	SFR	1.00	615.68	615.68
908-061-026	29417 TAOS CIR	SFR	1.00	615.68	615.68
908-061-027	29410 TAOS CIR	SFR	1.00	615.68	615.68
908-061-028	29396 TAOS CIR	SFR	1.00	615.68	615.68
908-061-029	29382 TAOS CIR	SFR	1.00	615.68	615.68
908-061-030	29368 TAOS CIR	SFR	1.00	615.68	615.68
908-062-001	37611 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-002	37623 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-003	37635 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-004	37647 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-005	37659 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-006	37671 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-007	37683 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-008	37695 QUINTANA CIR	SFR	1.00	615.68	615.68
908-062-009	37707 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-010	37719 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-011	37731 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-012	37743 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-013	37755 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-014	37767 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-015	37779 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-016	37791 QUINTANA DR	SFR	1.00	615.68	615.68
908-062-017	37803 QUINTANA DR	SFR	1.00	615.68	615.68
908-070-001	29213 VIA ESPADA	SFR	1.00	615.68	615.68
908-070-002	29203 VIA ESPADA	SFR	1.00	615.68	615.68
908-070-003	29193 VIA ESPADA	SFR	1.00	615.68	615.68
908-070-004	29183 VIA ESPADA	SFR	1.00	615.68	615.68
908-070-005	29040 DERBY DR	SFR	1.00	615.68	615.68
908-070-006	29054 DERBY DR	SFR	1.00	615.68	615.68
908-070-007	29068 DERBY DR	SFR	1.00	615.68	615.68

City of Murrieta
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Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-070-008	29082 DERBY DR	SFR	1.00	615.68	615.68
908-071-001	29139 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-002	29125 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-003	29111 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-004	29097 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-005	29083 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-006	29069 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-007	29055 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-008	29041 BENT TREE DR	SFR	1.00	615.68	615.68
908-071-009	37942 RAINBOW DR	SFR	1.00	615.68	615.68
908-071-010	37954 RAINBOW DR	SFR	1.00	615.68	615.68
908-071-011	37966 RAINBOW DR	SFR	1.00	615.68	615.68
908-071-012	37978 RAINBOW DR	SFR	1.00	615.68	615.68
908-071-013	37990 RAINBOW DR	SFR	1.00	615.68	615.68
908-072-001	29034 BENT TREE DR	SFR	1.00	615.68	615.68
908-072-002	29045 BENT TREE DR	SFR	1.00	615.68	615.68
908-072-003	29062 BENT TREE DR	SFR	1.00	615.68	615.68
908-072-004	29076 BENT TREE DR	SFR	1.00	615.68	615.68
908-072-005	29090 BENT TREE DR	SFR	1.00	615.68	615.68
908-072-006	29104 BENT TREE DR	SFR	1.00	615.68	615.68
908-072-007	29132 BENT TREE DR	SFR	1.00	615.68	615.68
908-072-008	29103 DERBY DR	SFR	1.00	615.68	615.68
908-072-009	29089 DERBY DR	SFR	1.00	615.68	615.68
908-072-010	29075 DERBY DR	SFR	1.00	615.68	615.68
908-072-011	29061 DERBY DR	SFR	1.00	615.68	615.68
908-072-012	29047 DERBY DR	SFR	1.00	615.68	615.68
908-073-001	37997 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-002	37985 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-003	37973 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-004	37961 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-005	37949 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-006	37937 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-007	37925 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-008	37913 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-009	37901 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-010	37889 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-011	37877 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-012	37865 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-013	37853 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-014	37841 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-015	37829 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-016	37817 RAINBOW DR	SFR	1.00	615.68	615.68
908-073-017	37805 RAINBOW DR	SFR	1.00	615.68	615.68
908-080-001	29303 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-002	29242 DERBY DR	SFR	1.00	615.68	615.68
908-080-003	29250 DERBY DR	SFR	1.00	615.68	615.68
908-080-004	29258 DERBY DR	SFR	1.00	615.68	615.68
908-080-005	29264 DERBY DR	SFR	1.00	615.68	615.68
908-080-006	29270 DERBY DR	SFR	1.00	615.68	615.68
908-080-007	29278 DERBY DR	SFR	1.00	615.68	615.68
908-080-008	29286 DERBY DR	SFR	1.00	615.68	615.68
908-080-010	29293 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-011	29283 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-012	29273 VIA ESPADA	SFR	1.00	615.68	615.68

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-080-013	29263 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-014	29253 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-015	29243 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-016	29233 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-017	29223 VIA ESPADA	SFR	1.00	615.68	615.68
908-080-018	29112 DERBY DR	SFR	1.00	615.68	615.68
908-080-019	29138 DERBY DR	SFR	1.00	615.68	615.68
908-080-020	29180 DERBY DR	SFR	1.00	615.68	615.68
908-080-021	29194 DERBY DR	SFR	1.00	615.68	615.68
908-080-022	29208 DERBY DR	SFR	1.00	615.68	615.68
908-080-023	29222 DERBY DR	SFR	1.00	615.68	615.68
908-080-024	29236 DERBY DR	SFR	1.00	615.68	615.68
908-080-025	29251 BENT TREE DR	SFR	1.00	615.68	615.68
908-080-026	29237 BENT TREE DR	SFR	1.00	615.68	615.68
908-080-027	29223 BENT TREE DR	SFR	1.00	615.68	615.68
908-080-028	29209 BENT TREE DR	SFR	1.00	615.68	615.68
908-080-029	29195 BENT TREE DR	SFR	1.00	615.68	615.68
908-080-030	29181 BENT TREE DR	SFR	1.00	615.68	615.68
908-080-031	29167 BENT TREE DR	SFR	1.00	615.68	615.68
908-080-032	29153 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-001	29146 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-002	29160 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-003	29174 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-004	29188 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-005	29202 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-006	29216 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-007	29230 BENT TREE DR	SFR	1.00	615.68	615.68
908-081-008	29229 DERBY DR	SFR	1.00	615.68	615.68
908-081-009	29215 DERBY DR	SFR	1.00	615.68	615.68
908-081-010	29201 DERBY DR	SFR	1.00	615.68	615.68
908-081-011	29187 DERBY DR	SFR	1.00	615.68	615.68
908-081-012	29169 DERBY DR	SFR	1.00	615.68	615.68
908-081-013	29145 DERBY DR	SFR	1.00	615.68	615.68
908-081-014	29131 DERBY DR	SFR	1.00	615.68	615.68
908-082-001	29168 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-002	29178 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-003	29188 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-004	29198 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-005	29208 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-006	29218 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-007	29238 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-008	29248 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-009	29258 VIA ESPADA	SFR	1.00	615.68	615.68
908-082-010	29268 VIA ESPADA	SFR	1.00	615.68	615.68
908-083-001	37810 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-083-002	37798 RUSHING WIND CT	SFR	1.00	615.68	615.68
908-090-001	29481 LYNN CT	SFR	1.00	615.68	615.68
908-090-002	29467 LYNN CT	SFR	1.00	615.68	615.68
908-090-003	29453 LYNN CT	SFR	1.00	615.68	615.68
908-090-004	29439 LYNN CT	SFR	1.00	615.68	615.68
908-090-005	29425 LYNN CT	SFR	1.00	615.68	615.68
908-090-006	29411 LYNN CT	SFR	1.00	615.68	615.68
908-090-007	29397 LYNN CT	SFR	1.00	615.68	615.68
908-090-008	29369 LYNN CT	SFR	1.00	615.68	615.68

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-090-009	29355 LYNN CT	SFR	1.00	615.68	615.68
908-090-010	29341 LYNN CT	SFR	1.00	615.68	615.68
908-090-011	29327 LYNN CT	SFR	1.00	615.68	615.68
908-090-012	29313 LYNN CT	SFR	1.00	615.68	615.68
908-090-013	29299 LYNN CT	SFR	1.00	615.68	615.68
908-090-014	29306 LYNN CT	SFR	1.00	615.68	615.68
908-090-015	29320 LYNN CT	SFR	1.00	615.68	615.68
908-090-016	29334 LYNN CT	SFR	1.00	615.68	615.68
908-090-017	29346 LYNN CT	SFR	1.00	615.68	615.68
908-090-018	29362 LYNN CT	SFR	1.00	615.68	615.68
908-090-019	29357 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-020	29345 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-021	29339 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-022	29315 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-023	29301 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-024	29308 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-025	29322 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-026	29336 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-027	29350 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-028	29364 BIG HORN CT	SFR	1.00	615.68	615.68
908-090-029	29363 VIA ESPADA	SFR	1.00	615.68	615.68
908-090-030	29353 VIA ESPADA	SFR	1.00	615.68	615.68
908-090-031	29343 VIA ESPADA	SFR	1.00	615.68	615.68
908-090-032	29333 VIA ESPADA	SFR	1.00	615.68	615.68
908-090-033	29323 VIA ESPADA	SFR	1.00	615.68	615.68
908-091-001	37834 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-002	37848 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-003	37862 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-004	37876 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-005	37890 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-006	37904 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-007	37918 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-008	37932 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-009	37946 VIA CARMELIA	SFR	1.00	615.68	615.68
908-091-010	37955 ORLANA CT	SFR	1.00	615.68	615.68
908-091-011	37941 ORLANA CT	SFR	1.00	615.68	615.68
908-091-012	37927 ORLANA CT	SFR	1.00	615.68	615.68
908-091-013	37913 ORLANA CT	SFR	1.00	615.68	615.68
908-091-014	37899 ORLANA CT	SFR	1.00	615.68	615.68
908-091-015	37885 ORLANA CT	SFR	1.00	615.68	615.68
908-091-016	37871 ORLANA CT	SFR	1.00	615.68	615.68
908-091-017	37878 ORLANA CT	SFR	1.00	615.68	615.68
908-091-018	37892 ORLANA CT	SFR	1.00	615.68	615.68
908-091-019	37906 ORLANA CT	SFR	1.00	615.68	615.68
908-091-020	37920 ORLANA CT	SFR	1.00	615.68	615.68
908-091-021	37934 ORLANA CT	SFR	1.00	615.68	615.68
908-091-022	37948 ORLANA CT	SFR	1.00	615.68	615.68
908-091-023	37957 SPUR DR	SFR	1.00	615.68	615.68
908-091-024	37943 SPUR DR	SFR	1.00	615.68	615.68
908-091-025	37929 SPUR DR	SFR	1.00	615.68	615.68
908-091-026	37915 SPUR DR	SFR	1.00	615.68	615.68
908-091-027	37901 SPUR DR	SFR	1.00	615.68	615.68
908-091-028	37887 SPUR DR	SFR	1.00	615.68	615.68
908-091-029	37873 SPUR DR	SFR	1.00	615.68	615.68

City of Murrieta
Murrieta Landscaping and Lighting District No. 13 (Rancho Mira Mosa)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-091-030	37859 SPUR DR	SFR	1.00	615.68	615.68
908-091-031	37845 SPUR DR	SFR	1.00	615.68	615.68
908-091-032	29443 VIA ESPADA	SFR	1.00	615.68	615.68
908-091-033	29433 VIA ESPADA	SFR	1.00	615.68	615.68
908-091-034	29423 VIA ESPADA	SFR	1.00	615.68	615.68
908-091-035	29413 VIA ESPADA	SFR	1.00	615.68	615.68
908-091-036	29403 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-001	37992 SPUR DR	SFR	1.00	615.68	615.68
908-092-002	37978 SPUR DR	SFR	1.00	615.68	615.68
908-092-003	37964 SPUR DR	SFR	1.00	615.68	615.68
908-092-004	37950 SPUR DR	SFR	1.00	615.68	615.68
908-092-005	37936 SPUR DR	SFR	1.00	615.68	615.68
908-092-006	37922 SPUR DR	SFR	1.00	615.68	615.68
908-092-007	37908 SPUR DR	SFR	1.00	615.68	615.68
908-092-008	37894 SPUR DR	SFR	1.00	615.68	615.68
908-092-009	37880 SPUR DR	SFR	1.00	615.68	615.68
908-092-010	37866 SPUR DR	SFR	1.00	615.68	615.68
908-092-011	37852 SPUR DR	SFR	1.00	615.68	615.68
908-092-012	37838 SPUR DR	SFR	1.00	615.68	615.68
908-092-013	37824 SPUR DR	SFR	1.00	615.68	615.68
908-092-014	29478 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-015	29468 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-016	29458 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-017	29448 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-018	29438 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-019	29428 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-020	29418 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-021	29408 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-022	29398 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-023	29388 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-024	29378 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-025	29368 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-026	29358 VIA ESPADA	SFR	1.00	615.68	615.68
908-092-027	29348 VIA ESPADA	SFR	1.00	615.68	615.68
908-093-001	37821 QUINTANA DR	SFR	1.00	615.68	615.68
908-093-002	37813 QUINTANA DR	SFR	1.00	615.68	615.68
Total			522.00	\$321,386.21	\$321,384.96
Parcels					522

City of Murrieta
Murrieta Landscaping and Lighting District No. 14 (Sycamore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-581-001	23530 SCOOTER WAY	SFR	1.00	\$197.90	\$197.88
906-581-002	23522 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-003	42050 KARRIE LN	SFR	1.00	197.90	197.88
906-581-004	42058 KARRIE LN	SFR	1.00	197.90	197.88
906-581-005	42066 KARRIE LN	SFR	1.00	197.90	197.88
906-581-006	42067 KARRIE LN	SFR	1.00	197.90	197.88
906-581-007	42059 KARRIE LN	SFR	1.00	197.90	197.88
906-581-008	42051 KARRIE LN	SFR	1.00	197.90	197.88
906-581-009	23500 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-010	23492 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-011	23484 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-012	23476 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-013	23468 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-016	23444 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-017	23436 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-018	42150 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-019	42158 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-020	42166 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-021	42174 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-022	42182 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-023	42190 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-024	42198 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-025	42206 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-026	42207 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-027	42151 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-028	42143 KIMBERLY WAY	SFR	1.00	197.90	197.88
906-581-029	23424 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-030	23432 SCOOTER WAY	SFR	1.00	197.90	197.88
906-581-031	23375 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-581-032	23385 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-581-038	23452 SCOOTER	SFR	1.00	197.90	197.88
906-582-001	23546 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-002	23538 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-003	23530 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-004	23522 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-005	23514 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-006	23507 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-007	23513 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-008	23521 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-009	23529 CHRISTY WAY	SFR	1.00	197.90	197.88
906-582-010	23390 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-582-011	23380 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-582-012	23423 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-013	23431 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-014	23439 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-015	23451 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-016	23463 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-017	23475 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-018	23483 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-019	23495 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-020	23503 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-021	23515 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-022	23523 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-023	23531 SCOOTER WAY	SFR	1.00	197.90	197.88
906-582-024	23539 SCOOTER WAY	SFR	1.00	197.90	197.88

City of Murrieta
Murrieta Landscaping and Lighting District No. 14 (Sycamore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-591-001	23550 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-002	23558 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-003	23566 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-004	23574 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-005	23582 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-006	23590 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-007	23598 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-008	23606 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-009	23597 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-010	23589 SCOOTER WAY	SFR	1.00	197.90	197.88
906-591-011	42053 TAYLOR ST	SFR	1.00	197.90	197.88
906-591-012	42063 TAYLOR ST	SFR	1.00	197.90	197.88
906-591-013	42073 TAYLOR ST	SFR	1.00	197.90	197.88
906-591-014	42083 TAYLOR ST	SFR	1.00	197.90	197.88
906-591-015	23440 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-016	23450 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-017	23460 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-018	23470 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-019	23480 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-020	23490 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-021	23500 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-022	23510 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-591-023	42148 ALEXANDRA DR	SFR	1.00	197.90	197.88
906-591-024	23653 STEPHANIE LN	SFR	1.00	197.90	197.88
906-591-025	23645 STEPHANIE LN	SFR	1.00	197.90	197.88
906-591-026	23637 STEPHANIE LN	SFR	1.00	197.90	197.88
906-591-027	23629 STEPHANIE LN	SFR	1.00	197.90	197.88
906-591-028	23628 STEPHANIE LN	SFR	1.00	197.90	197.88
906-591-029	23634 STEPHANIE LN	SFR	1.00	197.90	197.88
906-591-030	23642 STEPHANIE LN	SFR	1.00	197.90	197.88
906-591-031	23650 STEPHANIE LN	SFR	1.00	197.90	197.88
906-592-001	42149 ALEXANDRA DR	SFR	1.00	197.90	197.88
906-592-002	42131 ALEXANDRA DR	SFR	1.00	197.90	197.88
906-592-003	42123 ALEXANDRA DR	SFR	1.00	197.90	197.88
906-592-004	42115 ALEXANDRA DR	SFR	1.00	197.90	197.88
906-592-005	42107 ALEXANDRA DR	SFR	1.00	197.90	197.88
906-592-006	42099 ALEXANDRA DR	SFR	1.00	197.90	197.88
906-593-001	23395 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-002	23405 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-003	23415 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-004	23425 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-005	23435 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-006	23445 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-007	23455 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-008	23465 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-009	23475 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-010	23485 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-011	23495 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-012	23505 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-013	23515 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-014	23525 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-593-015	23535 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-594-001	23537 CHRISTY WAY	SFR	1.00	197.90	197.88
906-594-002	23545 CHRISTY WAY	SFR	1.00	197.90	197.88
906-594-003	23430 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88

City of Murrieta
Murrieta Landscaping and Lighting District No. 14 (Sycamore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-594-004	23420 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-594-005	23410 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-594-006	23400 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-595-001	42050 TAYLOR ST	SFR	1.00	197.90	197.88
906-595-002	42060 TAYLOR ST	SFR	1.00	197.90	197.88
906-595-003	42070 TAYLOR ST	SFR	1.00	197.90	197.88
906-640-001	42210 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-002	42200 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-003	42190 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-004	42180 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-005	42170 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-006	42160 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-007	42150 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-008	42140 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-009	42130 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-010	42120 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-640-011	42110 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-641-001	23680 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-641-002	23672 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-641-003	23664 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-641-004	23656 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-641-005	23648 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-641-006	23640 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-641-007	23632 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-003	23633 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-004	23641 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-005	23649 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-006	23657 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-007	23665 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-008	23673 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-009	23681 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-010	23662 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-011	23654 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-012	23646 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-013	23638 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-014	23630 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-015	23622 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-016	23621 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-017	23629 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-018	23637 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-019	23645 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-020	23653 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-021	23661 WILLIAM PL	SFR	1.00	197.90	197.88
906-642-022	23650 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-023	23642 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-024	23634 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-025	23626 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-026	23618 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-027	23625 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-028	23633 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-029	23641 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-030	23649 APPLEWOOD PL	SFR	1.00	197.90	197.88
906-642-031	42249 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-032	42259 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-033	42269 CLAIRISSA WAY	SFR	1.00	197.90	197.88

City of Murrieta
Murrieta Landscaping and Lighting District No. 14 (Sycamore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-642-036	42290 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-037	42280 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-038	42270 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-039	42260 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-040	42250 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-041	42240 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-042	42230 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-044	42279 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-045	42289 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-642-046	23617 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-642-047	23625 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-650-001	42100 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-002	42090 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-003	42080 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-004	42070 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-005	42060 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-006	42050 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-007	42040 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-008	42030 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-009	42020 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-010	42010 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-011	42001 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-012	42011 CLAIRISSA WAY	SFR	1.00	197.90	197.88
906-650-013	23700 ANGEL PL	SFR	1.00	197.90	197.88
906-650-014	23692 ANGEL PL	SFR	1.00	197.90	197.88
906-650-015	23676 ANGEL PL	SFR	1.00	197.90	197.88
906-650-016	23662 ANGEL PL	SFR	1.00	197.90	197.88
906-650-017	23654 ANGEL PL	SFR	1.00	197.90	197.88
906-650-018	23653 ANGEL PL	SFR	1.00	197.90	197.88
906-650-019	23661 ANGEL PL	SFR	1.00	197.90	197.88
906-650-020	23669 ANGEL PL	SFR	1.00	197.90	197.88
906-650-021	23677 ANGEL PL	SFR	1.00	197.90	197.88
906-650-022	23685 ANGEL PL	SFR	1.00	197.90	197.88
906-650-023	23693 ANGEL PL	SFR	1.00	197.90	197.88
906-650-024	23701 ANGEL PL	SFR	1.00	197.90	197.88
906-650-025	23690 KATHRYN ST	SFR	1.00	197.90	197.88
906-650-026	23682 KATHRYN ST	SFR	1.00	197.90	197.88
906-650-027	23674 KATHRYN ST	SFR	1.00	197.90	197.88
906-650-028	23666 KATHRYN ST	SFR	1.00	197.90	197.88
906-650-029	23658 KATHRYN ST	SFR	1.00	197.90	197.88
906-651-001	23665 KATHRYN ST	SFR	1.00	197.90	197.88
906-651-002	23673 KATHRYN ST	SFR	1.00	197.90	197.88
906-651-003	23681 KATHRYN ST	SFR	1.00	197.90	197.88
906-651-004	23689 KATHRYN ST	SFR	1.00	197.90	197.88
906-651-005	23697 KATHRYN ST	SFR	1.00	197.90	197.88
906-651-006	23705 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-001	23650 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-002	23642 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-003	23634 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-004	23626 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-005	23618 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-006	23610 KATHRYN LN	SFR	1.00	197.90	197.88
906-660-007	23602 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-008	23594 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-009	23586 KATHRYN ST	SFR	1.00	197.90	197.88

City of Murrieta
Murrieta Landscaping and Lighting District No. 14 (Sycamore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-660-010	23578 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-011	23690 ORCHID LN	SFR	1.00	197.90	197.88
906-660-012	23682 ORCHID LN	SFR	1.00	197.90	197.88
906-660-013	23674 ORCHID LN	SFR	1.00	197.90	197.88
906-660-014	23666 ORCHID LN	SFR	1.00	197.90	197.88
906-660-015	23675 ORCHID LN	SFR	1.00	197.90	197.88
906-660-016	23683 ORCHID LN	SFR	1.00	197.90	197.88
906-660-017	23691 ORCHID LN	SFR	1.00	197.90	197.88
906-660-018	23556 KATHRYN ST	SFR	1.00	197.90	197.88
906-660-019	23548 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-001	23547 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-002	23555 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-003	23563 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-004	23571 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-005	23579 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-006	23587 KATHRYN AVE	SFR	1.00	197.90	197.88
906-661-007	23595 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-008	23625 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-009	23633 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-010	23641 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-011	23649 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-012	23657 KATHRYN ST	SFR	1.00	197.90	197.88
906-661-013	23624 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-661-014	42103 CEDAR CT	SFR	1.00	197.90	197.88
906-661-015	42095 CEDAR CT	SFR	1.00	197.90	197.88
906-661-016	42087 CEDAR CT	SFR	1.00	197.90	197.88
906-661-017	42079 CEDAR CT	SFR	1.00	197.90	197.88
906-661-018	42078 CEDAR CT	SFR	1.00	197.90	197.88
906-661-019	42086 CEDAR CT	SFR	1.00	197.90	197.88
906-661-020	42094 CEDAR CT	SFR	1.00	197.90	197.88
906-661-021	42102 CEDAR CT	SFR	1.00	197.90	197.88
906-662-001	23545 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-002	23553 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-003	23561 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-004	23569 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-005	23577 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-006	23585 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-007	23593 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-008	23601 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-662-009	23609 SYCAMORE CREEK AVE	SFR	1.00	197.90	197.88
906-680-001	23531 KAREN PL	SFR	1.00	197.90	197.88
906-680-002	23539 KAREN PL	SFR	1.00	197.90	197.88
906-680-003	23547 KAREN PL	SFR	1.00	197.90	197.88
906-680-004	23555 KAREN PL	SFR	1.00	197.90	197.88
906-680-005	23563 KAREN PL	SFR	1.00	197.90	197.88
906-680-006	23571 KAREN PL	SFR	1.00	197.90	197.88
906-680-007	23579 KAREN PL	SFR	1.00	197.90	197.88
906-680-008	23587 KAREN PL	SFR	1.00	197.90	197.88
906-681-001	23522 KAREN PL	SFR	1.00	197.90	197.88
906-681-002	23514 KAREN PL	SFR	1.00	197.90	197.88
906-681-003	23506 KAREN PL	SFR	1.00	197.90	197.88
906-681-004	42212 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-005	42204 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-006	42196 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-007	42188 E VIEW WAY	SFR	1.00	197.90	197.88

City of Murrieta
Murrieta Landscaping and Lighting District No. 14 (Sycamore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-681-008	42180 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-009	42172 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-010	42164 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-011	42156 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-012	42148 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-013	42155 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-014	42163 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-015	42171 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-016	42179 E VIEW WAY	SFR	1.00	197.90	197.88
906-681-017	23490 KAREN PL	SFR	1.00	197.90	197.88
906-681-018	23482 KAREN PL	SFR	1.00	197.90	197.88
906-681-019	23474 KAREN PL	SFR	1.00	197.90	197.88
906-681-020	23466 KAREN PL	SFR	1.00	197.90	197.88
906-681-021	23458 KAREN PL	SFR	1.00	197.90	197.88
906-681-022	23450 KAREN PL	SFR	1.00	197.90	197.88
906-681-023	23443 KAREN PL	SFR	1.00	197.90	197.88
906-681-024	23451 KAREN PL	SFR	1.00	197.90	197.88
906-681-025	23459 KAREN PL	SFR	1.00	197.90	197.88
906-681-026	23467 KAREN PL	SFR	1.00	197.90	197.88
906-681-027	23475 KAREN PL	SFR	1.00	197.90	197.88
906-681-028	23483 KAREN PL	SFR	1.00	197.90	197.88
906-681-029	23491 KAREN PL	SFR	1.00	197.90	197.88
906-681-030	23499 KAREN PL	SFR	1.00	197.90	197.88
906-681-031	23507 KAREN PL	SFR	1.00	197.90	197.88
906-681-032	23515 KAREN PL	SFR	1.00	197.90	197.88
Total			300.00	\$59,368.56	\$59,364.00
Parcels					300

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-030-001	35709 ABELIA ST	SFR	1.00	\$197.47	\$180.72
392-030-002	35701 ABELIA ST	SFR	1.00	197.47	180.72
392-030-003	35693 ABELIA ST	SFR	1.00	197.47	180.72
392-030-004	35685 ABELIA ST	SFR	1.00	197.47	180.72
392-030-005	35677 ABELIA ST	SFR	1.00	197.47	180.72
392-030-006	35669 ABELIA ST	SFR	1.00	197.47	180.72
392-030-007	35661 ABELIA ST	SFR	1.00	197.47	180.72
392-030-008	35653 ABELIA ST	SFR	1.00	197.47	180.72
392-030-009	35645 ABELIA ST	SFR	1.00	197.47	180.72
392-030-010	35637 ABELIA ST	SFR	1.00	197.47	180.72
392-030-011	35629 ABELIA ST	SFR	1.00	197.47	180.72
392-030-012	35621 ABELIA ST	SFR	1.00	197.47	180.72
392-030-013	35613 ABELIA ST	SFR	1.00	197.47	180.72
392-030-014	35605 ABELIA ST	SFR	1.00	197.47	180.72
392-030-015	35597 ABELIA ST	SFR	1.00	197.47	180.72
392-030-016	35589 ABELIA ST	SFR	1.00	197.47	180.72
392-030-017	35586 ABELIA ST	SFR	1.00	197.47	180.72
392-030-018	35594 ABELIA ST	SFR	1.00	197.47	180.72
392-030-019	35602 ABELIA ST	SFR	1.00	197.47	180.72
392-030-020	35610 ABELIA ST	SFR	1.00	197.47	180.72
392-030-021	35618 ABELIA ST	SFR	1.00	197.47	180.72
392-030-022	35626 ABELIA ST	SFR	1.00	197.47	180.72
392-030-023	35634 ABELIA ST	SFR	1.00	197.47	180.72
392-030-024	35642 ABELIA ST	SFR	1.00	197.47	180.72
392-030-025	35650 ABELIA ST	SFR	1.00	197.47	180.72
392-030-026	35658 ABELIA ST	SFR	1.00	197.47	180.72
392-030-027	35662 ABELIA ST	SFR	1.00	197.47	180.72
392-030-028	35670 ABELIA ST	SFR	1.00	197.47	180.72
392-030-029	35678 ABELIA ST	SFR	1.00	197.47	180.72
392-030-030	35686 ABELIA ST	SFR	1.00	197.47	180.72
392-030-031	35694 ABELIA ST	SFR	1.00	197.47	180.72
392-030-032	35702 ABELIA ST	SFR	1.00	197.47	180.72
392-030-033	35710 ABELIA ST	SFR	1.00	197.47	180.72
392-030-034	35718 ABELIA ST	SFR	1.00	197.47	180.72
392-030-035	35726 ABELIA ST	SFR	1.00	197.47	180.72
392-030-036	35747 STOCK ST	SFR	1.00	197.47	180.72
392-030-037	35739 STOCK ST	SFR	1.00	197.47	180.72
392-030-038	35731 STOCK ST	SFR	1.00	197.47	180.72
392-030-039	35723 STOCK ST	SFR	1.00	197.47	180.72
392-030-040	35715 STOCK ST	SFR	1.00	197.47	180.72
392-030-041	35707 STOCK ST	SFR	1.00	197.47	180.72
392-030-042	35699 STOCK ST	SFR	1.00	197.47	180.72
392-030-043	35691 STOCK ST	SFR	1.00	197.47	180.72
392-030-044	35683 STOCK ST	SFR	1.00	197.47	180.72
392-030-045	35675 STOCK ST	SFR	1.00	197.47	180.72
392-040-016	35833 ABELIA ST	SFR	1.00	197.47	180.72
392-040-017	35825 ABELIA ST	SFR	1.00	197.47	180.72
392-040-018	35817 ABELIA ST	SFR	1.00	197.47	180.72
392-040-019	35809 ABELIA ST	SFR	1.00	197.47	180.72
392-040-020	35801 ABELIA ST	SFR	1.00	197.47	180.72
392-040-021	35793 ABELIA ST	SFR	1.00	197.47	180.72
392-040-022	35785 ABELIA ST	SFR	1.00	197.47	180.72
392-040-023	35777 ABELIA ST	SFR	1.00	197.47	180.72
392-040-024	35769 ABELIA ST	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-040-025	26238 BAY FIG LN	SFR	1.00	197.47	180.72
392-040-026	26230 BAY FIG LN	SFR	1.00	197.47	180.72
392-040-027	26227 BAY FIG LN	SFR	1.00	197.47	180.72
392-040-028	26235 BAY FIG LN	SFR	1.00	197.47	180.72
392-040-029	35759 ABELIA ST	SFR	1.00	197.47	180.72
392-040-030	35751 ABELIA ST	SFR	1.00	197.47	180.72
392-040-031	35717 ABELIA ST	SFR	1.00	197.47	180.72
392-040-032	35734 ABELIA ST	SFR	1.00	197.47	180.72
392-040-033	35742 ABELIA ST	SFR	1.00	197.47	180.72
392-040-034	35750 ABELIA ST	SFR	1.00	197.47	180.72
392-040-035	35758 ABELIA ST	SFR	1.00	197.47	180.72
392-040-036	35766 ABELIA ST	SFR	1.00	197.47	180.72
392-040-037	35774 ABELIA ST	SFR	1.00	197.47	180.72
392-040-038	35779 STOCK ST	SFR	1.00	197.47	180.72
392-040-039	35771 STOCK ST	SFR	1.00	197.47	180.72
392-040-040	35763 STOCK ST	SFR	1.00	197.47	180.72
392-040-041	35755 STOCK ST	SFR	1.00	197.47	180.72
392-040-047	26317 CHIVE ST	SFR	1.00	197.47	180.72
392-040-048	26329 CHIVE ST	SFR	1.00	197.47	180.72
392-050-002	26305 CHIVE ST	SFR	1.00	197.47	180.72
392-050-003	26293 CHIVE ST	SFR	1.00	197.47	180.72
392-050-004	26281 CHIVE ST	SFR	1.00	197.47	180.72
392-050-005	26269 CHIVE ST	SFR	1.00	197.47	180.72
392-050-006	26257 CHIVE ST	SFR	1.00	197.47	180.72
392-050-007	26245 CHIVE ST	SFR	1.00	197.47	180.72
392-050-008	26233 CHIVE ST	SFR	1.00	197.47	180.72
392-050-009	26221 CHIVE ST	SFR	1.00	197.47	180.72
392-050-010	26209 CHIVE ST	SFR	1.00	197.47	180.72
392-050-011	35495 ICEPLANT LN	SFR	1.00	197.47	180.72
392-050-012	35507 ICEPLANT LN	SFR	1.00	197.47	180.72
392-050-013	35519 ICEPLANT LN	SFR	1.00	197.47	180.72
392-050-014	26225 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-015	26237 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-016	26249 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-017	26261 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-018	26273 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-019	26285 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-020	26297 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-021	26309 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-022	26321 HORSETAIL ST	SFR	1.00	197.47	180.72
392-050-023	26333 HORSETAIL ST	SFR	1.00	197.47	180.72
392-060-001	26527 ALOE WAY	SFR	1.00	197.47	180.72
392-060-002	26515 ALOE WAY	SFR	1.00	197.47	180.72
392-060-003	26503 ALOE WAY	SFR	1.00	197.47	180.72
392-060-004	26491 ALOE WAY	SFR	1.00	197.47	180.72
392-060-005	26479 ALOE WAY	SFR	1.00	197.47	180.72
392-060-006	26467 ALOE WAY	SFR	1.00	197.47	180.72
392-060-007	26455 ALOE WAY	SFR	1.00	197.47	180.72
392-060-008	26443 ALOE WAY	SFR	1.00	197.47	180.72
392-060-009	26431 ALOE WAY	SFR	1.00	197.47	180.72
392-060-010	26419 ALOE WAY	SFR	1.00	197.47	180.72
392-060-011	26407 ALOE WAY	SFR	1.00	197.47	180.72
392-060-012	26395 ALOE WAY	SFR	1.00	197.47	180.72
392-060-013	26467 ABELIA ST	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-060-014	26455 ABELIA ST	SFR	1.00	197.47	180.72
392-060-015	26443 ABELIA ST	SFR	1.00	197.47	180.72
392-060-016	26431 ABELIA ST	SFR	1.00	197.47	180.72
392-060-017	26419 ABELIA ST	SFR	1.00	197.47	180.72
392-060-018	26407 ABELIA ST	SFR	1.00	197.47	180.72
392-060-019	26395 ABELIA ST	SFR	1.00	197.47	180.72
392-060-020	26383 ABELIA ST	SFR	1.00	197.47	180.72
392-060-021	35752 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-022	35764 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-023	35776 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-024	35788 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-025	35800 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-026	35805 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-027	35793 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-028	35781 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-029	35769 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-030	35757 RED LEAF LN	SFR	1.00	197.47	180.72
392-060-031	26345 HORSETAIL ST	SFR	1.00	197.47	180.72
392-060-032	26357 HORSETAIL ST	SFR	1.00	197.47	180.72
392-060-033	26369 HORSETAIL ST	SFR	1.00	197.47	180.72
392-060-034	26381 HORSETAIL ST	SFR	1.00	197.47	180.72
392-060-035	26393 HORSETAIL ST	SFR	1.00	197.47	180.72
392-060-036	26405 HORSETAIL ST	SFR	1.00	197.47	180.72
392-060-037	26417 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-001	26515 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-002	26523 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-003	26531 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-004	26539 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-005	26547 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-006	26555 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-007	26563 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-008	26571 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-009	26579 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-010	26587 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-011	26560 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-012	26552 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-013	26544 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-014	26536 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-015	26528 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-016	26520 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-017	26512 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-018	26504 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-019	26496 MAHONIA WAY	SFR	1.00	197.47	180.72
392-070-020	26503 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-021	26511 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-022	26519 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-023	26527 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-024	26535 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-025	26543 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-026	26551 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-027	26559 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-028	26567 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-029	26575 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-030	26583 CHAMOMILE ST	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-070-031	26591 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-032	26599 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-070-037	26429 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-038	26441 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-039	26453 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-040	26465 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-041	26477 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-042	26489 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-043	26501 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-044	26513 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-045	26525 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-046	26537 HORSETAIL ST	SFR	1.00	197.47	180.72
392-070-047	26528 ABELIA ST	SFR	1.00	197.47	180.72
392-070-048	26516 ABELIA ST	SFR	1.00	197.47	180.72
392-140-001	35605 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-002	35617 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-003	35629 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-004	35641 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-005	35653 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-006	35665 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-007	35677 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-008	35689 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-009	35701 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-010	35713 PECAN TREE LN	SFR	1.00	197.47	180.72
392-140-011	26847 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-012	26835 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-013	26823 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-014	26811 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-015	26799 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-016	26787 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-017	26775 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-018	26763 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-019	26751 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-020	26748 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-021	26760 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-022	26772 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-023	26784 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-024	26796 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-025	26808 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-026	26820 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-140-027	35607 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-028	35619 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-029	35631 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-030	35643 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-031	35655 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-032	35667 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-033	35679 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-034	35691 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-035	35703 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-036	35715 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-037	35706 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-038	35694 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-039	35682 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-140-045	26607 CHAMOMILE ST	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-140-046	26615 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-047	26623 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-048	26631 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-049	26639 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-050	26647 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-051	26655 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-052	26663 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-053	26671 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-054	26679 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-055	26687 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-056	26695 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-057	26703 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-058	26711 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-059	26700 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-060	26688 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-061	26676 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-140-062	26656 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-150-001	35670 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-150-002	35658 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-150-003	35646 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-150-004	35634 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-150-005	35622 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-150-006	35610 PEPPERMINT PL	SFR	1.00	197.47	180.72
392-150-007	26910 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-008	26922 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-009	27027 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-012	26991 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-013	26979 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-014	26967 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-015	26955 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-016	26943 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-017	26931 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-018	26919 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-019	26907 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-020	26895 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-021	26883 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-022	26871 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-030	27015 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-150-031	27003 LEMON GRASS WAY	SFR	1.00	197.47	180.72
392-160-002	26930 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-003	26942 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-004	26954 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-005	26966 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-006	26978 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-007	26990 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-008	27002 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-009	26863 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-010	26855 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-011	26847 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-012	26839 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-013	26831 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-014	26823 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-015	26815 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-016	26807 CHAMOMILE ST	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-160-017	26799 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-018	26791 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-019	26783 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-020	26775 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-021	26767 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-022	26759 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-023	26751 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-024	26743 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-025	26735 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-026	26727 CHAMOMILE ST	SFR	1.00	197.47	180.72
392-160-027	26724 GOLDEN CUP CT	SFR	1.00	197.47	180.72
392-160-028	26732 GOLDEN CUP CT	SFR	1.00	197.47	180.72
392-160-029	26740 GOLDEN CUP CT	SFR	1.00	197.47	180.72
392-160-030	26748 GOLDEN CUP CT	SFR	1.00	197.47	180.72
392-160-031	26772 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-032	26780 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-033	26788 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-034	26796 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-035	26804 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-036	26812 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-037	26820 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-038	26828 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-039	26836 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-040	26844 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-041	26852 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-042	26860 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-043	26868 DESERT LOCUS ST	SFR	1.00	197.47	180.72
392-160-050	35527 CORAL GUM AVE	SFR	1.00	197.47	180.72
392-160-051	35539 CORAL GUM AVE	SFR	1.00	197.47	180.72
392-160-052	35551 CORAL GUM AVE	SFR	1.00	197.47	180.72
392-160-053	27055 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-054	27067 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-055	27079 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-056	27091 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-057	27103 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-058	27115 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-059	27127 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-060	27139 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-160-061	2846 MARIE DR	SFR	1.00	197.47	180.72
392-160-063	27122 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-066	27086 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-067	27074 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-068	27062 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-069	27050 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-070	27021 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-071	27033 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-072	27045 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-073	27057 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-074	27069 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-075	27081 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-076	27093 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-077	27105 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-078	27117 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-079	27129 PUMPKIN ST	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-160-080	27122 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-081	27110 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-082	27098 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-083	27086 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-084	27074 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-085	27062 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-086	27050 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-087	27038 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-088	27026 PUMPKIN ST	SFR	1.00	197.47	180.72
392-160-092	27110 RED MAPLE ST	SFR	1.00	197.47	180.72
392-160-093	27098 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-001	27131 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-002	27143 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-003	27155 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-004	27167 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-005	27179 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-006	27191 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-007	27203 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-008	27215 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-009	27227 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-010	27239 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-011	27230 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-012	27218 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-013	27206 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-014	27194 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-015	27182 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-016	27170 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-017	27158 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-018	27146 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-019	27134 RED MAPLE ST	SFR	1.00	197.47	180.72
392-170-020	27141 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-021	27153 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-022	27165 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-023	27177 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-024	27189 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-025	27201 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-026	27213 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-027	27225 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-028	27206 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-029	27194 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-030	27182 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-031	27170 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-032	27158 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-033	27146 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-034	27134 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-035	27404 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-036	27392 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-037	27380 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-038	27368 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-039	27356 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-040	27344 PUMPKIN ST	SFR	1.00	197.47	180.72
392-170-041	35503 CRABAPPLE ST	SFR	1.00	197.47	180.72
392-170-042	35515 CRABAPPLE ST	SFR	1.00	197.47	180.72
392-170-043	35527 CRABAPPLE ST	SFR	1.00	197.47	180.72

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-170-044	35491 CRABAPPLE ST	SFR	1.00	197.47	180.72
392-170-049	27249 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-050	27237 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-051	27225 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-052	27213 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-053	27201 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-054	27189 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-055	27177 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-056	27165 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-057	27166 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-058	27178 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-170-059	27190 VINCA CT	SFR	1.00	197.47	180.72
392-170-060	27202 VINCA CT	SFR	1.00	197.47	180.72
392-170-061	27214 VINCA CT	SFR	1.00	197.47	180.72
392-170-062	27226 VINCA CT	SFR	1.00	197.47	180.72
392-170-063	27238 VINCA CT	SFR	1.00	197.47	180.72
392-170-064	27250 VINCA CT	SFR	1.00	197.47	180.72
392-170-065	NO SITUS AVAILABLE	SFR	1.00	197.47	180.72
392-170-066	27208 BLACK ALDER CT	SFR	1.00	197.47	180.72
392-170-067	27216 BLACK ALDER CT	SFR	1.00	197.47	180.72
392-170-068	27224 BLACK ALDER CT	SFR	1.00	197.47	180.72
392-170-069	27212 WOODROSE CT	SFR	1.00	197.47	180.72
392-170-070	27220 WOODROSE CT	SFR	1.00	197.47	180.72
392-170-071	27228 WOODROSE CT	SFR	1.00	197.47	180.72
392-170-072	27236 WOODROSE CT	SFR	1.00	197.47	180.72
392-170-073	27244 WOODROSE CT	SFR	1.00	197.47	180.72
392-170-074	27252 WOODROSE CT	SFR	1.00	197.47	180.72
392-170-075	27260 WOODROSE CT	SFR	1.00	197.47	180.72
392-170-082	26866 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-083	26874 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-084	26882 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-085	26883 AUBRIETA ST	SFR	1.00	197.47	180.72
392-170-086	26891 AUBRIETA ST	SFR	1.00	197.47	180.72
392-170-087	26899 AUBRIETA ST	SFR	1.00	197.47	180.72
392-170-088	26875 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-089	26867 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-090	26851 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-091	26859 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-092	26843 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-093	26835 ORCHID TREE AVE	SFR	1.00	197.47	180.72
392-170-094	27261 TREE ROSE AVE	SFR	1.00	197.47	180.72
392-180-002	26990 PUMPKIN ST	SFR	1.00	197.47	180.72
392-180-003	27002 PUMPKIN ST	SFR	1.00	197.47	180.72
392-180-004	27014 PUMPKIN ST	SFR	1.00	197.47	180.72
392-190-001	27271 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-002	27283 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-003	27295 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-004	27307 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-005	27319 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-006	27331 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-007	27343 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-008	27355 TREFOIL ST	SFR	1.00	197.47	180.72
392-190-009	27345 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-190-010	27333 RUBY GRASS CT	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-190-011	27321 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-190-012	27309 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-190-013	27297 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-190-014	27285 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-200-001	27335 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-002	27347 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-003	27359 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-004	27371 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-005	27383 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-006	27395 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-007	27407 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-008	27419 PUMPKIN ST	SFR	1.00	197.47	180.72
392-200-009	27606 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-010	27594 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-011	27582 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-012	27570 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-013	27558 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-014	27546 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-015	27534 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-016	27522 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-017	27510 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-018	27498 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-019	27486 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-020	27474 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-021	27469 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-022	27481 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-023	27493 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-024	27505 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-025	27517 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-026	27529 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-027	27541 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-028	27553 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-029	27565 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-030	27577 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-031	27589 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-032	27601 FERN PINE WAY	SFR	1.00	197.47	180.72
392-200-033	27523 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-034	27511 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-035	27499 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-036	27487 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-037	27475 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-038	27463 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-039	27451 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-040	27439 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-041	27427 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-042	27415 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-043	27403 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-044	27379 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-045	27367 TREFOIL ST	SFR	1.00	197.47	180.72
392-200-046	27357 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-200-047	27369 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-200-048	27381 RUBY GRASS CT	SFR	1.00	197.47	180.72
392-200-049	27390 BENT GRASS AVE	SFR	1.00	197.47	180.72
392-200-050	27402 BENT GRASS AVE	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-200-051	27500 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-052	27488 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-053	27476 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-054	27464 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-055	27452 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-056	27440 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-057	27428 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-058	27416 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-059	27404 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-060	27392 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-061	27368 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-062	27356 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-063	NO SITUS AVAILABLE	SFR	1.00	197.47	180.72
392-200-064	27332 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-065	27320 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-066	27308 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-067	27296 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-068	27329 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-069	27341 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-070	NO SITUS AVAILABLE	SFR	1.00	197.47	180.72
392-200-071	27365 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-072	NO SITUS AVAILABLE	SFR	1.00	197.47	180.72
392-200-073	27389 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-074	27401 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-075	27413 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-200-076	27425 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-210-001	27163 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-002	27175 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-003	27187 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-004	27199 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-005	27211 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-006	27223 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-007	27182 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-008	27170 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-009	27158 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-010	27146 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-011	27134 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-012	27122 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-013	27110 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-014	27098 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-015	27086 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-016	27074 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-017	27062 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-018	27050 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-019	27038 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-020	27026 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-021	27014 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-022	27002 TUBE ROSE ST	SFR	1.00	197.47	180.72
392-210-023	27157 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-024	27169 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-025	27181 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-026	27193 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-027	27205 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-028	27217 WHITE ALDER CT	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-210-029	27229 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-030	27226 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-031	27214 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-032	27202 WHITE ALDER CT	SFR	1.00	197.47	180.72
392-210-037	35440 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-038	35452 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-039	35464 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-040	35476 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-041	35488 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-042	35500 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-043	35512 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-044	35525 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-045	35537 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-046	35549 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-047	35561 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-048	35573 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-049	35585 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-050	35597 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-051	35609 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-052	35621 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-053	35633 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-054	35645 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-055	35657 CORNFLOWER PL	SFR	1.00	197.47	180.72
392-210-056	35703 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-057	35691 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-058	35679 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-059	35667 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-060	35655 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-061	35643 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-062	35631 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-063	35619 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-064	35607 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-065	35595 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-066	35583 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-067	35571 BOWERVINE PL	SFR	1.00	197.47	180.72
392-210-068	35531 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-069	35519 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-070	NO SITUS AVAILABLE	SFR	1.00	197.47	180.72
392-210-071	35495 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-072	35483 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-073	35471 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-074	35459 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-075	35447 SUMAC AVE	SFR	1.00	197.47	180.72
392-210-076	35435 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-001	35380 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-002	35392 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-003	35404 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-004	35416 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-005	35428 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-006	35423 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-007	35411 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-008	35399 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-009	35387 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-010	35375 SUMAC AVE	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-240-011	35363 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-012	35351 SUMAC AVE	SFR	1.00	197.47	180.72
392-240-016	27640 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-017	27652 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-018	27664 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-019	27676 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-020	27688 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-021	27700 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-022	27712 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-023	27724 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-024	27736 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-025	27748 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-026	27760 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-027	27772 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-028	27784 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-029	27796 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-030	27808 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-031	27811 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-034	27775 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-035	27763 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-036	27751 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-037	27739 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-038	27727 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-039	27715 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-040	27703 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-041	27691 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-042	27665 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-043	27653 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-044	27644 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-045	27629 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-046	27617 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-047	27605 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-048	27593 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-049	27581 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-050	27569 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-051	27557 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-052	27545 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-053	27533 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-054	27521 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-055	27509 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-056	27497 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-057	27485 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-058	27473 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-059	27471 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-060	27483 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-061	27495 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-062	27507 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-063	27519 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-064	27531 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-065	27543 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-066	27555 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-067	27567 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-068	27579 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-069	27591 PAPER BARK AVE	SFR	1.00	197.47	180.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 15 (Greer Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-240-070	27603 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-071	27615 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-072	27627 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-073	27639 PAPER BARK AVE	SFR	1.00	197.47	180.72
392-240-074	27684 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-075	27696 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-076	27708 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-077	27720 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-078	27732 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-079	27744 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-080	27756 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-081	27768 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-082	27780 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-083	27792 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-084	27789 ELDERBERRY AVE	SFR	1.00	197.47	180.72
392-240-085	27777 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-086	27765 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-087	27753 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-088	27741 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-089	27729 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-090	27717 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-091	27705 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-092	27693 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-093	27681 ELDERBERRY ST	SFR	1.00	197.47	180.72
392-240-096	27799 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-240-097	27787 BOTTLE BRUSH WAY	SFR	1.00	197.47	180.72
392-440-001	35610 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-002	35622 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-003	35634 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-004	35646 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-005	35658 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-006	35670 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-007	35682 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-008	35694 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-009	35706 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-010	35718 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-011	35730 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-012	35742 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-013	35754 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-014	35766 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-015	35778 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-016	35790 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-018	35645 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-019	35633 CHERRY BARK WAY	SFR	1.00	197.47	180.72
392-440-026	35802 CHERRY BARK WAY	SFR	1.00	197.47	180.72
Total			693.00	\$136,849.20	\$125,238.96
Parcels					693

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-140-001	33653 AZALEA LN	SFR	1.00	\$782.69	\$695.42
388-140-002	33645 AZALEA LN	SFR	1.00	782.69	695.42
388-140-003	33637 AZALEA LN	SFR	1.00	782.69	695.42
388-140-004	33629 AZALEA LN	SFR	1.00	782.69	695.42
388-140-005	33621 AZALEA LN	SFR	1.00	782.69	695.42
388-140-006	33613 AZALEA LN	SFR	1.00	782.69	695.42
388-140-007	33605 AZALEA LN	SFR	1.00	782.69	695.42
388-140-008	33597 AZALEA LN	SFR	1.00	782.69	695.42
388-140-009	33589 AZALEA LN	SFR	1.00	782.69	695.42
388-140-010	33581 AZALEA LN	SFR	1.00	782.69	695.42
388-140-011	33573 AZALEA LN	SFR	1.00	782.69	695.42
388-140-012	33565 AZALEA LN	SFR	1.00	782.69	695.42
388-140-013	33557 AZALEA LN	SFR	1.00	782.69	695.42
388-140-014	33549 AZALEA LN	SFR	1.00	782.69	695.42
388-140-015	33541 AZALEA LN	SFR	1.00	782.69	695.42
388-140-016	33533 AZALEA LN	SFR	1.00	782.69	695.42
388-140-017	33544 AZALEA LN	SFR	1.00	782.69	695.42
388-140-018	33552 AZALEA LN	SFR	1.00	782.69	695.42
388-140-019	33560 AZALEA LN	SFR	1.00	782.69	695.42
388-140-020	33568 AZALEA LN	SFR	1.00	782.69	695.42
388-140-021	33576 AZALEA LN	SFR	1.00	782.69	695.42
388-140-022	33589 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-023	33581 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-024	33573 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-025	33565 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-026	33564 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-027	33572 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-028	33580 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-029	33588 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-030	33596 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-031	33604 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-032	33612 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-033	33620 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-034	33628 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-035	33636 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-036	33644 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-140-037	33635 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-038	33627 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-039	33619 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-040	33611 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-041	33603 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-042	33595 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-043	33587 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-044	33579 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-045	33571 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-046	33563 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-047	33562 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-048	33570 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-049	33578 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-050	33586 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-051	33594 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-052	33602 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-053	33610 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-140-054	33618 DELPHINIUM LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-140-055	33626 DELPHINIUM LN	SFR	1.00	782.69	695.42
388-141-001	33592 AZALEA LN	SFR	1.00	782.69	695.42
388-141-002	33600 AZALEA LN	SFR	1.00	782.69	695.42
388-141-003	33608 AZALEA LN	SFR	1.00	782.69	695.42
388-141-004	33616 AZALEA LN	SFR	1.00	782.69	695.42
388-141-005	33624 AZALEA LN	SFR	1.00	782.69	695.42
388-141-006	33632 AZALEA LN	SFR	1.00	782.69	695.42
388-141-007	33640 AZALEA LN	SFR	1.00	782.69	695.42
388-141-008	33648 AZALEA LN	SFR	1.00	782.69	695.42
388-141-009	33653 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-141-010	33645 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-141-011	33637 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-141-012	33629 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-141-013	33621 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-141-014	33613 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-141-015	33605 CYCLAMEN LN	SFR	1.00	782.69	695.42
388-150-001	28307 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-150-002	28295 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-150-003	28283 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-150-004	28271 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-150-005	28259 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-150-006	28247 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-150-007	28235 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-151-001	28240 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-151-002	28252 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-151-003	28264 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-151-004	28276 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-151-005	28288 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-151-006	28300 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-151-007	28267 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-008	28279 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-009	28291 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-010	28303 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-011	28315 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-012	28327 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-013	28339 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-014	28351 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-016	28344 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-017	28332 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-018	28320 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-019	28308 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-020	28296 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-021	28284 AGAVE WAY	SFR	1.00	782.69	695.42
388-151-022	28272 AGAVE WAY	SFR	1.00	782.69	695.42
388-152-001	28216 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-002	28204 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-003	28192 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-004	28180 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-005	28168 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-006	28156 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-007	28151 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-008	28163 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-009	28175 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-010	28187 AMARYLISS WAY	SFR	1.00	782.69	695.42

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-152-011	28199 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-152-012	28211 AMARYLISS WAY	SFR	1.00	782.69	695.42
388-160-001	28298 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-160-002	28310 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-160-003	28322 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-160-004	28329 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-160-005	28317 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-160-006	28305 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-001	28293 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-002	28281 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-003	28269 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-004	28257 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-005	28245 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-006	28233 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-007	28221 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-008	28209 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-009	28197 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-010	28202 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-011	28214 BASSWOOD WAY	SFR	1.00	782.69	695.42
388-161-012	33865 BEGONIA PL	SFR	1.00	782.69	695.42
388-161-013	33877 BEGONIA PL	SFR	1.00	782.69	695.42
388-161-014	33889 BEGONIA PL	SFR	1.00	782.69	695.42
388-161-015	33886 BEGONIA PL	SFR	1.00	782.69	695.42
388-161-016	33874 BEGONIA PL	SFR	1.00	782.69	695.42
388-161-017	33862 BEGONIA PL	SFR	1.00	782.69	695.42
388-161-018	33847 CARAWAY PL	SFR	1.00	782.69	695.42
388-161-019	33859 CARAWAY PL	SFR	1.00	782.69	695.42
388-161-020	33871 CARAWAY PL	SFR	1.00	782.69	695.42
388-161-021	33874 CARAWAY PL	SFR	1.00	782.69	695.42
388-161-022	33862 CARAWAY PL	SFR	1.00	782.69	695.42
388-161-023	33850 CARAWAY PL	SFR	1.00	782.69	695.42
388-161-024	28248 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-025	28236 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-026	28224 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-027	28212 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-028	28200 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-029	28188 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-030	28176 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-031	28164 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-032	28171 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-033	28183 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-034	28195 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-035	28207 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-036	28219 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-037	28231 AGAVE WAY	SFR	1.00	782.69	695.42
388-161-038	28243 AGAVE WAY	SFR	1.00	782.69	695.42
388-170-001	33613 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-002	33605 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-003	33597 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-004	33589 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-005	33581 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-006	33573 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-007	33565 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-008	33557 EUGENIA LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
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(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-170-009	33558 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-010	33566 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-011	33574 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-012	33582 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-013	33590 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-014	33598 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-015	33606 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-016	33614 EUGENIA LN	SFR	1.00	782.69	695.42
388-170-017	28451 FICUS CT	SFR	1.00	782.69	695.42
388-170-018	28443 FICUS CT	SFR	1.00	782.69	695.42
388-170-019	28435 FICUS CT	SFR	1.00	782.69	695.42
388-170-020	28428 FICUS CT	SFR	1.00	782.69	695.42
388-170-021	28446 FICUS CT	SFR	1.00	782.69	695.42
388-170-022	28545 FICUS CT	SFR	1.00	782.69	695.42
388-170-023	33571 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-024	33563 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-025	33560 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-026	33568 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-027	33576 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-028	33584 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-029	33592 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-030	33600 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-170-031	33608 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-001	33627 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-002	33635 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-003	33643 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-004	33651 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-005	33654 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-006	33646 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-007	33638 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-008	33630 EUGENIA LN	SFR	1.00	782.69	695.42
388-171-009	33627 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-010	33635 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-011	33643 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-012	33651 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-013	33659 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-014	33667 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-015	33675 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-016	33683 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-017	33688 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-018	33680 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-019	33672 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-020	33664 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-021	33656 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-022	33648 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-023	33640 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-024	33632 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-171-025	33624 HONEYSUCKLE LN	SFR	1.00	782.69	695.42
388-180-001	28535 HELIOTROPE CT	SFR	1.00	782.69	695.42
388-180-002	28523 HELIOTROPE CT	SFR	1.00	782.69	695.42
388-180-003	28511 HELIOTROPE CT	SFR	1.00	782.69	695.42
388-180-004	28508 HELIOTROPE CT	SFR	1.00	782.69	695.42
388-180-005	28520 HELIOTROPE CT	SFR	1.00	782.69	695.42
388-180-006	33565 IRIS LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-180-007	33553 IRIS LN	SFR	1.00	782.69	695.42
388-180-008	33541 IRIS LN	SFR	1.00	782.69	695.42
388-180-009	33529 IRIS LN	SFR	1.00	782.69	695.42
388-180-010	33517 IRIS LN	SFR	1.00	782.69	695.42
388-180-011	33534 IRIS LN	SFR	1.00	782.69	695.42
388-180-012	33546 IRIS LN	SFR	1.00	782.69	695.42
388-180-013	33558 IRIS LN	SFR	1.00	782.69	695.42
388-180-014	33570 IRIS LN	SFR	1.00	782.69	695.42
388-180-015	33582 IRIS LN	SFR	1.00	782.69	695.42
388-180-016	33594 IRIS LN	SFR	1.00	782.69	695.42
388-180-017	33606 IRIS LN	SFR	1.00	782.69	695.42
388-180-018	33618 IRIS LN	SFR	1.00	782.69	695.42
388-180-019	33630 IRIS LN	SFR	1.00	782.69	695.42
388-180-020	33637 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-021	33625 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-022	33613 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-023	33601 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-024	33589 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-025	33577 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-026	33565 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-027	33553 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-028	33541 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-029	33542 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-030	33554 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-031	33566 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-032	33578 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-033	33590 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-034	33602 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-035	33614 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-036	33626 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-037	33638 MARIGOLD LN	SFR	1.00	782.69	695.42
388-180-038	33641 NANDINA LN	SFR	1.00	782.69	695.42
388-180-039	33629 NANDINA LN	SFR	1.00	782.69	695.42
388-180-040	33617 NANDINA LN	SFR	1.00	782.69	695.42
388-180-041	33605 NANDINA LN	SFR	1.00	782.69	695.42
388-180-042	33593 NANDINA LN	SFR	1.00	782.69	695.42
388-180-043	33581 NANDINA LN	SFR	1.00	782.69	695.42
388-180-044	33569 NANDINA LN	SFR	1.00	782.69	695.42
388-180-045	33557 NANDINA LN	SFR	1.00	782.69	695.42
388-180-046	33545 NANDINA LN	SFR	1.00	782.69	695.42
388-180-047	33544 NANDINA LN	SFR	1.00	782.69	695.42
388-180-048	33556 NANDINA LN	SFR	1.00	782.69	695.42
388-180-049	33568 NANDINA LN	SFR	1.00	782.69	695.42
388-180-050	33580 NANDINA LN	SFR	1.00	782.69	695.42
388-180-051	33592 NANDINA LN	SFR	1.00	782.69	695.42
388-180-052	33604 NANDINA LN	SFR	1.00	782.69	695.42
388-180-053	33616 NANDINA LN	SFR	1.00	782.69	695.42
388-180-054	33628 NANDINA LN	SFR	1.00	782.69	695.42
388-180-055	33640 NANDINA LN	SFR	1.00	782.69	695.42
388-180-056	33631 POPPY LN	SFR	1.00	782.69	695.42
388-180-057	33619 POPPY LN	SFR	1.00	782.69	695.42
388-180-058	33607 POPPY LN	SFR	1.00	782.69	695.42
388-180-059	33595 POPPY LN	SFR	1.00	782.69	695.42
388-180-060	33583 POPPY LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-180-061	33571 POPPY LN	SFR	1.00	782.69	695.42
388-180-062	33559 POPPY LN	SFR	1.00	782.69	695.42
388-180-063	33547 POPPY LN	SFR	1.00	782.69	695.42
388-180-064	33542 POPPY LN	SFR	1.00	782.69	695.42
388-180-065	33554 POPPY LN	SFR	1.00	782.69	695.42
388-180-066	33566 POPPY LN	SFR	1.00	782.69	695.42
388-180-067	33578 POPPY LN	SFR	1.00	782.69	695.42
388-180-068	33590 POPPY LN	SFR	1.00	782.69	695.42
388-180-069	33602 POPPY LN	SFR	1.00	782.69	695.42
388-180-070	33614 POPPY LN	SFR	1.00	782.69	695.42
388-180-071	33626 POPPY LN	SFR	1.00	782.69	695.42
388-190-001	28534 LILAC CT	SFR	1.00	782.69	695.42
388-190-002	28522 LILAC CT	SFR	1.00	782.69	695.42
388-190-003	28510 LILAC CT	SFR	1.00	782.69	695.42
388-190-004	28507 LILAC CT	SFR	1.00	782.69	695.42
388-190-005	28519 LILAC CT	SFR	1.00	782.69	695.42
388-190-006	28531 LILAC CT	SFR	1.00	782.69	695.42
388-190-007	33707 IRIS LN	SFR	1.00	782.69	695.42
388-190-008	33719 IRIS LN	SFR	1.00	782.69	695.42
388-190-009	33731 IRIS LN	SFR	1.00	782.69	695.42
388-190-010	28555 LUNARIA CT	SFR	1.00	782.69	695.42
388-190-011	28567 LUNARIA CT	SFR	1.00	782.69	695.42
388-190-012	28579 LUNARIA CT	SFR	1.00	782.69	695.42
388-190-013	28591 LUNARIA CT	SFR	1.00	782.69	695.42
388-190-014	28603 LUNARIA CT	SFR	1.00	782.69	695.42
388-190-015	33730 MARIGOLD LN	SFR	1.00	782.69	695.42
388-190-016	33718 MARIGOLD LN	SFR	1.00	782.69	695.42
388-190-017	33706 MARIGOLD LN	SFR	1.00	782.69	695.42
388-190-018	33694 MARIGOLD LN	SFR	1.00	782.69	695.42
388-190-019	33682 MARIGOLD LN	SFR	1.00	782.69	695.42
388-190-020	33670 MARIGOLD LN	SFR	1.00	782.69	695.42
388-190-021	33658 MARIGOLD LN	SFR	1.00	782.69	695.42
388-190-022	33665 NANDINA LN	SFR	1.00	782.69	695.42
388-190-023	33677 NANDINA LN	SFR	1.00	782.69	695.42
388-190-024	33689 NANDINA LN	SFR	1.00	782.69	695.42
388-190-025	33701 NANDINA LN	SFR	1.00	782.69	695.42
388-190-026	33713 NANDINA LN	SFR	1.00	782.69	695.42
388-190-027	33725 NANDINA LN	SFR	1.00	782.69	695.42
388-190-028	33737 NANDINA LN	SFR	1.00	782.69	695.42
388-190-029	33726 NANDINA LN	SFR	1.00	782.69	695.42
388-190-030	33714 NANDINA LN	SFR	1.00	782.69	695.42
388-190-031	33702 NANDINA LN	SFR	1.00	782.69	695.42
388-190-032	33690 NANDINA LN	SFR	1.00	782.69	695.42
388-190-033	33678 NANDINA LN	SFR	1.00	782.69	695.42
388-190-034	33666 NANDINA LN	SFR	1.00	782.69	695.42
388-190-035	33661 POPPY LN	SFR	1.00	782.69	695.42
388-190-036	33673 POPPY LN	SFR	1.00	782.69	695.42
388-190-037	33685 POPPY LN	SFR	1.00	782.69	695.42
388-190-038	33697 POPPY LN	SFR	1.00	782.69	695.42
388-190-039	33709 POPPY LN	SFR	1.00	782.69	695.42
388-190-040	33721 POPPY LN	SFR	1.00	782.69	695.42
388-190-041	33722 POPPY LN	SFR	1.00	782.69	695.42
388-190-042	33710 POPPY LN	SFR	1.00	782.69	695.42
388-190-043	33698 POPPY LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
Preliminary Assessment Roll
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-190-044	33686 POPPY LN	SFR	1.00	782.69	695.42
388-190-045	33674 POPPY LN	SFR	1.00	782.69	695.42
388-190-046	33662 POPPY LN	SFR	1.00	782.69	695.42
388-190-047	33650 POPPY LN	SFR	1.00	782.69	695.42
388-191-001	33668 IRIS LN	SFR	1.00	782.69	695.42
388-191-002	33680 IRIS LN	SFR	1.00	782.69	695.42
388-191-003	33692 IRIS LN	SFR	1.00	782.69	695.42
388-191-004	33704 IRIS LN	SFR	1.00	782.69	695.42
388-191-005	33716 IRIS LN	SFR	1.00	782.69	695.42
388-191-006	33707 MARIGOLD LN	SFR	1.00	782.69	695.42
388-191-007	33695 MARIGOLD LN	SFR	1.00	782.69	695.42
388-191-008	33683 MARIGOLD LN	SFR	1.00	782.69	695.42
388-191-009	33671 MARIGOLD LN	SFR	1.00	782.69	695.42
388-191-010	33659 MARIGOLD LN	SFR	1.00	782.69	695.42
388-200-001	28365 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-002	28353 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-003	28341 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-004	28329 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-005	28317 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-006	28305 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-007	28293 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-008	28281 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-009	28269 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-010	28257 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-011	28252 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-012	28264 DAFFODIL WAY	SFR	1.00	782.69	695.42
388-200-013	33957 FENNEL PL	SFR	1.00	782.69	695.42
388-200-014	33969 FENNEL PL	SFR	1.00	782.69	695.42
388-200-015	33981 FENNEL PL	SFR	1.00	782.69	695.42
388-200-016	33988 FENNEL PL	SFR	1.00	782.69	695.42
388-200-017	33976 FENNEL PL	SFR	1.00	782.69	695.42
388-200-018	33964 FENNEL PL	SFR	1.00	782.69	695.42
388-200-019	33952 FENNEL PL	SFR	1.00	782.69	695.42
388-200-020	33929 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-021	33941 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-022	33953 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-023	33965 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-024	33977 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-025	33972 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-026	33960 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-027	33948 IMPATIEN PL	SFR	1.00	782.69	695.42
388-200-028	33936 IMPATIEN PL	SFR	1.00	782.69	695.42
388-210-001	33955 INDIGO PL	SFR	1.00	782.69	695.42
388-210-002	33967 INDIGO PL	SFR	1.00	782.69	695.42
388-210-003	33979 INDIGO PL	SFR	1.00	782.69	695.42
388-210-004	33991 INDIGO PL	SFR	1.00	782.69	695.42
388-210-005	33998 INDIGO PL	SFR	1.00	782.69	695.42
388-210-006	33986 INDIGO PL	SFR	1.00	782.69	695.42
388-210-007	33974 INDIGO PL	SFR	1.00	782.69	695.42
388-210-008	33962 INDIGO PL	SFR	1.00	782.69	695.42
388-210-009	33950 INDIGO PL	SFR	1.00	782.69	695.42
388-210-010	33937 NASTURTIIUM LN	SFR	1.00	782.69	695.42
388-210-011	33949 NASTURTIIUM LN	SFR	1.00	782.69	695.42
388-210-012	33961 NASTURTIIUM LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
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Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-210-013	33973 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-014	33985 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-015	33997 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-016	33990 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-017	33978 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-018	33966 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-019	33954 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-020	33942 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-021	33930 NASTURTIUM LN	SFR	1.00	782.69	695.42
388-210-022	33892 SALVIA LN	SFR	1.00	782.69	695.42
388-210-023	33884 SALVIA LN	SFR	1.00	782.69	695.42
388-210-024	33876 SALVIA LN	SFR	1.00	782.69	695.42
388-210-025	33868 SALVIA LN	SFR	1.00	782.69	695.42
388-210-026	33860 SALVIA LN	SFR	1.00	782.69	695.42
388-210-027	33852 SALVIA LN	SFR	1.00	782.69	695.42
388-210-028	33844 SALVIA LN	SFR	1.00	782.69	695.42
388-210-029	33836 SALVIA LN	SFR	1.00	782.69	695.42
388-210-030	33828 SALVIA LN	SFR	1.00	782.69	695.42
388-210-031	33820 SALVIA LN	SFR	1.00	782.69	695.42
388-210-032	33812 SALVIA LN	SFR	1.00	782.69	695.42
388-210-033	33804 SALVIA LN	SFR	1.00	782.69	695.42
388-210-034	33796 SALVIA LN	SFR	1.00	782.69	695.42
388-210-035	33788 SALVIA LN	SFR	1.00	782.69	695.42
388-210-036	33780 SALVIA LN	SFR	1.00	782.69	695.42
388-211-001	33938 VINCA LN	SFR	1.00	782.69	695.42
388-211-002	33873 SALVIA LN	SFR	1.00	782.69	695.42
388-211-003	33865 SALVIA LN	SFR	1.00	782.69	695.42
388-211-004	33857 SALVIA LN	SFR	1.00	782.69	695.42
388-211-005	33793 SALVIA LN	SFR	1.00	782.69	695.42
388-211-006	33785 SALVIA LN	SFR	1.00	782.69	695.42
388-211-007	33777 SALVIA LN	SFR	1.00	782.69	695.42
388-220-001	33772 SALVIA LN	SFR	1.00	782.69	695.42
388-220-002	33764 SALVIA LN	SFR	1.00	782.69	695.42
388-220-003	33756 SALVIA LN	SFR	1.00	782.69	695.42
388-220-004	33748 SALVIA LN	SFR	1.00	782.69	695.42
388-220-005	33740 SALVIA LN	SFR	1.00	782.69	695.42
388-220-006	33732 SALVIA LN	SFR	1.00	782.69	695.42
388-220-007	33724 SALVIA LN	SFR	1.00	782.69	695.42
388-220-008	33716 SALVIA LN	SFR	1.00	782.69	695.42
388-220-009	33708 SALVIA LN	SFR	1.00	782.69	695.42
388-220-010	33700 SALVIA LN	SFR	1.00	782.69	695.42
388-220-011	33692 SALVIA LN	SFR	1.00	782.69	695.42
388-220-012	33684 SALVIA LN	SFR	1.00	782.69	695.42
388-220-013	33691 SALVIA LN	SFR	1.00	782.69	695.42
388-220-014	33699 SALVIA LN	SFR	1.00	782.69	695.42
388-220-015	28834 TULIP PL	SFR	1.00	782.69	695.42
388-220-016	28822 TULIP PL	SFR	1.00	782.69	695.42
388-220-017	28810 TULIP PL	SFR	1.00	782.69	695.42
388-221-001	33847 VINCA LN	SFR	1.00	782.69	695.42
388-221-002	33859 VINCA LN	SFR	1.00	782.69	695.42
388-221-003	33871 VINCA LN	SFR	1.00	782.69	695.42
388-221-004	33883 VINLA LN	SFR	1.00	782.69	695.42
388-221-005	33895 VINCA LN	SFR	1.00	782.69	695.42
388-221-006	33907 VINCA LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-221-007	33919 VINCA LN	SFR	1.00	782.69	695.42
388-221-008	33931 VINCA LN	SFR	1.00	782.69	695.42
388-222-001	33769 SALVIA LN	SFR	1.00	782.69	695.42
388-222-002	33761 SALVIA LN	SFR	1.00	782.69	695.42
388-222-003	33753 SALVIA LN	SFR	1.00	782.69	695.42
388-222-004	33745 SALVIA LN	SFR	1.00	782.69	695.42
388-222-005	33737 SALVIA LN	SFR	1.00	782.69	695.42
388-222-006	33729 SALVIA LN	SFR	1.00	782.69	695.42
388-222-007	33721 SALVIA LN	SFR	1.00	782.69	695.42
388-222-008	33713 SALVIA LN	SFR	1.00	782.69	695.42
388-222-009	33842 VINCA LN	SFR	1.00	782.69	695.42
388-222-010	33854 VINCA LN	SFR	1.00	782.69	695.42
388-222-011	33866 VINCA LN	SFR	1.00	782.69	695.42
388-222-012	33878 VINCA LN	SFR	1.00	782.69	695.42
388-222-013	33890 VINCA LN	SFR	1.00	782.69	695.42
388-222-014	33902 VINCA LN	SFR	1.00	782.69	695.42
388-222-015	33914 VINCA LN	SFR	1.00	782.69	695.42
388-222-016	33926 VINCA LN	SFR	1.00	782.69	695.42
388-230-001	33651 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-002	33663 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-003	33675 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-004	33687 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-005	33699 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-006	33711 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-007	33723 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-008	33735 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-010	33712 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-011	33700 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-012	33688 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-013	33676 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-014	33664 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-015	33652 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-016	33640 SHAMROCK LN	SFR	1.00	782.69	695.42
388-230-017	33635 THYME LN	SFR	1.00	782.69	695.42
388-230-018	33647 THYME LN	SFR	1.00	782.69	695.42
388-230-019	33659 THYME LN	SFR	1.00	782.69	695.42
388-230-020	33671 THYME LN	SFR	1.00	782.69	695.42
388-230-021	33683 THYME LN	SFR	1.00	782.69	695.42
388-230-022	33695 THYME LN	SFR	1.00	782.69	695.42
388-230-023	33707 THYME LN	SFR	1.00	782.69	695.42
388-230-024	33719 THYME LN	SFR	1.00	782.69	695.42
388-230-027	33720 THYME LN	SFR	1.00	782.69	695.42
388-230-028	33708 THYME LN	SFR	1.00	782.69	695.42
388-230-029	33696 THYME LN	SFR	1.00	782.69	695.42
388-230-030	33684 THYME LN	SFR	1.00	782.69	695.42
388-230-031	28947 VIOLET CT	SFR	1.00	782.69	695.42
388-230-032	28959 VIOLET CT	SFR	1.00	782.69	695.42
388-230-033	28971 VIOLET CT	SFR	1.00	782.69	695.42
388-230-034	28983 VIOLET CT	SFR	1.00	782.69	695.42
388-230-035	28980 VIOLET CT	SFR	1.00	782.69	695.42
388-230-036	28968 VIOLET CT	SFR	1.00	782.69	695.42
388-230-037	28956 VIOLET CT	SFR	1.00	782.69	695.42
388-230-038	28944 VIOLET CT	SFR	1.00	782.69	695.42
388-230-045	33744 THYME LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-230-046	33732 THYME LN	SFR	1.00	782.69	695.42
388-230-047	33724 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-001	33617 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-002	33605 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-003	33593 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-004	33581 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-005	33569 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-006	33557 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-007	33545 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-008	33554 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-009	33566 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-010	33578 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-011	33590 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-012	33602 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-013	33614 SHAMROCK LN	SFR	1.00	782.69	695.42
388-240-014	33613 THYME LN	SFR	1.00	782.69	695.42
388-240-015	33601 THYME LN	SFR	1.00	782.69	695.42
388-240-016	33589 THYME LN	SFR	1.00	782.69	695.42
388-240-017	33577 THYME LN	SFR	1.00	782.69	695.42
388-240-018	33565 THYME LN	SFR	1.00	782.69	695.42
388-240-019	33553 THYME LN	SFR	1.00	782.69	695.42
388-240-020	33550 THYME LN	SFR	1.00	782.69	695.42
388-240-021	33562 THYME LN	SFR	1.00	782.69	695.42
388-240-022	33574 THYME LN	SFR	1.00	782.69	695.42
388-240-023	33586 THYME LN	SFR	1.00	782.69	695.42
388-240-024	33598 THYME LN	SFR	1.00	782.69	695.42
388-240-025	33610 THYME LN	SFR	1.00	782.69	695.42
388-240-026	33611 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-027	33599 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-028	33587 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-029	33575 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-030	33563 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-031	33551 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-032	33540 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-033	33552 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-034	33564 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-035	33576 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-036	33588 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-037	33600 ZINNIA LN	SFR	1.00	782.69	695.42
388-240-038	33612 ZINNIA LN	SFR	1.00	782.69	695.42
388-250-001	29048 AZARA ST	SFR	1.00	782.69	695.42
388-250-002	29056 AZARA ST	SFR	1.00	782.69	695.42
388-250-003	29064 AZARA ST	SFR	1.00	782.69	695.42
388-250-004	29072 AZARA ST	SFR	1.00	782.69	695.42
388-250-005	29080 AZARA ST	SFR	1.00	782.69	695.42
388-250-006	29088 AZARA ST	SFR	1.00	782.69	695.42
388-250-007	29096 AZARA ST	SFR	1.00	782.69	695.42
388-250-008	29104 AZARA ST	SFR	1.00	782.69	695.42
388-250-009	29112 AZARA ST	SFR	1.00	782.69	695.42
388-250-010	29120 AZARA ST	SFR	1.00	782.69	695.42
388-250-011	29128 AZARA ST	SFR	1.00	782.69	695.42
388-250-012	29136 AZARA ST	SFR	1.00	782.69	695.42
388-250-013	29144 AZARA ST	SFR	1.00	782.69	695.42
388-250-014	29152 AZARA ST	SFR	1.00	782.69	695.42

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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-250-015	29160 AZARA ST	SFR	1.00	782.69	695.42
388-250-016	29168 AZARA ST	SFR	1.00	782.69	695.42
388-250-017	29176 AZARA ST	SFR	1.00	782.69	695.42
388-250-018	29184 AZARA ST	SFR	1.00	782.69	695.42
388-250-019	29192 AZARA ST	SFR	1.00	782.69	695.42
388-250-020	29200 AZARA ST	SFR	1.00	782.69	695.42
388-250-021	29208 AZARA ST	SFR	1.00	782.69	695.42
388-250-022	29216 AZARA ST	SFR	1.00	782.69	695.42
388-250-023	29224 AZARA ST	SFR	1.00	782.69	695.42
388-250-024	33524 CARNATION AVE	SFR	1.00	782.69	695.42
388-250-025	33536 CARNATION AVE	SFR	1.00	782.69	695.42
388-250-026	33548 CARNATION AVE	SFR	1.00	782.69	695.42
388-250-027	33560 CARNATION AVE	SFR	1.00	782.69	695.42
388-250-028	33572 CARNATION AVE	SFR	1.00	782.69	695.42
388-251-001	33583 CARNATION AVE	SFR	1.00	782.69	695.42
388-251-002	33561 CARNATION AVE	SFR	1.00	782.69	695.42
388-251-003	33549 CARNATION AVE	SFR	1.00	782.69	695.42
388-251-004	33537 CARNATION AVE	SFR	1.00	782.69	695.42
388-251-005	33532 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-006	33544 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-007	33556 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-008	33568 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-009	33573 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-010	33567 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-011	33555 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-012	33543 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-013	33531 BELLFLOWER PL	SFR	1.00	782.69	695.42
388-251-014	29165 AZARA ST	SFR	1.00	782.69	695.42
388-251-015	29157 AZARA ST	SFR	1.00	782.69	695.42
388-251-016	29149 AZARA ST	SFR	1.00	782.69	695.42
388-251-017	33538 MINT AVE	SFR	1.00	782.69	695.42
388-251-018	33550 MINT AVE	SFR	1.00	782.69	695.42
388-251-019	33562 MINT AVE	SFR	1.00	782.69	695.42
388-251-020	33574 MINT AVE	SFR	1.00	782.69	695.42
388-251-021	33586 MINT AVE	SFR	1.00	782.69	695.42
388-252-001	33589 MINT AVE	SFR	1.00	782.69	695.42
388-252-002	33579 MINT AVE	SFR	1.00	782.69	695.42
388-252-003	33567 MINT AVE	SFR	1.00	782.69	695.42
388-252-004	33561 MINT AVE	SFR	1.00	782.69	695.42
388-252-005	33555 MINT AVE	SFR	1.00	782.69	695.42
388-252-006	33549 MINT AVE	SFR	1.00	782.69	695.42
388-252-007	33543 MINT AVE	SFR	1.00	782.69	695.42
388-252-008	33537 MINT AVE	SFR	1.00	782.69	695.42
388-252-009	29075 AZARA ST	SFR	1.00	782.69	695.42
388-252-010	29067 AZARA ST	SFR	1.00	782.69	695.42
388-252-011	29059 AZARA ST	SFR	1.00	782.69	695.42
388-252-012	29051 AZARA ST	SFR	1.00	782.69	695.42
388-252-013	29043 AZARA ST	SFR	1.00	782.69	695.42
388-260-009	29008 AZARA ST	SFR	1.00	782.69	695.42
388-260-011	29016 AZARA ST	SFR	1.00	782.69	695.42
388-260-013	29024 AZARA ST	SFR	1.00	782.69	695.42
388-260-015	29032 AZARA ST	SFR	1.00	782.69	695.42
388-260-017	29040 AZARA ST	SFR	1.00	782.69	695.42
388-261-001	33584 CARNATION AVE	SFR	1.00	782.69	695.42

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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-261-002	33596 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-003	33608 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-004	33620 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-005	33632 CARNATION WAY	SFR	1.00	782.69	695.42
388-261-006	33644 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-007	33656 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-008	33668 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-009	33680 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-010	33692 CARNATION AVE	SFR	1.00	782.69	695.42
388-261-011	29093 CORIANDER CT	SFR	1.00	782.69	695.42
388-261-012	29105 CORIANDER CT	SFR	1.00	782.69	695.42
388-261-013	29117 CORIANDER CT	SFR	1.00	782.69	695.42
388-261-014	29129 CORIANDER CT	SFR	1.00	782.69	695.42
388-261-015	29141 CORIANDER CT	SFR	1.00	782.69	695.42
388-262-001	33689 CARNATION AVE	SFR	1.00	782.69	695.42
388-262-002	33675 CARNATION AVE	SFR	1.00	782.69	695.42
388-262-003	33653 CARNATION AVE	SFR	1.00	782.69	695.42
388-262-004	33631 CARNATION AVE	SFR	1.00	782.69	695.42
388-262-005	33605 CARNATION AVE	SFR	1.00	782.69	695.42
388-262-006	33598 MINT AVE	SFR	1.00	782.69	695.42
388-263-001	33613 MINT AVE	SFR	1.00	782.69	695.42
388-263-002	33601 MINT AVE	SFR	1.00	782.69	695.42
388-263-003	29036 CASSIA CT	SFR	1.00	782.69	695.42
388-263-004	29048 CASSIA CT	SFR	1.00	782.69	695.42
388-263-005	29060 CASSIA CT	SFR	1.00	782.69	695.42
388-263-006	29072 CASSIA CT	SFR	1.00	782.69	695.42
388-263-007	29084 CASSIA CT	SFR	1.00	782.69	695.42
388-263-008	29069 CASSIA CT	SFR	1.00	782.69	695.42
388-263-009	29057 CASSIA CT	SFR	1.00	782.69	695.42
388-263-010	29045 CASSIA CT	SFR	1.00	782.69	695.42
388-263-011	29033 CASSIA CT	SFR	1.00	782.69	695.42
388-310-001	29028 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-002	29040 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-003	29052 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-004	29064 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-005	29076 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-006	29088 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-007	29100 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-008	29112 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-009	29124 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-010	29136 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-011	29148 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-012	29160 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-013	29172 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-014	29184 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-015	29165 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-016	29141 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-310-017	33676 VERBENA AVE	SFR	1.00	782.69	695.42
388-310-018	33688 VERBENA AVE	SFR	1.00	782.69	695.42
388-310-019	33700 VERBENA AVE	SFR	1.00	782.69	695.42
388-310-020	33712 VERBENA AVE	SFR	1.00	782.69	695.42
388-310-021	33724 VERBENA AVE	SFR	1.00	782.69	695.42
388-310-022	33736 VERBENA AVE	SFR	1.00	782.69	695.42
388-310-023	33748 VERBENA AVE	SFR	1.00	782.69	695.42

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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-310-024	33760 VERBENA AVE	SFR	1.00	782.69	695.42
388-310-025	33772 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-001	33741 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-002	33735 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-003	33727 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-004	33721 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-005	33715 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-006	33709 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-007	33703 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-008	33697 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-009	33685 VERBENA AVE	SFR	1.00	782.69	695.42
388-311-010	29071 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-311-011	29059 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-311-012	29047 SUMMERSWEET PL	SFR	1.00	782.69	695.42
388-311-013	33682 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-014	33694 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-015	33706 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-016	33718 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-017	33730 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-018	33742 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-019	33754 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-020	33766 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-021	33778 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-022	33790 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-023	33850 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-024	33862 SUNDROP AVE	SFR	1.00	782.69	695.42
388-311-025	33874 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-001	33931 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-002	33919 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-003	33907 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-004	33895 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-005	33883 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-006	33871 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-007	33859 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-008	33847 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-009	33835 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-010	33823 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-027	33811 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-029	33799 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-031	33787 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-033	33775 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-035	33763 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-037	33751 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-039	33739 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-041	33727 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-043	33715 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-045	33703 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-047	33691 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-049	33679 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-051	33667 SUNDROP AVE	SFR	1.00	782.69	695.42
388-312-053	33655 SUNDROP AVE	SFR	1.00	782.69	695.42
388-320-002	33651 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-003	33663 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-004	33675 PETUNIA ST	SFR	1.00	782.69	695.42

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388-320-005	33687 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-006	33699 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-007	33711 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-008	33723 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-009	33735 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-010	33747 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-011	33759 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-012	33771 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-013	33783 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-014	33795 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-015	33807 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-016	33819 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-017	33831 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-018	33843 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-019	33855 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-020	33867 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-021	33879 PETUNIA ST	SFR	1.00	782.69	695.42
388-320-024	33639 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-002	33858 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-003	33846 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-004	33834 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-005	33822 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-006	33810 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-007	33742 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-008	33730 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-009	28947 ALYSSUM CT	SFR	1.00	782.69	695.42
388-321-010	28959 ALYSSUM CT	SFR	1.00	782.69	695.42
388-321-011	28971 ALYSSUM CT	SFR	1.00	782.69	695.42
388-321-014	28962 ALYSSUM CT	SFR	1.00	782.69	695.42
388-321-015	33702 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-016	33690 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-020	33870 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-022	28983 ALYSSUM CT	SFR	1.00	782.69	695.42
388-321-024	28974 ALYSSUM CT	SFR	1.00	782.69	695.42
388-321-026	33678 PETUNIA ST	SFR	1.00	782.69	695.42
388-321-028	33664 PETUNIA ST	SFR	1.00	782.69	695.42
388-330-001	28643 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-002	28655 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-003	28667 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-004	28679 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-005	28691 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-006	28703 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-007	28715 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-008	28727 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-009	28739 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-010	28751 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-011	28763 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-012	28775 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-013	28787 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-014	28799 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-015	28811 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-016	28823 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-017	28835 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-018	28847 LAVATERA AVE	SFR	1.00	782.69	695.42

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388-330-019	28859 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-020	28871 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-021	28883 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-022	28895 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-023	28907 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-024	28919 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-025	28931 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-026	28943 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-027	28955 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-028	28967 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-029	28979 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-030	28991 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-040	29003 LAVATERA AVE	SFR	1.00	782.69	695.42
388-330-042	33980 PETUNIA ST	SFR	1.00	782.69	695.42
388-330-044	33968 PETUNIA ST	SFR	1.00	782.69	695.42
388-330-046	33956 PETUNIA ST	SFR	1.00	782.69	695.42
388-330-048	33944 PETUNIA ST	SFR	1.00	782.69	695.42
388-330-050	33932 PETUNIA ST	SFR	1.00	782.69	695.42
388-330-052	33920 PETUNIA ST	SFR	1.00	782.69	695.42
388-330-054	33908 PETUNIA ST	SFR	1.00	782.69	695.42
388-331-001	33903 PETUNIA ST	SFR	1.00	782.69	695.42
388-331-002	33915 PETUNIA ST	SFR	1.00	782.69	695.42
388-331-003	33927 PETUNIA ST	SFR	1.00	782.69	695.42
388-331-004	33939 PETUNIA ST	SFR	1.00	782.69	695.42
388-331-005	33951 PETUNIA ST	SFR	1.00	782.69	695.42
388-331-006	33963 PETUNIA ST	SFR	1.00	782.69	695.42
388-331-007	33962 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-331-008	33950 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-331-009	33938 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-331-010	33926 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-331-011	33914 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-331-012	33902 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-331-013	33890 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-332-001	33873 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-332-002	33885 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-332-003	33897 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-332-004	28932 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-005	28920 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-006	28908 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-007	28896 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-008	28884 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-009	28877 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-010	28881 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-011	28893 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-012	28905 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-013	28917 WALLFLOWER WAY	SFR	1.00	782.69	695.42
388-332-014	33935 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-332-015	33947 NIGHTINGALE AVE	SFR	1.00	782.69	695.42
388-332-016	28938 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-017	28926 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-018	28914 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-019	28902 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-020	28890 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-021	28878 LAVATERA AVE	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-332-022	28866 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-023	28854 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-024	28780 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-025	28768 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-026	28756 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-027	28744 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-028	28732 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-029	28712 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-030	28700 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-031	28688 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-032	28676 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-033	28664 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-034	28652 LAVATERA AVE	SFR	1.00	782.69	695.42
388-332-035	28640 LAVATERA AVE	SFR	1.00	782.69	695.42
388-340-001	29160 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-002	29172 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-003	29184 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-004	29196 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-005	29208 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-006	29220 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-007	29232 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-008	29225 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-009	29213 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-010	29201 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-011	29189 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-012	29177 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-013	29165 DANDELION WAY	SFR	1.00	782.69	695.42
388-340-014	29164 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-015	29176 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-016	29188 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-017	29200 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-018	29212 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-019	29224 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-020	29219 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-021	29207 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-022	29195 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-023	29183 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-024	29171 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-025	29159 DENTARIA WAY	SFR	1.00	782.69	695.42
388-340-026	33796 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-027	33808 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-028	33820 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-029	33832 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-030	33844 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-031	33856 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-032	33868 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-033	33880 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-034	33892 VERBENA AVE	SFR	1.00	782.69	695.42
388-340-035	33904 VERBENA AVE	SFR	1.00	782.69	695.42
388-341-001	33897 VERBENA AVE	SFR	1.00	782.69	695.42
388-341-002	33885 VERBENA AVE	SFR	1.00	782.69	695.42
388-341-003	33837 VERBENA AVE	SFR	1.00	782.69	695.42
388-341-004	33882 DOGWOOD LN	SFR	1.00	782.69	695.42
388-341-005	33897 DOGWOOD LN	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-341-006	33885 DOGWOOD LN	SFR	1.00	782.69	695.42
388-341-007	33873 DOGWOOD LN	SFR	1.00	782.69	695.42
388-350-001	33916 VERBENA AVE	SFR	1.00	782.69	695.42
388-350-002	33928 VERBENA AVE	SFR	1.00	782.69	695.42
388-350-003	33940 VERBENA AVE	SFR	1.00	782.69	695.42
388-350-004	33952 VERBENA AVE	SFR	1.00	782.69	695.42
388-350-005	33964 VERBENA AVE	SFR	1.00	782.69	695.42
388-350-006	33976 VERBENA AVE	SFR	1.00	782.69	695.42
388-350-007	33988 VERBENA AVE	SFR	1.00	782.69	695.42
388-350-008	29249 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-009	29237 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-010	29225 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-011	29213 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-012	29201 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-013	29189 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-014	29177 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-015	29165 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-016	29153 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-017	29141 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-018	29129 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-019	29117 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-020	29105 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-021	29093 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-022	29081 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-023	29069 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-024	29057 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-025	29045 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-026	29033 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-027	29021 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-350-028	33910 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-029	33922 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-030	33934 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-031	33946 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-032	33958 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-033	33970 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-034	33982 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-035	33985 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-036	33973 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-037	33961 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-038	33949 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-039	33937 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-040	33925 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-350-041	33913 WINTERGREEN PL	SFR	1.00	782.69	695.42
388-351-001	29024 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-002	29036 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-003	29048 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-004	29060 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-005	29072 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-006	29084 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-007	29138 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-008	29150 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-009	29162 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-010	29174 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-011	29186 HYDRANGEA ST	SFR	1.00	782.69	695.42

City of Murrieta
Murrieta Landscaping and Lighting District No. 16 (Mapleton)
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Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
388-351-012	29198 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-013	29210 HYDRANGEA ST	SFR	1.00	782.69	695.42
388-351-014	33969 VERBENA AVE	SFR	1.00	782.69	695.42
388-351-015	33957 VERBENA AVE	SFR	1.00	782.69	695.42
388-351-016	33945 VERBENA AVE	SFR	1.00	782.69	695.42
388-351-017	33933 VERBENA AVE	SFR	1.00	782.69	695.42
388-351-018	33921 VERBENA AVE	SFR	1.00	782.69	695.42
388-351-019	33909 VERBENA AVE	SFR	1.00	782.69	695.42
388-351-020	29062 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-021	29074 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-022	29126 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-023	29138 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-024	29150 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-025	29162 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-026	29174 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-027	29165 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-028	29153 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-029	29141 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-030	29129 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-031	29117 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-032	29105 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-033	29093 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-034	29081 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
388-351-035	29069 GOLDENSTAR WAY	SFR	1.00	782.69	695.42
Total			942.00	\$737,293.89	\$655,085.64
Parcels					942

City of Murrieta
Murrieta Landscaping and Lighting District No. 17 (Country Gate)
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Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-620-001	23801 JONATHAN PL	SFR	1.00	\$472.63	\$312.46
906-620-002	23809 JONATHAN PL	SFR	1.00	472.63	312.46
906-620-003	23821 JONATHAN PL	SFR	1.00	472.63	312.46
906-620-004	23833 JONATHAN PL	SFR	1.00	472.63	312.46
906-620-005	23845 JONATHAN PL	SFR	1.00	472.63	312.46
906-620-006	23857 JONATHAN PL	SFR	1.00	472.63	312.46
906-620-007	23869 JONATHAN PL	SFR	1.00	472.63	312.46
906-621-001	23878 JONATHAN PL	SFR	1.00	472.63	312.46
906-621-002	23866 JONATHAN PL	SFR	1.00	472.63	312.46
906-621-003	23854 JONATHAN PL	SFR	1.00	472.63	312.46
906-621-004	23842 JONATHAN PL	SFR	1.00	472.63	312.46
906-621-005	23830 JONATHAN PL	SFR	1.00	472.63	312.46
906-621-006	23861 NOELLE AVE	SFR	1.00	472.63	312.46
906-621-007	23873 NOELLE AVE	SFR	1.00	472.63	312.46
906-621-008	23885 NOELLE AVE	SFR	1.00	472.63	312.46
906-621-009	23897 NOELLE AVE	SFR	1.00	472.63	312.46
906-622-001	41907 CANNON CT	SFR	1.00	472.63	312.46
906-622-002	41895 CANNON CT	SFR	1.00	472.63	312.46
906-622-003	41890 CANNON CT	SFR	1.00	472.63	312.46
906-622-004	41902 CANNON CT	SFR	1.00	472.63	312.46
906-622-005	23879 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-622-006	23891 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-622-007	23903 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-622-008	23915 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-622-009	23927 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-622-010	23939 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-622-011	23951 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-001	23958 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-002	23946 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-003	23934 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-004	41863 JENNIFER CT	SFR	1.00	472.63	312.46
906-623-005	41851 JENNIFER CT	SFR	1.00	472.63	312.46
906-623-006	41839 JENNIFER CT	SFR	1.00	472.63	312.46
906-623-007	41836 JENNIFER CT	SFR	1.00	472.63	312.46
906-623-008	41848 JENNIFER CT	SFR	1.00	472.63	312.46
906-623-009	41860 JENNIFER CT	SFR	1.00	472.63	312.46
906-623-010	23910 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-011	23898 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-012	23886 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-013	23874 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-014	23862 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-015	23850 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-623-016	23838 TIMOTHY AVE	SFR	1.00	472.63	312.46
906-630-001	41928 SANTA FE TRL	SFR	1.00	472.63	312.46
906-630-002	41940 SANTA FE TRL	SFR	1.00	472.63	312.46
906-630-003	41952 SANTA FE TRL	SFR	1.00	472.63	312.46
906-630-004	41964 SANTA FE TRL	SFR	1.00	472.63	312.46
906-630-005	41976 SANTA FE TRL	SFR	1.00	472.63	312.46
906-630-006	41988 SANTA FE TRL	SFR	1.00	472.63	312.46
906-631-001	41991 SANTA FE TRL	SFR	1.00	472.63	312.46
906-631-002	41979 SANTA FE TRL	SFR	1.00	472.63	312.46
906-631-003	41967 SANTA FE TRL	SFR	1.00	472.63	312.46
906-631-004	41955 SANTA FE TRL	SFR	1.00	472.63	312.46
906-631-005	41962 CARSON CT	SFR	1.00	472.63	312.46

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-631-006	41974 CARSON CT	SFR	1.00	472.63	312.46
906-631-007	41986 CARSON CT	SFR	1.00	472.63	312.46
906-631-008	41977 CARSON CT	SFR	1.00	472.63	312.46
906-631-009	41965 CARSON CT	SFR	1.00	472.63	312.46
906-631-010	23947 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-011	23959 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-012	23971 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-013	23983 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-014	23995 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-015	23998 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-016	23986 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-017	23974 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-018	23962 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-019	23950 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-020	23938 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-021	23926 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-022	23914 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-023	23902 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-024	23890 JONATHAN PL	SFR	1.00	472.63	312.46
906-631-025	23909 NOELLE AVE	SFR	1.00	472.63	312.46
906-631-026	23921 NOELLE AVE	SFR	1.00	472.63	312.46
906-631-027	23933 NOELLE AVE	SFR	1.00	472.63	312.46
906-631-028	23945 NOELLE AVE	SFR	1.00	472.63	312.46
906-631-029	23957 NOELLE AVE	SFR	1.00	472.63	312.46
906-631-030	23969 NOELLE AVE	SFR	1.00	472.63	312.46
906-631-031	23981 NOELLE AVE	SFR	1.00	472.63	312.46
906-631-032	23993 NOELLE AVE	SFR	1.00	472.63	312.46
906-690-001	23825 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-002	23813 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-003	23801 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-004	23789 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-005	23804 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-006	23816 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-007	23828 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-008	23840 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-690-009	23823 HUMPHREY CT	SFR	1.00	472.63	312.46
906-690-010	23811 HUMPHREY CT	SFR	1.00	472.63	312.46
906-690-011	23799 HUMPHREY CT	SFR	1.00	472.63	312.46
906-690-012	23787 HUMPHREY CT	SFR	1.00	472.63	312.46
906-690-013	23802 HUMPHREY CT	SFR	1.00	472.63	312.46
906-690-014	23814 HUMPHREY CT	SFR	1.00	472.63	312.46
906-690-015	23826 HUMPHREY CT	SFR	1.00	472.63	312.46
906-690-016	23827 BUSH CT	SFR	1.00	472.63	312.46
906-690-017	23815 BUSH CT	SFR	1.00	472.63	312.46
906-690-018	23803 BUSH CT	SFR	1.00	472.63	312.46
906-690-019	23791 BUSH CT	SFR	1.00	472.63	312.46
906-690-020	23782 BUSH CT	SFR	1.00	472.63	312.46
906-690-021	23794 BUSH CT	SFR	1.00	472.63	312.46
906-690-022	23806 BUSH CT	SFR	1.00	472.63	312.46
906-690-023	23818 BUSH CT	SFR	1.00	472.63	312.46
906-690-024	23830 BUSH CT	SFR	1.00	472.63	312.46
906-700-001	23854 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-002	23866 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-003	23878 NUTWOOD WAY	SFR	1.00	472.63	312.46

City of Murrieta
Murrieta Landscaping and Lighting District No. 17 (Country Gate)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-700-004	23890 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-005	23902 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-006	23914 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-007	23911 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-008	23899 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-009	23887 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-010	23875 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-011	23863 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-012	23851 NUTWOOD WAY	SFR	1.00	472.63	312.46
906-700-013	41686 HOLSTED AVE	SFR	1.00	472.63	312.46
906-700-014	23874 HUNTINGTON CT	SFR	1.00	472.63	312.46
906-700-015	23886 HUNTINGTON CT	SFR	1.00	472.63	312.46
906-700-016	23898 HUNTINGTON CT	SFR	1.00	472.63	312.46
906-700-017	23910 HUNTINGTON CT	SFR	1.00	472.63	312.46
906-710-001	23873 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-710-002	23861 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-710-003	23849 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-710-004	23837 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-711-001	23852 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-711-002	23864 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-711-003	23876 COSTA MESA WAY	SFR	1.00	472.63	312.46
906-711-004	41685 HOLSTED AVE	SFR	1.00	472.63	312.46
906-712-001	23865 HUNTINGTON CT	SFR	1.00	472.63	312.46
906-712-002	41710 HOLSTED AVE	SFR	1.00	472.63	312.46
906-712-003	41722 HOLSTED AVE	SFR	1.00	472.63	312.46
906-712-004	41734 HOLSTED AVE	SFR	1.00	472.63	312.46
906-712-005	41746 HOLSTED AVE	SFR	1.00	472.63	312.46
906-712-006	41741 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-007	41729 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-008	41717 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-009	41705 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-010	41693 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-011	41708 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-012	41720 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-013	41732 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-014	41744 MESQUITE LN	SFR	1.00	472.63	312.46
906-712-015	41745 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-016	41733 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-017	41721 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-018	41709 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-019	41697 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-020	41712 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-021	41724 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-022	41736 HOLLISTER LN	SFR	1.00	472.63	312.46
906-712-023	41748 HOLLISTER LN	SFR	1.00	472.63	312.46
906-750-005	41792 DAVIDSON ST	SFR	1.00	472.63	312.46
906-750-006	41800 DAVIDSON ST	SFR	1.00	472.63	312.46
906-750-007	41808 DAVIDSON ST	SFR	1.00	472.63	312.46
906-750-008	24125 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-009	24117 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-010	24109 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-011	24101 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-012	24093 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-013	24085 GRAFTON AVE	SFR	1.00	472.63	312.46

City of Murrieta
Murrieta Landscaping and Lighting District No. 17 (Country Gate)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-750-014	24077 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-015	24069 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-016	24061 GRAFTON AVE	SFR	1.00	472.63	312.46
906-750-018	41752 DAVIDSON ST	SFR	1.00	472.63	312.46
906-750-019	41760 DAVIDSON ST	SFR	1.00	472.63	312.46
906-750-020	41768 DAVIDSON ST	SFR	1.00	472.63	312.46
906-750-021	41776 DAVIDSON ST	SFR	1.00	472.63	312.46
906-750-022	41784 DAVIDSON ST	SFR	1.00	472.63	312.46
906-751-001	41745 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-002	41737 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-003	41729 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-004	41721 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-005	41713 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-006	41705 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-007	41697 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-008	41700 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-009	41708 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-010	41716 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-011	41724 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-012	41732 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-013	41740 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-014	41748 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-015	41756 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-016	41764 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-017	41772 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-018	41780 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-019	41788 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-020	41796 CORNWELL PL	SFR	1.00	472.63	312.46
906-751-021	41797 CLARK WAY	SFR	1.00	472.63	312.46
906-751-022	41789 CLARK WAY	SFR	1.00	472.63	312.46
906-751-023	41781 CLARK WAY	SFR	1.00	472.63	312.46
906-751-024	41773 CLARK WAY	SFR	1.00	472.63	312.46
906-751-025	41765 CLARK WAY	SFR	1.00	472.63	312.46
906-751-026	41757 CLARK WAY	SFR	1.00	472.63	312.46
906-751-027	41754 CLARK WAY	SFR	1.00	472.63	312.46
906-751-028	41762 CLARK WAY	SFR	1.00	472.63	312.46
906-751-029	41770 CLARK WAY	SFR	1.00	472.63	312.46
906-751-030	41778 CLARK WAY	SFR	1.00	472.63	312.46
906-751-031	41786 CLARK WAY	SFR	1.00	472.63	312.46
906-751-032	41794 CLARK WAY	SFR	1.00	472.63	312.46
906-751-033	41795 DAVIDSON ST	SFR	1.00	472.63	312.46
906-751-034	41787 DAVIDSON ST	SFR	1.00	472.63	312.46
906-751-041	41779 DAVIDSON ST	SFR	1.00	472.63	312.46
906-751-042	41771 DAVIDSON ST	SFR	1.00	472.63	312.46
Total			206.00	\$97,360.98	\$64,366.76
Parcels					206

City of Murrieta
Murrieta Landscaping and Lighting District No. 18 (Vineyards)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-800-001	24236 GOLDEN MIST DR	SFR	1.00	\$1,153.23	\$910.38
904-800-002	24248 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-003	24260 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-004	24272 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-005	24284 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-006	24296 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-007	24308 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-008	42524 MUSCAT CIR	SFR	1.00	1,153.23	910.38
904-800-009	42536 MUSCAT CIR	SFR	1.00	1,153.23	910.38
904-800-010	42548 MUSCAT CIR	SFR	1.00	1,153.23	910.38
904-800-011	42560 MUSCAT CIR	SFR	1.00	1,153.23	910.38
904-800-012	42572 MUSCAT CIR	SFR	1.00	1,153.23	910.38
904-800-013	42575 MUSCAT CIR	SFR	1.00	1,153.23	910.38
904-800-014	42563 MUSCAT CIR	SFR	1.00	1,153.23	910.38
904-800-015	24291 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-016	24279 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-017	24267 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-018	24255 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-019	24243 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-800-020	42562 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-021	42574 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-022	42586 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-023	42598 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-024	42595 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-025	42583 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-026	42571 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-027	42559 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-028	42547 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-029	42535 SAUTERNES LN	SFR	1.00	1,153.23	910.38
904-800-030	42538 PORT LN	SFR	1.00	1,153.23	910.38
904-800-031	42550 PORT LN	SFR	1.00	1,153.23	910.38
904-800-032	42562 PORT LN	SFR	1.00	1,153.23	910.38
904-800-033	42574 PORT LN	SFR	1.00	1,153.23	910.38
904-800-034	42586 PORT LN	SFR	1.00	1,153.23	910.38
904-800-035	24165 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-800-036	24153 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-800-037	24141 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-800-038	24129 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-800-039	24117 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-801-001	24114 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-801-002	24126 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-801-003	24138 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-801-004	24150 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-801-005	24149 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-801-006	24137 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-801-007	24125 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-801-008	24113 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-001	24116 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-002	24128 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-003	24140 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-004	24152 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-005	24164 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-006	24176 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-007	24188 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38

City of Murrieta
Murrieta Landscaping and Lighting District No. 18 (Vineyards)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
904-802-008	24200 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-802-009	24212 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-810-001	24105 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-002	24093 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-003	24081 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-004	24069 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-005	24057 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-006	24045 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-007	24033 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-008	24021 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-810-009	42587 SHERRY LN	SFR	1.00	1,153.23	910.38
904-810-010	42575 SHERRY LN	SFR	1.00	1,153.23	910.38
904-810-011	42563 SHERRY LN	SFR	1.00	1,153.23	910.38
904-810-012	42551 SHERRY LN	SFR	1.00	1,153.23	910.38
904-810-013	42539 SHERRY LN	SFR	1.00	1,153.23	910.38
904-810-014	42527 SHERRY LN	SFR	1.00	1,153.23	910.38
904-810-015	42515 SHERRY LN	SFR	1.00	1,153.23	910.38
904-811-001	42512 SHERRY LN	SFR	1.00	1,153.23	910.38
904-811-002	42524 SHERRY LN	SFR	1.00	1,153.23	910.38
904-811-003	42536 SHERRY LN	SFR	1.00	1,153.23	910.38
904-811-004	42548 SHERRY LN	SFR	1.00	1,153.23	910.38
904-811-005	42560 SHERRY LN	SFR	1.00	1,153.23	910.38
904-811-006	42572 SHERRY LN	SFR	1.00	1,153.23	910.38
904-811-007	24066 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-811-008	24078 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-811-009	24090 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-811-010	24102 MADEIRA LN	SFR	1.00	1,153.23	910.38
904-811-011	24101 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-811-012	24089 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-811-013	24077 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-811-014	24065 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-811-015	24080 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-811-016	24092 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-811-017	24104 GOLDEN MIST DR	SFR	1.00	1,153.23	910.38
904-812-001	24123 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-002	24111 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-003	24099 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-004	24087 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-005	24075 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-006	24063 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-007	24051 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-008	24039 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-009	24027 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-010	24015 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-011	24003 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-012	24016 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-013	24028 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-014	24040 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-015	24052 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-016	24064 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-017	24076 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-018	24088 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-019	24100 SEMILLON LN	SFR	1.00	1,153.23	910.38
904-812-020	24112 SEMILLON LN	SFR	1.00	1,153.23	910.38

City of Murrieta
Murrieta Landscaping and Lighting District No. 18 (Vineyards)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-740-001	24294 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-002	24282 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-003	24270 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-004	24258 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-005	24246 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-006	24249 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-007	24261 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-008	24273 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-009	24285 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-010	24297 LUNA BRILLA LN	SFR	1.00	1,153.23	910.38
906-740-011	42478 AZURE SKY CT	SFR	1.00	1,153.23	910.38
906-740-012	42490 AZURE SKY CT	SFR	1.00	1,153.23	910.38
906-740-013	42493 AZURE SKY CT	SFR	1.00	1,153.23	910.38
906-740-014	42481 AZURE SKY CT	SFR	1.00	1,153.23	910.38
Total			122.00	\$140,693.57	\$111,066.36
Parcels					122

City of Murrieta
Murrieta Landscaping and Lighting District No. 19 (Murrieta Oaks)
Fiscal Year 2025/26
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(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-080-001	36241 REDBUD LN	SFR	1.00	\$1,033.47	\$815.82
900-080-002	36253 REDBUD LN	SFR	1.00	1,033.47	815.82
900-080-003	36265 REDBUD LN	SFR	1.00	1,033.47	815.82
900-080-004	36296 REDBUD LN	SFR	1.00	1,033.47	815.82
900-080-005	36284 REDBUD LN	SFR	1.00	1,033.47	815.82
900-080-006	36272 REDBUD LN	SFR	1.00	1,033.47	815.82
900-080-007	36260 REDBUD LN	SFR	1.00	1,033.47	815.82
900-080-008	36248 REDBUD LN	SFR	1.00	1,033.47	815.82
900-080-009	36236 REDBUD LN	SFR	1.00	1,033.47	815.82
900-081-001	27660 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-002	27672 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-003	27684 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-004	27696 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-005	27708 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-006	27720 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-007	27732 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-008	27744 POST OAK PL	SFR	1.00	1,033.47	815.82
900-081-009	27756 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-001	27755 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-002	27743 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-003	27731 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-004	27719 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-005	27707 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-006	27695 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-007	27683 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-008	27671 POST OAK PL	SFR	1.00	1,033.47	815.82
900-082-009	27648 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-082-010	27660 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-082-011	27672 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-082-012	27684 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-082-013	27696 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-082-014	27708 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-082-015	27720 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-083-001	27729 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-083-002	27717 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-083-003	27705 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-083-004	27693 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-083-005	27681 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-083-006	27669 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-083-007	27620 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-083-008	27632 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-083-009	27644 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-083-010	27656 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-083-011	27668 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-090-001	27768 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-002	27780 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-003	27792 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-004	27804 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-005	27816 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-006	27828 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-007	27840 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-008	27852 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-009	27864 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-010	27876 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-011	27888 POST OAK PL	SFR	1.00	1,033.47	815.82

City of Murrieta
Murrieta Landscaping and Lighting District No. 19 (Murrieta Oaks)
Fiscal Year 2025/26
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(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-090-012	27900 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-013	27912 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-014	27897 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-015	27885 POST OAK PL	SFR	1.00	1,033.47	815.82
900-090-016	27749 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-017	27737 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-018	27725 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-019	27713 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-020	27701 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-021	27689 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-022	27677 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-023	27665 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-090-024	27653 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-091-001	27851 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-002	27839 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-003	27827 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-004	27815 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-005	27803 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-006	27791 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-007	27779 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-008	27767 POST OAK PL	SFR	1.00	1,033.47	815.82
900-091-009	27732 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-091-010	27744 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-091-011	27756 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-091-012	27768 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-091-013	27780 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-091-014	27792 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-091-015	27804 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-092-001	27789 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-092-002	27777 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-092-003	27765 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-092-004	27753 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-092-005	27741 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-092-006	27680 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-092-007	27692 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-092-008	27704 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-092-009	27716 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-100-001	27673 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-100-002	27661 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-100-003	27649 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-100-004	27637 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-100-005	27625 DOGWOOD ST	SFR	1.00	1,033.47	815.82
900-100-006	27550 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-100-007	27562 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-100-008	27574 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-100-009	27586 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-100-010	27598 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-100-011	27610 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-100-012	27622 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-001	27641 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-002	27629 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-003	27617 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-004	27605 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-005	27593 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-006	27581 HACKBERRY ST	SFR	1.00	1,033.47	815.82

City of Murrieta
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Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-101-007	27569 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-008	27557 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-101-009	27545 HACKBERRY ST	SFR	1.00	1,033.47	815.82
900-102-001	27526 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-002	27514 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-003	27502 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-004	27490 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-005	27478 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-006	27466 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-007	27454 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-008	27442 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-009	27430 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-010	27418 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-011	27521 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-012	27509 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-013	27497 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-014	27485 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-015	27473 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-016	27461 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-017	27449 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-018	27437 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-019	27425 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-102-020	27413 YELLOW WOOD WAY	SFR	1.00	1,033.47	815.82
900-110-001	27322 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-002	27334 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-003	27346 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-004	27358 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-005	27347 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-006	27335 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-007	27623 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-008	27311 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-009	27299 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-010	27287 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-011	27275 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-012	27263 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-013	27251 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-014	27239 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-015	27227 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-016	27215 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-017	27203 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-018	27190 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-019	27202 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-020	27214 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-021	27226 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-022	27238 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-023	27250 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-024	27262 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-025	27274 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-026	27286 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-110-027	27298 WEDGEWOOD WAY	SFR	1.00	1,033.47	815.82
900-120-001	27166 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-120-002	27154 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-120-003	27142 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-120-004	27130 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-120-005	36160 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82

City of Murrieta
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Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-120-006	36148 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-007	36136 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-008	36124 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-009	36112 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-010	36121 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-011	36133 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-012	36145 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-013	36157 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-014	36169 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-015	36181 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-016	36193 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-017	36205 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-018	36217 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-019	36229 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-020	36241 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-021	36253 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-022	36265 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-023	36277 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-024	36289 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-025	36301 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-026	36313 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-027	36325 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-028	36337 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-029	36349 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-030	36361 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-031	36373 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-120-032	36385 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-121-001	36232 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-121-002	36220 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-121-003	36208 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-121-004	36196 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-121-005	36184 THOUSAND OAKS PL	SFR	1.00	1,033.47	815.82
900-121-006	27127 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-121-007	27139 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-121-008	27151 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-121-009	27163 OAK GLEN ST	SFR	1.00	1,033.47	815.82
900-121-010	36195 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-011	36207 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-012	36219 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-013	36231 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-014	36243 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-015	36255 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-016	36267 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-017	36279 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-018	36291 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-019	36303 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-020	36315 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-021	36327 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-022	36339 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-121-023	36351 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-122-001	36382 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-122-002	36370 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-122-003	36358 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-122-004	36346 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-122-005	36334 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82

City of Murrieta
Murrieta Landscaping and Lighting District No. 19 (Murrieta Oaks)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-122-006	36322 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-122-007	36310 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-123-001	36289 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-123-002	36301 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-123-003	36313 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-123-004	36325 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-123-005	36337 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-123-006	36312 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-123-007	36300 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-123-008	36288 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-123-009	36276 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-130-001	36298 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-130-002	36286 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-130-003	36274 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-130-004	36262 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-130-005	36250 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-130-006	36238 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-130-007	36226 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-130-008	36214 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-131-001	36217 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-131-002	36229 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-131-003	36241 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-131-004	36253 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-131-005	36265 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-131-006	36277 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-131-007	36264 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-131-008	36252 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-131-009	36240 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-131-010	36228 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-131-011	36216 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-131-012	36204 BUR OAKS AVE	SFR	1.00	1,033.47	815.82
900-132-001	36217 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-002	36205 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-003	36193 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-004	36181 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-005	36169 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-006	36157 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-007	36145 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-008	36133 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-009	36121 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-010	36130 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-011	36142 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-012	36154 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-013	36166 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-014	36178 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-015	36190 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-016	36202 COFFEE TREE PL	SFR	1.00	1,033.47	815.82
900-132-017	36109 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-018	36097 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-019	36085 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-020	36073 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-021	36061 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-022	36058 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-023	36070 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-024	36082 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82

City of Murrieta
Murrieta Landscaping and Lighting District No. 19 (Murrieta Oaks)
Fiscal Year 2025/26
Preliminary Assessment Roll
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-132-025	36094 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-026	36106 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-027	36118 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-028	36130 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-029	36142 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-030	36154 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-031	36166 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-032	36178 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-132-033	36190 CHITTAM WOOD PL	SFR	1.00	1,033.47	815.82
900-140-001	27262 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-002	27274 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-003	27286 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-004	27298 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-005	27310 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-006	27322 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-007	27334 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-008	27346 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-009	27358 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-010	27370 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-011	27382 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-012	27394 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-013	27406 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-014	27418 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-015	27430 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-016	27442 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-017	27454 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-018	27466 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-019	27478 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-140-020	27490 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-141-001	27273 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-141-002	27285 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-141-003	27297 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-141-004	27309 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-141-005	27321 CARLTON OAKS ST	SFR	1.00	1,033.47	815.82
900-150-001	27397 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-002	27409 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-003	27421 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-004	27433 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-005	27445 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-006	27457 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-007	27469 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-008	27481 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-009	27493 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-010	27505 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-011	27517 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-012	27529 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-013	27541 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-014	27553 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-150-015	27565 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-151-001	27584 PINYON ST	SFR	1.00	1,033.47	815.82
900-151-002	27572 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-001	27560 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-002	27548 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-003	27536 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-004	27524 PINYON ST	SFR	1.00	1,033.47	815.82

City of Murrieta
Murrieta Landscaping and Lighting District No. 19 (Murrieta Oaks)
Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-152-005	27512 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-006	27500 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-007	27488 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-008	27476 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-009	27464 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-010	27452 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-011	27440 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-012	27428 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-013	27416 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-014	27404 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-015	27392 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-016	27380 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-017	27368 PINYON ST	SFR	1.00	1,033.47	815.82
900-152-018	27356 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-001	27367 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-002	27379 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-003	27391 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-004	27403 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-005	27415 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-006	27427 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-007	27439 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-008	27451 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-009	27463 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-010	27475 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-011	27487 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-012	27499 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-013	27511 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-014	27523 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-015	27535 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-016	27569 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-017	27581 PINYON ST	SFR	1.00	1,033.47	815.82
900-153-018	27560 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-019	27548 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-020	27536 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-021	27524 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-022	27512 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-023	27500 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-024	27488 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-025	27476 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-026	27464 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-027	27452 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-028	27440 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-029	27428 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-030	27416 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-153-031	27404 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-160-001	36505 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-002	36517 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-003	36529 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-004	36541 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-005	36553 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-006	36565 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-007	36538 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-008	36526 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-160-009	36514 CREEKWOOD CT	SFR	1.00	1,033.47	815.82
900-161-001	27171 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82

City of Murrieta
Murrieta Landscaping and Lighting District No. 19 (Murrieta Oaks)
Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-161-002	27159 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-003	27147 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-004	27135 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-005	27123 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-006	27111 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-007	27126 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-008	27138 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-009	27150 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-010	27162 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-011	27174 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-012	27186 CORAL BELLS WAY	SFR	1.00	1,033.47	815.82
900-161-013	27301 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-161-014	27313 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-161-015	27325 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-161-016	27337 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-161-017	27349 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-161-018	27361 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-161-019	27373 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-161-020	27385 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-162-001	27344 PINYON ST	SFR	1.00	1,033.47	815.82
900-162-002	27332 PINYON ST	SFR	1.00	1,033.47	815.82
900-162-003	27320 PINYON ST	SFR	1.00	1,033.47	815.82
900-163-001	27331 PINYON ST	SFR	1.00	1,033.47	815.82
900-163-002	27343 PINYON ST	SFR	1.00	1,033.47	815.82
900-163-003	27355 PINYON ST	SFR	1.00	1,033.47	815.82
900-163-004	27392 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-163-005	27380 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-163-006	27368 MURRIETA OAKS AVE	SFR	1.00	1,033.47	815.82
900-164-001	36557 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-164-002	36569 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-164-003	36581 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-164-004	36593 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-164-005	36605 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-164-006	36617 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-164-007	36629 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-164-008	36538 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-164-009	36550 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-164-010	36562 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-164-011	36574 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-164-012	36586 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-165-001	36599 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-165-002	36587 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-165-003	36575 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-165-004	36563 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-001	36641 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-002	36653 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-003	36665 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-004	36677 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-005	36689 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-006	36701 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-007	36713 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-008	36725 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-009	36737 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-170-010	27342 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-011	27330 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-170-012	27318 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-013	27306 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-014	36598 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-015	36610 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-016	36622 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-017	36634 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-018	36646 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-170-019	36658 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-171-001	36680 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-171-002	36692 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-171-003	36704 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-171-004	36716 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-171-005	36728 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-172-001	36751 LAURELWOOD AVE	SFR	1.00	1,033.47	815.82
900-172-002	27341 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-172-003	27329 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-172-004	27317 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-001	36692 CLOVE CURRANT LN	SFR	1.00	1,033.47	815.82
900-173-002	36704 CLOVE CURRANT LN	SFR	1.00	1,033.47	815.82
900-173-003	36716 CLOVE CURRANT LN	SFR	1.00	1,033.47	815.82
900-173-004	36713 CLOVE CURRANT LN	SFR	1.00	1,033.47	815.82
900-173-005	36701 CLOVE CURRANT LN	SFR	1.00	1,033.47	815.82
900-173-006	36689 CLOVE CURRANT LN	SFR	1.00	1,033.47	815.82
900-173-007	36690 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-008	36702 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-009	36714 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-010	36707 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-011	36695 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-012	36683 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-013	36671 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-014	36659 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-015	36647 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-016	36635 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-017	36623 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-173-018	36611 SILK OAK TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-001	36740 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-002	36752 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-003	36764 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-004	36776 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-005	36788 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-006	36800 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-007	36812 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-008	36824 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-009	36845 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-010	36833 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-011	36821 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-012	36809 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-013	36797 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-014	36785 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-015	36773 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-016	36761 OAK MEADOWS PL	SFR	1.00	1,033.47	815.82
900-180-017	27370 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-018	27382 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-019	27394 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-020	27406 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82

City of Murrieta
Murrieta Landscaping and Lighting District No. 19 (Murrieta Oaks)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-180-021	27418 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-022	27430 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-023	27442 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-024	27454 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-180-025	36806 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-026	36818 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-027	36830 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-028	36842 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-029	36854 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-030	36866 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-031	36878 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-032	36890 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-033	36902 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-034	36914 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-035	36926 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-180-036	36938 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-181-001	36921 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-181-002	36909 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-181-003	36897 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-181-004	27443 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-181-005	27431 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-181-006	27419 DESERT WILLOW PL	SFR	1.00	1,033.47	815.82
900-181-007	27407 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-181-008	27395 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-181-009	27383 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-181-010	27371 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-181-011	27359 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-001	27356 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-002	27368 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-003	27380 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-004	27392 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-005	27404 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-006	27416 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-007	27428 DESERT WILLOW ST	SFR	1.00	1,033.47	815.82
900-182-008	36849 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-182-009	36837 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-182-010	36825 WAX MYRTLE PL	SFR	1.00	1,033.47	815.82
900-182-011	27425 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-182-012	27413 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-182-013	27401 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-182-014	27389 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-182-015	27377 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
900-182-016	27365 SWEETSPIRE TERRACE PL	SFR	1.00	1,033.47	815.82
Total			538.00	\$556,005.84	\$438,911.16
Parcels					538

City of Murrieta
Murrieta Landscaping and Lighting District No. 20 (Blackmore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-010-001	35805 DARCY PL	SFR	1.00	\$1,549.70	\$1,119.54
392-010-002	35817 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-003	35829 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-004	35841 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-005	35853 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-006	35865 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-007	35877 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-008	35889 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-009	35901 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-010	35913 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-011	35925 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-012	23546 HUDSON CT	SFR	1.00	1,549.70	1,119.54
392-010-013	23534 HUDSON CT	SFR	1.00	1,549.70	1,119.54
392-010-014	23522 HUDSON CT	SFR	1.00	1,549.70	1,119.54
392-010-015	23525 HUDSON CT	SFR	1.00	1,549.70	1,119.54
392-010-016	23537 HUDSON CT	SFR	1.00	1,549.70	1,119.54
392-010-017	23549 HUDSON CT	SFR	1.00	1,549.70	1,119.54
392-010-018	35941 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-019	35953 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-020	35965 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-021	35977 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-022	35989 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-023	36001 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-024	36013 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-025	36025 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-026	36037 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-027	36049 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-028	36061 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-029	36073 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-030	36085 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-031	35937 WILCOX LN	SFR	1.00	1,549.70	1,119.54
392-010-032	35949 WILCOX LN	SFR	1.00	1,549.70	1,119.54
392-010-033	35961 WILCOX LN	SFR	1.00	1,549.70	1,119.54
392-010-034	35956 WILCOX LN	SFR	1.00	1,549.70	1,119.54
392-010-035	35944 WILCOX LN	SFR	1.00	1,549.70	1,119.54
392-010-036	35932 WILCOX LN	SFR	1.00	1,549.70	1,119.54
392-010-037	36109 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-038	36121 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-010-039	23601 GREER RD	SFR	1.00	1,549.70	1,119.54
392-010-040	23613 GREER RD	SFR	1.00	1,549.70	1,119.54
392-010-041	23625 GREER RD	SFR	1.00	1,549.70	1,119.54
392-011-001	23622 GREER RD	SFR	1.00	1,549.70	1,119.54
392-011-002	23610 GREER RD	SFR	1.00	1,549.70	1,119.54
392-011-003	23598 GREER RD	SFR	1.00	1,549.70	1,119.54
392-012-001	36188 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-002	36176 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-003	36164 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-004	36152 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-005	36140 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-006	36128 DARCY ST	SFR	1.00	1,549.70	1,119.54
392-012-007	36118 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-008	36104 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-009	36092 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-010	36080 DARCY PL	SFR	1.00	1,549.70	1,119.54

City of Murrieta
Murrieta Landscaping and Lighting District No. 20 (Blackmore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-012-011	36068 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-012	36056 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-013	23557 WICKHAM LN	SFR	1.00	1,549.70	1,119.54
392-012-014	23569 WICKHAM LN	SFR	1.00	1,549.70	1,119.54
392-012-015	23581 WICKHAM LN	SFR	1.00	1,549.70	1,119.54
392-012-016	23594 WICKHAM LN	SFR	1.00	1,549.70	1,119.54
392-012-017	23582 WICKHAM LN	SFR	1.00	1,549.70	1,119.54
392-012-018	23570 WICKHAM LN	SFR	1.00	1,549.70	1,119.54
392-012-019	35934 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-020	35922 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-021	35910 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-022	35898 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-023	35886 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-024	35874 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-025	35862 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-026	35850 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-027	35838 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-028	35826 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-012-029	35814 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-020-001	35935 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-002	35923 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-003	35911 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-004	35899 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-005	35887 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-006	35875 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-007	35863 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-008	35851 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-009	35839 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-020-010	35827 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-021-001	35960 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-021-002	35972 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-021-003	35984 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-021-004	35996 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-021-005	36008 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-021-006	36020 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-021-007	35901 BINGLEY CT	SFR	1.00	1,549.70	1,119.54
392-021-008	35889 BINGLEY CT	SFR	1.00	1,549.70	1,119.54
392-021-009	35877 BINGLEY CT	SFR	1.00	1,549.70	1,119.54
392-021-010	35870 BINGLEY CT	SFR	1.00	1,549.70	1,119.54
392-021-011	35882 BINGLEY CT	SFR	1.00	1,549.70	1,119.54
392-021-012	35900 BINGLEY CT	SFR	1.00	1,549.70	1,119.54
392-021-013	35905 FAIRFAX CT	SFR	1.00	1,549.70	1,119.54
392-021-014	35893 FAIRFAX CT	SFR	1.00	1,549.70	1,119.54
392-022-001	23608 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-022-002	23596 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-022-003	23584 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-022-004	23572 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-022-005	35759 HASTINGS LN	SFR	1.00	1,549.70	1,119.54
392-022-006	35771 HASTINGS LN	SFR	1.00	1,549.70	1,119.54
392-022-007	35718 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-022-008	35706 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-022-009	35694 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-022-010	35691 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-022-011	35703 DARCY PL	SFR	1.00	1,549.70	1,119.54

City of Murrieta
Murrieta Landscaping and Lighting District No. 20 (Blackmore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-022-012	35715 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-022-013	35727 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-022-014	35739 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-022-015	35751 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-023-001	23595 WILMINGTON CT	SFR	1.00	1,549.70	1,119.54
392-023-002	23598 WILMINGTON CT	SFR	1.00	1,549.70	1,119.54
392-023-005	36195 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-023-006	36207 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-023-007	36212 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-023-008	35802 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-023-012	NO SITUS AVAILABLE	SFR	1.00	1,549.70	1,119.54
392-023-014	23574 WILMINGTON CT	SFR	1.00	1,549.70	1,119.54
392-024-001	35754 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-024-002	35742 DARCY PL	SFR	1.00	1,549.70	1,119.54
392-024-003	23555 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-024-004	23567 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-024-005	23579 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-024-006	23591 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-024-007	23603 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-024-008	23615 EUCLID ST	SFR	1.00	1,549.70	1,119.54
392-040-001	35815 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-040-002	35803 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-040-003	35812 BED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-040-004	35824 RED BLUFF PL	SFR	1.00	1,549.70	1,119.54
392-040-005	23656 BELLWOOD CT	SFR	1.00	1,549.70	1,119.54
392-040-006	23668 BELLWOOD CT	SFR	1.00	1,549.70	1,119.54
392-040-007	23685 BELLWOOD CT	SFR	1.00	1,549.70	1,119.54
392-040-008	23673 BELLWOOD CT	SFR	1.00	1,549.70	1,119.54
392-040-009	23661 BELLWOOD CT	SFR	1.00	1,549.70	1,119.54
392-040-010	23649 BELLWOOD CT	SFR	1.00	1,549.70	1,119.54
392-040-011	35881 FAIRFAX CT	SFR	1.00	1,549.70	1,119.54
392-040-012	35886 FAIRFAX CT	SFR	1.00	1,549.70	1,119.54
392-040-013	35898 FAIRFAX CT	SFR	1.00	1,549.70	1,119.54
392-430-001	36026 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-002	36034 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-003	36042 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-004	36050 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-005	36058 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-006	36066 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-007	36061 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-008	36053 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-009	36045 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-010	36037 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-011	36029 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-012	36021 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-013	36013 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-430-014	36005 REDGRAVE WAY	SFR	1.00	1,549.70	1,119.54
392-431-001	36003 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-002	35995 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-003	35987 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-004	35979 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-005	35971 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-006	35963 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-007	35955 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54

City of Murrieta
Murrieta Landscaping and Lighting District No. 20 (Blackmore Ranch)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
392-431-008	35946 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-009	35954 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-010	35962 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-011	35970 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-012	35978 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-013	35986 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-014	35994 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-015	36002 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
392-431-016	36010 MERIWETHER WAY	SFR	1.00	1,549.70	1,119.54
Total			171.00	\$264,998.67	\$191,441.34
Parcels					171

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-410-001	29372 ARIEL ST	SFR	1.00	\$522.78	\$412.70
900-410-002	29360 ARIEL ST	SFR	1.00	522.78	412.70
900-410-003	29348 ARIEL ST	SFR	1.00	522.78	412.70
900-410-004	29336 ARIEL ST	SFR	1.00	522.78	412.70
900-410-005	29324 ARIEL ST	SFR	1.00	522.78	412.70
900-410-006	29312 ARIEL ST	SFR	1.00	522.78	412.70
900-410-007	29300 ARIEL ST	SFR	1.00	522.78	412.70
900-410-008	29288 ARIEL ST	SFR	1.00	522.78	412.70
900-410-009	29276 ARIEL ST	SFR	1.00	522.78	412.70
900-410-010	29264 ARIEL ST	SFR	1.00	522.78	412.70
900-410-011	29252 ARIEL ST	SFR	1.00	522.78	412.70
900-411-001	29255 ARIEL ST	SFR	1.00	522.78	412.70
900-411-002	29267 ARIEL ST	SFR	1.00	522.78	412.70
900-411-003	29279 ARIEL ST	SFR	1.00	522.78	412.70
900-411-004	29291 ARIEL ST	SFR	1.00	522.78	412.70
900-411-005	29303 ARIEL ST	SFR	1.00	522.78	412.70
900-411-006	29315 ARIEL ST	SFR	1.00	522.78	412.70
900-411-007	29327 ARIEL ST	SFR	1.00	522.78	412.70
900-411-008	29339 ARIEL ST	SFR	1.00	522.78	412.70
900-411-009	29351 ARIEL ST	SFR	1.00	522.78	412.70
900-411-010	29363 ARIEL ST	SFR	1.00	522.78	412.70
900-411-011	29375 ARIEL ST	SFR	1.00	522.78	412.70
900-420-001	29543 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-002	29555 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-003	29567 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-004	29579 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-005	29591 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-006	29603 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-007	29615 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-008	29627 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-009	29639 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-010	29651 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-011	29663 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-012	29675 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-013	29687 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-420-014	29699 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-421-001	29592 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-002	29580 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-003	29568 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-004	29556 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-005	29544 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-006	29532 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-007	29520 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-008	29508 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-009	29496 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-010	29484 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-011	29472 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-012	29460 HUBBLE WAY	SFR	1.00	522.78	412.70
900-421-013	29448 HUBBLE WAY	SFR	1.00	522.78	412.70
900-422-001	29456 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-002	29468 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-003	29480 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-004	29492 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-005	29504 ANDROMEDA ST	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-422-006	29516 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-007	29528 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-008	29540 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-009	29552 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-010	29564 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-011	29576 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-012	29588 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-013	29600 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-014	29612 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-015	29624 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-016	29636 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-017	29648 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-018	29560 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-019	29672 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-020	29684 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-422-021	29613 HUBBLE WAY	SFR	1.00	522.78	412.70
900-422-022	29679 HYPERION ST	SFR	1.00	522.78	412.70
900-422-023	29667 HYPERION ST	SFR	1.00	522.78	412.70
900-422-024	29655 HYPERION ST	SFR	1.00	522.78	412.70
900-422-025	29643 HYPERION ST	SFR	1.00	522.78	412.70
900-422-026	29631 HYPERION ST	SFR	1.00	522.78	412.70
900-422-027	29619 HYPERION ST	SFR	1.00	522.78	412.70
900-422-028	29607 HYPERION ST	SFR	1.00	522.78	412.70
900-422-029	29595 HYPERION ST	SFR	1.00	522.78	412.70
900-422-030	29583 HYPERION ST	SFR	1.00	522.78	412.70
900-422-031	29571 HYPERION ST	SFR	1.00	522.78	412.70
900-422-032	29559 HYPERION ST	SFR	1.00	522.78	412.70
900-422-033	29547 HYPERION ST	SFR	1.00	522.78	412.70
900-422-034	29535 HYPERION ST	SFR	1.00	522.78	412.70
900-422-035	29523 HYPERION ST	SFR	1.00	522.78	412.70
900-422-036	29511 HYPERION ST	SFR	1.00	522.78	412.70
900-422-037	29499 HYPERION ST	SFR	1.00	522.78	412.70
900-422-038	29487 HYPERION ST	SFR	1.00	522.78	412.70
900-422-039	29475 HYPERION ST	SFR	1.00	522.78	412.70
900-422-040	29463 HYPERION ST	SFR	1.00	522.78	412.70
900-422-041	29451 HYPERION ST	SFR	1.00	522.78	412.70
900-423-001	29517 HUBBLE WAY	SFR	1.00	522.78	412.70
900-423-002	29529 HUBBLE WAY	SFR	1.00	522.78	412.70
900-423-003	29541 HUBBLE WAY	SFR	1.00	522.78	412.70
900-423-004	29553 HUBBLE WAY	SFR	1.00	522.78	412.70
900-423-005	29565 HUBBLE WAY	SFR	1.00	522.78	412.70
900-423-006	29577 HUBBLE WAY	SFR	1.00	522.78	412.70
900-423-007	29589 HUBBLE WAY	SFR	1.00	522.78	412.70
900-423-008	29604 HYPERION ST	SFR	1.00	522.78	412.70
900-423-009	29592 HYPERION ST	SFR	1.00	522.78	412.70
900-423-010	29580 HYPERION ST	SFR	1.00	522.78	412.70
900-423-011	29568 HYPERION ST	SFR	1.00	522.78	412.70
900-423-012	29556 HYPERION ST	SFR	1.00	522.78	412.70
900-423-013	29544 HYPERION ST	SFR	1.00	522.78	412.70
900-423-014	29532 HYPERION ST	SFR	1.00	522.78	412.70
900-423-015	29520 HYPERION ST	SFR	1.00	522.78	412.70
900-430-001	29711 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-002	29723 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-003	29735 ANDROMEDA ST	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-430-004	29747 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-005	29759 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-006	29771 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-007	29783 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-008	29795 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-009	29807 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-010	29819 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-011	29831 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-430-012	29843 ADARA LN	SFR	1.00	522.78	412.70
900-430-013	29855 ADARA LN	SFR	1.00	522.78	412.70
900-430-014	29870 ADARA LN	SFR	1.00	522.78	412.70
900-430-015	29858 ADARA LN	SFR	1.00	522.78	412.70
900-430-016	29846 ADARA LN	SFR	1.00	522.78	412.70
900-431-001	29828 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-002	29816 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-003	29804 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-004	29792 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-005	29780 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-006	29785 AVIOR CT	SFR	1.00	522.78	412.70
900-431-007	29797 AVIOR CT	SFR	1.00	522.78	412.70
900-431-008	29809 AVIOR CT	SFR	1.00	522.78	412.70
900-431-009	29821 AVIOR CT	SFR	1.00	522.78	412.70
900-431-010	37420 INDUS PL	SFR	1.00	522.78	412.70
900-431-011	37408 INDUS PL	SFR	1.00	522.78	412.70
900-431-012	37403 INDUS PL	SFR	1.00	522.78	412.70
900-431-013	37415 INDUS PL	SFR	1.00	522.78	412.70
900-431-014	37427 INDUS PL	SFR	1.00	522.78	412.70
900-431-015	37439 INDUS PL	SFR	1.00	522.78	412.70
900-431-016	37451 INDUS PL	SFR	1.00	522.78	412.70
900-431-017	37463 INDUS PL	SFR	1.00	522.78	412.70
900-431-018	29756 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-019	29744 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-020	29732 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-431-021	37470 LUMIERE AVE	SFR	1.00	522.78	412.70
900-431-022	37458 LUMIERE AVE	SFR	1.00	522.78	412.70
900-431-023	37446 LUMIERE AVE	SFR	1.00	522.78	412.70
900-431-024	37434 LUMIERE AVE	SFR	1.00	522.78	412.70
900-431-025	37422 LUMIERE AVE	SFR	1.00	522.78	412.70
900-431-026	37410 LUMIERE AVE	SFR	1.00	522.78	412.70
900-431-027	29661 HUBBLE WAY	SFR	1.00	522.78	412.70
900-431-028	29673 HUBBLE WAY	SFR	1.00	522.78	412.70
900-431-029	29685 HUBBLE WAY	SFR	1.00	522.78	412.70
900-431-030	29697 HUBBLE WAY	SFR	1.00	522.78	412.70
900-431-031	29709 HUBBLE WAY	SFR	1.00	522.78	412.70
900-432-001	29696 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-432-002	29708 ANDROMEDA ST	SFR	1.00	522.78	412.70
900-432-003	37473 LUMIERE AVE	SFR	1.00	522.78	412.70
900-432-004	37461 LUMIERE AVE	SFR	1.00	522.78	412.70
900-432-005	37449 LUMIERE AVE	SFR	1.00	522.78	412.70
900-432-006	37437 LUMIERE AVE	SFR	1.00	522.78	412.70
900-432-007	37425 LUMIERE AVE	SFR	1.00	522.78	412.70
900-432-008	37413 LUMIERE AVE	SFR	1.00	522.78	412.70
900-432-009	29637 HUBBLE WAY	SFR	1.00	522.78	412.70
900-432-010	29625 HUBBLE WAY	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-440-002	NO SITUS AVAILABLE	PNR	1.18	616.88	486.98
900-440-003	NO SITUS AVAILABLE	PNR	1.18	616.88	486.98
900-440-004	NO SITUS AVAILABLE	PNR	2.74	1,432.42	1,130.80
900-440-005	NO SITUS AVAILABLE	PNR	1.54	805.08	635.56
900-440-006	NO SITUS AVAILABLE	PNR	7.62	3,983.58	3,144.78
900-440-007	NO SITUS AVAILABLE	PNR	2.22	1,160.57	916.20
900-440-008	NO SITUS AVAILABLE	PNR	2.08	1,087.38	858.42
900-441-001	37495 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-002	37483 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-003	37471 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-004	37459 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-005	37447 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-006	37435 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-007	37423 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-008	37411 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-009	37399 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-010	37387 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-011	37375 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-012	37363 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-013	37351 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-014	37339 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-015	37327 HYDRUS PL	SFR	1.00	522.78	412.70
900-441-016	37315 HYDRUS PL	SFR	1.00	522.78	412.70
900-442-001	37364 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-002	37376 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-003	37388 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-004	37400 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-005	37412 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-006	37424 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-007	37436 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-008	37448 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-009	37460 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-010	37472 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-442-011	37484 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-001	37493 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-002	37481 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-003	37469 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-004	37457 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-005	37445 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-006	37433 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-007	37421 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-008	37409 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-009	37397 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-010	37385 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-011	37373 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-012	37361 STELLARVIEW AVE	SFR	1.00	522.78	412.70
900-443-013	37312 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-014	37324 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-015	37336 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-016	37348 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-017	37360 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-018	37372 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-019	37384 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-020	37396 HYDRUS PL	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-443-021	37408 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-022	37420 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-023	37432 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-024	37444 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-025	37456 HYDRUS PL	SFR	1.00	522.78	412.70
900-443-026	37468 HYDRUS PL	SFR	1.00	522.78	412.70
900-450-001	29688 HUBBLE WAY	SFR	1.00	522.78	412.70
900-450-002	29676 HUBBLE WAY	SFR	1.00	522.78	412.70
900-450-003	29664 HUBBLE WAY	SFR	1.00	522.78	412.70
900-450-004	29652 HUBBLE WAY	SFR	1.00	522.78	412.70
900-450-005	29640 HUBBLE WAY	SFR	1.00	522.78	412.70
900-450-006	29628 HUBBLE WAY	SFR	1.00	522.78	412.70
900-450-007	29616 HUBBLE WAY	SFR	1.00	522.78	412.70
900-450-008	29604 HUBBLE WAY	SFR	1.00	522.78	412.70
900-451-001	29689 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-002	29677 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-003	29665 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-004	29653 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-005	29641 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-006	29629 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-007	29617 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-008	29605 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-009	29593 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-010	29569 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-011	29557 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-012	29545 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-013	29533 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-014	29521 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-015	29509 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-016	29497 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-017	29485 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-451-018	29473 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-452-001	29530 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-452-002	29542 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-452-003	29554 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-452-004	29566 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-452-005	29578 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-001	29602 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-002	29614 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-003	29626 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-004	29638 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-005	29650 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-006	29662 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-007	29674 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-453-008	29686 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-460-001	29773 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-460-002	29761 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-460-003	29749 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-460-004	29737 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-460-005	29725 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-460-006	29713 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-461-001	29710 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-461-002	29722 BIG DIPPER WAY	SFR	1.00	522.78	412.70
900-461-003	29734 BIG DIPPER WAY	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-462-001	37303 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-002	37291 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-003	37279 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-004	37267 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-005	37255 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-006	37243 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-007	37252 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-008	37264 HYDRUS PL	SFR	1.00	522.78	412.70
900-462-009	37401 LA LUNE AVE	SFR	1.00	522.78	412.70
900-462-010	37389 LA LUNE AVE	SFR	1.00	522.78	412.70
900-462-011	37377 LA LUNE AVE	SFR	1.00	522.78	412.70
900-462-012	37363 LA LUNE AVE	SFR	1.00	522.78	412.70
900-462-013	37353 LA LUNE AVE	SFR	1.00	522.78	412.70
900-462-014	29793 SCEPTRUM ST	SFR	1.00	522.78	412.70
900-462-015	29781 SCEPTRUM ST	SFR	1.00	522.78	412.70
900-462-016	29769 SCEPTRUM ST	SFR	1.00	522.78	412.70
900-463-001	29772 SCEPTRUM ST	SFR	1.00	522.78	412.70
900-463-002	29784 SCEPTRUM ST	SFR	1.00	522.78	412.70
900-463-003	37329 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-004	37317 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-005	37305 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-006	37293 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-007	29787 ALYA CT	SFR	1.00	522.78	412.70
900-463-008	29775 ALYA CT	SFR	1.00	522.78	412.70
900-463-009	29770 ALYA CT	SFR	1.00	522.78	412.70
900-463-010	29782 ALYA CT	SFR	1.00	522.78	412.70
900-463-011	29794 ALYA CT	SFR	1.00	522.78	412.70
900-463-012	37269 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-013	37257 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-014	37245 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-015	37233 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-016	37231 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-017	29809 LYRA CT	SFR	1.00	522.78	412.70
900-463-018	29797 LYRA CT	SFR	1.00	522.78	412.70
900-463-019	29785 LYRA CT	SFR	1.00	522.78	412.70
900-463-020	29773 LYRA CT	SFR	1.00	522.78	412.70
900-463-021	29776 LYRA CT	SFR	1.00	522.78	412.70
900-463-022	29788 LYRA CT	SFR	1.00	522.78	412.70
900-463-023	29800 LYRA CT	SFR	1.00	522.78	412.70
900-463-024	29812 LYRA CT	SFR	1.00	522.78	412.70
900-463-025	37197 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-026	37185 LA LUNE AVE	SFR	1.00	522.78	412.70
900-463-027	37173 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-001	37194 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-002	37206 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-003	37218 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-004	37230 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-005	37242 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-006	37254 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-007	37266 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-008	37278 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-009	37290 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-010	37302 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-011	37314 LA LUNE AVE	SFR	1.00	522.78	412.70

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-464-012	37326 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-013	37338 LA LUNE AVE	SFR	1.00	522.78	412.70
900-464-014	37350 LA LUNE AVE	SFR	1.00	522.78	412.70
900-470-001	29833 CIRCINUS ST	SFR	1.00	522.78	412.70
900-470-002	29841 CIRCINUS ST	SFR	1.00	522.78	412.70
900-470-003	29849 CIRCINUS ST	SFR	1.00	522.78	412.70
900-470-004	29859 CIRCINUS ST	SFR	1.00	522.78	412.70
900-470-005	29865 CIRCINUS ST	SFR	1.00	522.78	412.70
900-470-006	29881 CIRCINUS ST	SFR	1.00	522.78	412.70
900-470-007	29889 CIRCINUS ST	SFR	1.00	522.78	412.70
900-471-001	36958 LUMID LN	SFR	1.00	522.78	412.70
900-471-002	36950 LUMID LN	SFR	1.00	522.78	412.70
900-471-003	36942 LUMID LN	SFR	1.00	522.78	412.70
900-471-004	36934 LUMID LN	SFR	1.00	522.78	412.70
900-471-005	36931 LUMID LN	SFR	1.00	522.78	412.70
900-471-006	29840 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-007	29832 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-008	29824 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-009	29808 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-010	29795 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-011	29803 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-012	29811 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-013	29819 TALITHA WAY	SFR	1.00	522.78	412.70
900-471-014	29820 CIRCINUS ST	SFR	1.00	522.78	412.70
900-471-015	29812 CIRCINUS ST	SFR	1.00	522.78	412.70
900-471-016	29804 CIRCINUS ST	SFR	1.00	522.78	412.70
900-471-017	29796 CIRCINUS ST	SFR	1.00	522.78	412.70
900-471-018	29788 CIRCINUS ST	SFR	1.00	522.78	412.70
900-472-001	29835 TALITHA WAY	SFR	1.00	522.78	412.70
900-472-002	29843 TALITHA WAY	SFR	1.00	522.78	412.70
900-472-003	29851 TALITHA WAY	SFR	1.00	522.78	412.70
900-472-004	29859 TALITHA WAY	SFR	1.00	522.78	412.70
900-472-005	29867 TALITHA WAY	SFR	1.00	522.78	412.70
900-472-006	29876 CIRCINUS ST	SFR	1.00	522.78	412.70
900-472-007	29868 CIRCINUS ST	SFR	1.00	522.78	412.70
900-472-008	29860 CIRCINUS ST	SFR	1.00	522.78	412.70
900-472-009	29852 CIRCINUS ST	SFR	1.00	522.78	412.70
900-472-010	29844 CIRCINUS ST	SFR	1.00	522.78	412.70
900-472-011	29836 CIRCINUS ST	SFR	1.00	522.78	412.70
900-473-001	29791 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-002	29783 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-003	29775 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-004	29767 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-005	29759 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-006	29751 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-007	29743 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-008	29735 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-009	29727 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-010	29719 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-473-011	29711 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-474-001	29746 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-474-002	29754 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-474-003	29762 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-474-004	29770 MAXMILLIAN AVE	SFR	1.00	522.78	412.70

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-474-005	29778 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-474-006	29786 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-474-007	29794 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-474-008	29795 SKI RANCH ST	SFR	1.00	522.78	412.70
900-474-009	29787 SKI RANCH ST	SFR	1.00	522.78	412.70
900-474-010	29779 SKI RANCH ST	SFR	1.00	522.78	412.70
900-474-011	29771 SKI RANCH ST	SFR	1.00	522.78	412.70
900-474-012	29763 SKI RANCH ST	SFR	1.00	522.78	412.70
900-474-013	29755 SKI RANCH ST	SFR	1.00	522.78	412.70
900-474-014	29747 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-001	29728 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-002	29736 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-003	29744 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-004	29752 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-005	29768 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-006	29776 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-007	34501 STAGE RD	SFR	1.00	522.78	412.70
900-475-008	29792 SKI RANCH ST	SFR	1.00	522.78	412.70
900-475-009	36915 MOONBROOK LN	SFR	1.00	522.78	412.70
900-475-010	36907 MOONBROOK LN	SFR	1.00	522.78	412.70
900-475-011	36899 MOONBROOK LN	SFR	1.00	522.78	412.70
900-475-012	36891 MOONBROOK LN	SFR	1.00	522.78	412.70
900-475-013	36902 MOONBROOK LN	SFR	1.00	522.78	412.70
900-475-014	36910 MOONBROOK LN	SFR	1.00	522.78	412.70
900-475-015	36918 MOONBROOK LN	SFR	1.00	522.78	412.70
900-475-016	36911 CENTAURUS PL	SFR	1.00	522.78	412.70
900-475-017	36903 CENTAURUS PL	SFR	1.00	522.78	412.70
900-475-018	36895 CENTAURUS PL	SFR	1.00	522.78	412.70
900-480-001	29897 CIRCINUS ST	SFR	1.00	522.78	412.70
900-480-002	29905 CIRCINUS ST	SFR	1.00	522.78	412.70
900-480-003	29913 CIRCINUS ST	SFR	1.00	522.78	412.70
900-480-004	29921 CIRCINUS ST	SFR	1.00	522.78	412.70
900-480-005	29929 CIRCINUS ST	SFR	1.00	522.78	412.70
900-481-001	37020 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-002	37012 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-003	37004 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-004	36996 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-005	36988 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-006	36980 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-007	36972 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-008	36964 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-009	36956 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-010	36948 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-011	36940 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-012	36932 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-013	36929 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-014	36937 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-015	36945 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-016	36953 ASCELLA LN	SFR	1.00	522.78	412.70
900-481-017	36954 CORDELLA LN	SFR	1.00	522.78	412.70
900-481-018	36946 CORDELLA LN	SFR	1.00	522.78	412.70
900-481-019	36938 CORDELLA LN	SFR	1.00	522.78	412.70
900-481-020	36930 CORDELLA LN	SFR	1.00	522.78	412.70
900-481-021	36927 CORDELLA LN	SFR	1.00	522.78	412.70

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900-481-022	36935 CORDELLA LN	SFR	1.00	522.78	412.70
900-481-023	36943 CORDELLA LN	SFR	1.00	522.78	412.70
900-481-024	36951 CORDELLA LN	SFR	1.00	522.78	412.70
900-482-001	29875 TALITHA WAY	SFR	1.00	522.78	412.70
900-482-002	29883 TALITHA WAY	SFR	1.00	522.78	412.70
900-482-003	29891 TALITHA WAY	SFR	1.00	522.78	412.70
900-482-004	29899 TALITHA WAY	SFR	1.00	522.78	412.70
900-482-005	29907 TALITHA WAY	SFR	1.00	522.78	412.70
900-482-006	29915 TALITHA WAY	SFR	1.00	522.78	412.70
900-482-007	29923 TALITHA WAY	SFR	1.00	522.78	412.70
900-482-008	29924 CIRCINUS WAY	SFR	1.00	522.78	412.70
900-482-009	29916 CIRCINUS ST	SFR	1.00	522.78	412.70
900-482-010	29908 CIRCINUS ST	SFR	1.00	522.78	412.70
900-482-011	29900 CIRCINUS ST	SFR	1.00	522.78	412.70
900-482-012	29892 CIRCINUS ST	SFR	1.00	522.78	412.70
900-482-013	29884 CIRCINUS ST	SFR	1.00	522.78	412.70
900-483-001	36898 CENTAURUS PL	SFR	1.00	522.78	412.70
900-483-002	36906 CENTAURUS PL	SFR	1.00	522.78	412.70
900-483-003	36914 CENTAURUS PL	SFR	1.00	522.78	412.70
900-483-004	36913 CAPRICIOUS LN	SFR	1.00	522.78	412.70
900-483-005	36905 CAPRICIOUS LN	SFR	1.00	522.78	412.70
900-483-006	36892 CAPRICIOUS LN	SFR	1.00	522.78	412.70
900-483-007	36900 CAPRICIOUS LN	SFR	1.00	522.78	412.70
900-483-008	36908 CAPRICIOUS LN	SFR	1.00	522.78	412.70
900-483-009	36916 CAPRICIOUS LN	SFR	1.00	522.78	412.70
900-490-001	36830 PICTOR AVE	SFR	1.00	522.78	412.70
900-490-002	36822 PICTOR AVE	SFR	1.00	522.78	412.70
900-490-003	36814 PICTOR AVE	SFR	1.00	522.78	412.70
900-490-004	36806 PICTOR AVE	SFR	1.00	522.78	412.70
900-490-005	36798 PICTOR AVE	SFR	1.00	522.78	412.70
900-490-006	36790 PICTOR AVE	SFR	1.00	522.78	412.70
900-490-007	36782 PICTOR AVE	SFR	1.00	522.78	412.70
900-490-008	36810 GEMINA AVE	SFR	1.00	522.78	412.70
900-490-009	36802 GEMINA AVE	SFR	1.00	522.78	412.70
900-490-010	36794 GEMINA AVE	SFR	1.00	522.78	412.70
900-490-011	36786 GEMINA AVE	SFR	1.00	522.78	412.70
900-490-012	36778 GEMINA AVE	SFR	1.00	522.78	412.70
900-490-013	36733 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-014	36741 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-015	36749 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-016	36757 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-017	36765 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-018	36773 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-019	36781 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-020	36789 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-021	36797 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-022	36805 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-023	36813 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-024	36821 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-025	36829 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-026	36837 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-027	36845 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-028	36853 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-029	36861 MAXMILLIAN AVE	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
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Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-490-030	36869 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-490-031	36877 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-001	36868 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-002	36860 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-003	36852 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-004	36844 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-005	36836 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-006	36828 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-007	36820 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-008	36812 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-009	36804 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-010	36796 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-011	36788 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-012	36780 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-013	36772 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-014	36764 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-491-015	36797 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-016	36805 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-017	36813 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-018	36821 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-019	36829 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-020	36837 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-021	36845 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-022	36853 GEMINA AVE	SFR	1.00	522.78	412.70
900-491-023	36864 QUASAR PL	SFR	1.00	522.78	412.70
900-491-024	36856 QUASAR PL	SFR	1.00	522.78	412.70
900-491-025	36848 QUASAR PL	SFR	1.00	522.78	412.70
900-491-026	36840 QUASAR PL	SFR	1.00	522.78	412.70
900-491-027	36843 QUASAR PL	SFR	1.00	522.78	412.70
900-491-028	36851 QUASAR PL	SFR	1.00	522.78	412.70
900-491-029	36859 QUASAR PL	SFR	1.00	522.78	412.70
900-491-030	36867 QUASAR PL	SFR	1.00	522.78	412.70
900-491-031	36875 QUASAR PL	SFR	1.00	522.78	412.70
900-492-001	36811 PICTOR AVE	SFR	1.00	522.78	412.70
900-492-002	36819 PICTOR AVE	SFR	1.00	522.78	412.70
900-492-003	36827 PICTOR AVE	SFR	1.00	522.78	412.70
900-492-004	36835 PICTOR AVE	SFR	1.00	522.78	412.70
900-492-005	36843 PICTOR AVE	SFR	1.00	522.78	412.70
900-492-006	36858 GEMINA AVE	SFR	1.00	522.78	412.70
900-492-007	36850 GEMINA AVE	SFR	1.00	522.78	412.70
900-492-008	36842 GEMINA AVE	SFR	1.00	522.78	412.70
900-492-009	36834 GEMINA AVE	SFR	1.00	522.78	412.70
900-492-010	36826 GEMINA AVE	SFR	1.00	522.78	412.70
900-500-001	29703 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-002	29695 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-003	29687 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-004	29679 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-005	29671 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-006	29663 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-007	29655 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-008	29647 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-009	29639 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-010	29631 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-500-011	29623 MAXMILLIAN AVE	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
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(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-501-001	36892 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-501-002	36884 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-501-003	36876 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-501-004	36883 QUASAR PL	SFR	1.00	522.78	412.70
900-501-005	36891 QUASAR PL	SFR	1.00	522.78	412.70
900-501-006	36899 QUASAR PL	SFR	1.00	522.78	412.70
900-502-001	36861 GEMINA AVE	SFR	1.00	522.78	412.70
900-502-002	36869 GEMINA AVE	SFR	1.00	522.78	412.70
900-502-003	36877 GEMINA AVE	SFR	1.00	522.78	412.70
900-502-004	36885 GEMINA AVE	SFR	1.00	522.78	412.70
900-502-005	36893 GEMINA AVE	SFR	1.00	522.78	412.70
900-502-006	36896 QUASAR PL	SFR	1.00	522.78	412.70
900-502-007	36888 QUASAR PL	SFR	1.00	522.78	412.70
900-502-008	36880 QUASAR PL	SFR	1.00	522.78	412.70
900-502-009	36872 QUASAR PL	SFR	1.00	522.78	412.70
900-503-001	36851 PICTOR AVE	SFR	1.00	522.78	412.70
900-503-002	36859 PICTOR AVE	SFR	1.00	522.78	412.70
900-503-003	36867 PICTOR AVE	SFR	1.00	522.78	412.70
900-503-004	36875 PICTOR AVE	SFR	1.00	522.78	412.70
900-503-005	36883 PICTOR AVE	SFR	1.00	522.78	412.70
900-503-006	36891 PICTOR AVE	SFR	1.00	522.78	412.70
900-503-007	29712 SKI RANCH ST	SFR	1.00	522.78	412.70
900-503-008	29704 SKI RANCH ST	SFR	1.00	522.78	412.70
900-503-009	29696 SKI RANCH ST	SFR	1.00	522.78	412.70
900-503-010	29688 SKI RANCH ST	SFR	1.00	522.78	412.70
900-503-011	36890 GEMINA AVE	SFR	1.00	522.78	412.70
900-503-012	36882 GEMINA AVE	SFR	1.00	522.78	412.70
900-503-013	36874 GEMINA AVE	SFR	1.00	522.78	412.70
900-503-014	36866 GEMINA AVE	SFR	1.00	522.78	412.70
900-504-001	36894 PICTOR AVE	SFR	1.00	522.78	412.70
900-504-002	36886 PICTOR AVE	SFR	1.00	522.78	412.70
900-504-003	36878 PICTOR AVE	SFR	1.00	522.78	412.70
900-504-004	36870 PICTOR AVE	SFR	1.00	522.78	412.70
900-504-005	36862 PICTOR AVE	SFR	1.00	522.78	412.70
900-504-006	36854 PICTOR AVE	SFR	1.00	522.78	412.70
900-504-007	36846 PICTOR AVE	SFR	1.00	522.78	412.70
900-504-008	36838 PICTOR AVE	SFR	1.00	522.78	412.70
900-505-001	29659 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-002	29667 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-003	29675 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-004	29683 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-005	29691 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-006	29699 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-007	29707 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-008	29715 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-009	29723 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-010	29731 SKI RANCH ST	SFR	1.00	522.78	412.70
900-505-011	29730 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-012	29722 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-013	29714 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-014	29706 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-015	29698 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-016	29690 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-017	29682 MAXMILLIAN AVE	SFR	1.00	522.78	412.70

City of Murrieta
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Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-505-018	29674 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-019	29666 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-505-020	29658 MAXMILLIAN AVE	SFR	1.00	522.78	412.70
900-510-001	37189 TUCANA PL	SFR	1.00	522.78	412.70
900-510-002	37181 TUCANA PL	SFR	1.00	522.78	412.70
900-510-003	37173 TUCANA PL	SFR	1.00	522.78	412.70
900-510-004	37165 TUCANA PL	SFR	1.00	522.78	412.70
900-510-005	37098 TUCANA PL	SFR	1.00	522.78	412.70
900-510-006	37106 TUCANA PL	SFR	1.00	522.78	412.70
900-510-007	37114 TUCANA PL	SFR	1.00	522.78	412.70
900-510-008	37122 TUCANA PL	SFR	1.00	522.78	412.70
900-510-009	37130 TUCANA PL	SFR	1.00	522.78	412.70
900-510-010	37138 TUCANA PL	SFR	1.00	522.78	412.70
900-510-011	37146 TUCANA PL	SFR	1.00	522.78	412.70
900-510-012	37154 TUCANA PL	SFR	1.00	522.78	412.70
900-510-013	37162 TUCANA PL	SFR	1.00	522.78	412.70
900-510-014	37170 TUCANA PL	SFR	1.00	522.78	412.70
900-510-015	37178 TUCANA PL	SFR	1.00	522.78	412.70
900-510-016	37186 TUCANA PL	SFR	1.00	522.78	412.70
900-510-017	37201 GALILEO LN	SFR	1.00	522.78	412.70
900-510-018	37193 GALILEO LN	SFR	1.00	522.78	412.70
900-510-019	37185 GALILEO LN	SFR	1.00	522.78	412.70
900-510-020	37177 GALILEO LN	SFR	1.00	522.78	412.70
900-510-021	37169 GALILEO LN	SFR	1.00	522.78	412.70
900-510-022	37161 GALILEO LN	SFR	1.00	522.78	412.70
900-510-023	37153 GALILEO LN	SFR	1.00	522.78	412.70
900-510-024	37145 GALILEO LN	SFR	1.00	522.78	412.70
900-510-025	37137 GALILEO LN	SFR	1.00	522.78	412.70
900-510-026	37129 GALILEO LN	SFR	1.00	522.78	412.70
900-510-027	37121 GALILEO LN	SFR	1.00	522.78	412.70
900-510-028	37113 GALILEO LN	SFR	1.00	522.78	412.70
900-510-029	37105 GALILEO LN	SFR	1.00	522.78	412.70
900-510-030	29770 TUCANA PL	SFR	1.00	522.78	412.70
900-510-031	29778 TUCANA PL	SFR	1.00	522.78	412.70
900-510-032	29786 TUCANA PL	SFR	1.00	522.78	412.70
900-510-033	29794 TUCANA PL	SFR	1.00	522.78	412.70
900-510-034	29802 TUCANA PL	SFR	1.00	522.78	412.70
900-510-035	29810 TUCANA PL	SFR	1.00	522.78	412.70
900-510-036	29818 TUCANA PL	SFR	1.00	522.78	412.70
900-510-037	29826 TUCANA PL	SFR	1.00	522.78	412.70
900-510-038	29834 TUCANA PL	SFR	1.00	522.78	412.70
900-510-039	29842 TUCANA PL	SFR	1.00	522.78	412.70
900-510-040	29850 TUCANA PL	SFR	1.00	522.78	412.70
900-510-041	29858 TUCANA PL	SFR	1.00	522.78	412.70
900-510-042	29866 TUCANA PL	SFR	1.00	522.78	412.70
900-510-043	29874 TUCANA PL	SFR	1.00	522.78	412.70
900-510-044	29882 TUCANA PL	SFR	1.00	522.78	412.70
900-510-045	29890 TUCANA PL	SFR	1.00	522.78	412.70
900-510-046	29898 TUCANA PL	SFR	1.00	522.78	412.70
900-510-047	29906 TUCANA PL	SFR	1.00	522.78	412.70
900-510-048	29914 TUCANA PL	SFR	1.00	522.78	412.70
900-510-049	29922 TUCANA PL	SFR	1.00	522.78	412.70
900-510-050	37060 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-051	37052 ASCELLA LN	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-510-052	37044 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-053	37068 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-054	37076 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-055	37084 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-056	37092 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-057	37100 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-058	37108 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-059	37116 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-060	37124 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-061	37132 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-062	37140 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-063	37148 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-064	37156 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-065	37164 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-066	37191 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-067	37183 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-068	37175 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-069	37167 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-070	37159 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-071	37151 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-072	37143 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-073	37135 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-074	37127 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-075	37119 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-076	37111 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-077	37103 ASCELLA LN	SFR	1.00	522.78	412.70
900-510-078	37072 GALILEO LN	SFR	1.00	522.78	412.70
900-510-079	37080 GALILEO LN	SFR	1.00	522.78	412.70
900-510-080	37088 GALILEO LN	SFR	1.00	522.78	412.70
900-510-081	37096 GALILEO LN	SFR	1.00	522.78	412.70
900-510-082	37104 GALILEO LN	SFR	1.00	522.78	412.70
900-510-083	37112 GALILEO LN	SFR	1.00	522.78	412.70
900-510-084	37120 GALILEO LN	SFR	1.00	522.78	412.70
900-510-085	37128 GALILEO LN	SFR	1.00	522.78	412.70
900-510-086	37136 GALILEO LN	SFR	1.00	522.78	412.70
900-510-087	37144 GALILEO LN	SFR	1.00	522.78	412.70
900-510-088	37152 GALILEO LN	SFR	1.00	522.78	412.70
900-510-089	37160 GALILEO LN	SFR	1.00	522.78	412.70
900-520-001	28939 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-002	29831 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-003	29823 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-004	29815 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-005	29807 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-006	29799 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-007	29791 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-008	29783 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-009	29775 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-010	29767 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-011	29759 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-012	29751 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-013	37293 TUCANA PL	SFR	1.00	522.78	412.70
900-520-014	37285 TUCANA PL	SFR	1.00	522.78	412.70
900-520-015	37277 TUCANA PL	SFR	1.00	522.78	412.70
900-520-016	37269 TUCANA PL	SFR	1.00	522.78	412.70

City of Murrieta
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Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-520-017	37261 TUCANA PL	SFR	1.00	522.78	412.70
900-520-018	37253 TUCANA PL	SFR	1.00	522.78	412.70
900-520-019	37245 TUCANA PL	SFR	1.00	522.78	412.70
900-520-020	37237 TUCANA PL	SFR	1.00	522.78	412.70
900-520-021	37229 TUCANA PL	SFR	1.00	522.78	412.70
900-520-022	37221 TUCANA PL	SFR	1.00	522.78	412.70
900-520-023	37213 TUCANA PL	SFR	1.00	522.78	412.70
900-520-024	37205 TUCANA PL	SFR	1.00	522.78	412.70
900-520-025	37197 TUCANA PL	SFR	1.00	522.78	412.70
900-520-026	37194 TUCANA PL	SFR	1.00	522.78	412.70
900-520-027	37202 TUCANA PL	SFR	1.00	522.78	412.70
900-520-028	37210 TUCANA PL	SFR	1.00	522.78	412.70
900-520-029	37218 TUCANA PL	SFR	1.00	522.78	412.70
900-520-030	37226 TUCANA PL	SFR	1.00	522.78	412.70
900-520-031	37234 TUCANA PL	SFR	1.00	522.78	412.70
900-520-032	37242 TUCANA PL	SFR	1.00	522.78	412.70
900-520-033	37258 TUCANA PL	SFR	1.00	522.78	412.70
900-520-034	37250 TUCANA PL	SFR	1.00	522.78	412.70
900-520-035	37266 TUCANA PL	SFR	1.00	522.78	412.70
900-520-036	37274 TUCANA PL	SFR	1.00	522.78	412.70
900-520-037	37282 TUCANA PL	SFR	1.00	522.78	412.70
900-520-038	37297 GALILEO LN	SFR	1.00	522.78	412.70
900-520-039	37289 GALILEO LN	SFR	1.00	522.78	412.70
900-520-040	37281 GALILEO LN	SFR	1.00	522.78	412.70
900-520-041	37273 GALILEO LN	SFR	1.00	522.78	412.70
900-520-042	37265 GALILEO LN	SFR	1.00	522.78	412.70
900-520-043	37257 GALILEO LN	SFR	1.00	522.78	412.70
900-520-044	37249 GALILEO LN	SFR	1.00	522.78	412.70
900-520-045	37241 GALILEO LN	SFR	1.00	522.78	412.70
900-520-046	37233 GALILEO LN	SFR	1.00	522.78	412.70
900-520-047	37225 GALILEO LN	SFR	1.00	522.78	412.70
900-520-048	37217 GALILEO LN	SFR	1.00	522.78	412.70
900-520-049	37209 GALILEO LN	SFR	1.00	522.78	412.70
900-520-050	37172 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-051	37180 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-052	37188 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-053	37196 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-054	37204 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-055	37212 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-056	37220 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-057	37228 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-058	37236 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-059	37244 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-060	37252 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-061	37260 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-062	37268 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-063	37276 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-064	37284 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-065	37292 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-066	37300 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-067	37295 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-068	37287 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-069	37279 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-070	37271 ASCELLA LN	SFR	1.00	522.78	412.70

City of Murrieta
Murrieta Landscaping and Lighting District No. 21 (Murrieta Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
900-520-071	37263 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-072	37255 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-073	37247 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-074	37239 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-075	37231 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-076	37223 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-077	37215 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-078	37207 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-079	37199 ASCELLA LN	SFR	1.00	522.78	412.70
900-520-080	37168 GALILEO LN	SFR	1.00	522.78	412.70
900-520-081	37176 GALILEO LN	SFR	1.00	522.78	412.70
900-520-082	37184 GALILEO LN	SFR	1.00	522.78	412.70
900-520-083	37192 GALILEO LN	SFR	1.00	522.78	412.70
900-520-084	37200 GALILEO LN	SFR	1.00	522.78	412.70
900-520-085	37208 GALILEO LN	SFR	1.00	522.78	412.70
900-520-086	37216 GALILEO LN	SFR	1.00	522.78	412.70
900-520-087	37224 GALILEO LN	SFR	1.00	522.78	412.70
Total			784.56	\$410,152.28	\$323,787.92
Parcels					773

City of Murrieta
Murrieta Landscaping and Lighting District No. 22 (US Homes)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-320-001	30047 COUPLES AVE	SFR	1.00	\$76.09	\$71.72
908-320-002	30037 COUPLES AVE	SFR	1.00	76.09	71.72
908-320-003	30027 COUPLES AVE	SFR	1.00	76.09	71.72
908-320-004	30017 COUPLES AVE	SFR	1.00	76.09	71.72
908-320-005	30004 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-006	30014 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-007	30024 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-008	30034 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-009	30044 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-010	30054 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-011	30064 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-012	30074 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-013	30084 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-014	30094 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-015	30104 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-016	30114 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-017	30175 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-018	30165 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-019	30155 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-020	30145 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-021	30135 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-022	30115 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-023	30105 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-024	30095 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-025	30085 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-026	30075 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-027	30065 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-028	30055 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-029	30045 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-030	30035 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-031	30025 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-032	30015 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-033	30005 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-034	29995 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-035	29985 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-036	29975 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-037	29965 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-038	29955 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-039	29945 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-040	29935 MICKELSON WAY	SFR	1.00	76.09	71.72
908-320-041	29914 MASTERS DR	SFR	1.00	76.09	71.72
908-320-042	29904 MASTERS DR	SFR	1.00	76.09	71.72
908-320-043	29894 MASTERS DR	SFR	1.00	76.09	71.72
908-320-044	29884 MASTERS DR	SFR	1.00	76.09	71.72
908-320-045	29874 MASTERS DR	SFR	1.00	76.09	71.72
908-320-046	29864 MASTERS DR	SFR	1.00	76.09	71.72
908-320-047	29854 MASTERS DR	SFR	1.00	76.09	71.72
908-320-048	29844 MASTERS DR	SFR	1.00	76.09	71.72
908-320-049	29834 MASTERS DR	SFR	1.00	76.09	71.72
908-320-050	29824 MASTERS DR	SFR	1.00	76.09	71.72
908-320-051	29814 MASTERS DR	SFR	1.00	76.09	71.72
908-320-052	29804 MASTERS DR	SFR	1.00	76.09	71.72
908-320-053	29794 MASTERS DR	SFR	1.00	76.09	71.72
908-320-054	29784 MASTERS DR	SFR	1.00	76.09	71.72

City of Murrieta
Murrieta Landscaping and Lighting District No. 22 (US Homes)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-320-055	29774 MASTERS DR	SFR	1.00	76.09	71.72
908-320-056	29764 MASTERS DR	SFR	1.00	76.09	71.72
908-321-001	29785 MASTERS DR	SFR	1.00	76.09	71.72
908-321-002	29805 MASTERS DR	SFR	1.00	76.09	71.72
908-321-003	29825 MASTERS DR	SFR	1.00	76.09	71.72
908-321-004	29875 MASTERS DR	SFR	1.00	76.09	71.72
908-321-005	29885 MASTERS DR	SFR	1.00	76.09	71.72
908-321-006	29895 MASTERS DR	SFR	1.00	76.09	71.72
908-321-007	29964 MICKELSON WAY	SFR	1.00	76.09	71.72
908-321-008	29974 MICKELSON DR	SFR	1.00	76.09	71.72
908-321-009	29998 COUPLES AVE	SFR	1.00	76.09	71.72
908-321-010	30008 COUPLES AVE	SFR	1.00	76.09	71.72
908-321-011	30018 COUPLES AVE	SFR	1.00	76.09	71.72
908-321-012	30028 COUPLES AVE	SFR	1.00	76.09	71.72
908-321-013	30038 COUPLES AVE	SFR	1.00	76.09	71.72
908-321-014	30048 COUPLES AVE	SFR	1.00	76.09	71.72
908-410-001	29449 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-002	29473 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-003	29485 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-004	29497 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-005	29509 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-006	29521 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-007	29533 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-008	29545 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-009	29557 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-010	29581 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-011	29583 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-012	29605 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-013	29617 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-014	29629 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-015	29641 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-016	29653 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-017	29665 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-018	29626 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-019	29614 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-020	29602 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-021	29590 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-022	29580 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-023	29568 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-024	29544 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-025	29520 BRANWIN ST	SFR	1.00	76.09	71.72
908-410-026	38528 ROYAL BURGH DR	SFR	1.00	76.09	71.72
908-410-027	38518 ROYAL BURGH DR	SFR	1.00	76.09	71.72
908-410-028	38508 ROYAL BURGH DR	SFR	1.00	76.09	71.72
908-411-001	29460 BRANWIN ST	SFR	1.00	76.09	71.72
908-411-002	29472 BRANWIN ST	SFR	1.00	76.09	71.72
908-411-003	29484 BRANWIN ST	SFR	1.00	76.09	71.72
908-411-004	29496 BRANWIN ST	SFR	1.00	76.09	71.72
908-411-005	38525 ROYAL BURGH DR	SFR	1.00	76.09	71.72
908-411-006	38515 ROYAL BURGH DR	SFR	1.00	76.09	71.72
908-411-007	38505 ROYAL BURGH DR	SFR	1.00	76.09	71.72
908-411-008	38485 ROYAL BURGH DR	SFR	1.00	76.09	71.72
Total			106.00	\$8,065.13	\$7,602.32
Parcels					106

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-580-001	40250 JONAH WAY	SFR	1.00	\$554.77	\$356.08
916-580-002	40238 JONAH WAY	SFR	1.00	554.77	356.08
916-580-003	40226 JONAH WAY	SFR	1.00	554.77	356.08
916-580-004	40214 JONAH WAY	SFR	1.00	554.77	356.08
916-580-005	40202 JONAH WAY	SFR	1.00	554.77	356.08
916-580-006	40190 JONAH WAY	SFR	1.00	554.77	356.08
916-580-007	40178 JONAH WAY	SFR	1.00	554.77	356.08
916-580-008	40166 JONAH WAY	SFR	1.00	554.77	356.08
916-580-009	40154 JONAH WAY	SFR	1.00	554.77	356.08
916-580-010	40142 JONAH WAY	SFR	1.00	554.77	356.08
916-580-011	40130 JONAH WAY	SFR	1.00	554.77	356.08
916-581-001	40117 JAYLENE ST	SFR	1.00	554.77	356.08
916-581-002	40129 JAYLENE ST	SFR	1.00	554.77	356.08
916-581-003	40111 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-004	40123 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-005	40135 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-006	40147 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-007	40159 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-008	40171 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-009	40183 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-010	40195 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-011	40207 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-012	40219 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-013	40222 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-014	40210 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-015	40198 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-016	40186 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-017	40174 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-018	40162 MIRIAM WAY	SFR	1.00	554.77	356.08
916-581-019	40150 MIRIAM WAY	SFR	1.00	554.77	356.08
916-582-001	40198 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-002	40186 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-003	40174 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-004	40162 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-005	40150 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-006	40138 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-007	40126 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-008	40114 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-009	40102 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-010	40090 JAYLENE ST	SFR	1.00	554.77	356.08
916-582-011	40127 JONAH WAY	SFR	1.00	554.77	356.08
916-582-012	40139 JONAH WAY	SFR	1.00	554.77	356.08
916-582-013	40151 JONAH WAY	SFR	1.00	554.77	356.08
916-582-014	40163 JONAH WAY	SFR	1.00	554.77	356.08
916-582-015	40175 JONAH WAY	SFR	1.00	554.77	356.08
916-582-016	40187 JONAH WAY	SFR	1.00	554.77	356.08
916-582-017	40199 JONAH WAY	SFR	1.00	554.77	356.08
916-582-018	40211 JONAH WAY	SFR	1.00	554.77	356.08
916-582-019	40223 JONAH WAY	SFR	1.00	554.77	356.08
916-582-020	26190 JONAH WAY	SFR	1.00	554.77	356.08
916-582-021	26202 JONAH WAY	SFR	1.00	554.77	356.08
916-582-022	26214 JONAH WAY	SFR	1.00	554.77	356.08
916-582-023	26226 JONAH WAY	SFR	1.00	554.77	356.08
916-582-024	26229 EMILY PL	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-582-025	26217 EMILY PL	SFR	1.00	554.77	356.08
916-582-026	26205 EMILY PL	SFR	1.00	554.77	356.08
916-582-027	26193 EMILY PL	SFR	1.00	554.77	356.08
916-582-028	40220 EMILY PL	SFR	1.00	554.77	356.08
916-582-029	40208 EMILY PL	SFR	1.00	554.77	356.08
916-582-030	40196 EMILY PL	SFR	1.00	554.77	356.08
916-582-031	40184 EMILY PL	SFR	1.00	554.77	356.08
916-582-032	40172 EMILY PL	SFR	1.00	554.77	356.08
916-582-033	40160 EMILY PL	SFR	1.00	554.77	356.08
916-582-034	40148 EMILY PL	SFR	1.00	554.77	356.08
916-582-035	40136 EMILY PL	SFR	1.00	554.77	356.08
916-582-036	40157 EMILY PL	SFR	1.00	554.77	356.08
916-582-037	40169 EMILY PL	SFR	1.00	554.77	356.08
916-582-038	40181 EMILY PL	SFR	1.00	554.77	356.08
916-582-039	40193 EMILY PL	SFR	1.00	554.77	356.08
916-582-040	40205 EMILY PL	SFR	1.00	554.77	356.08
916-582-041	40217 EMILY PL	SFR	1.00	554.77	356.08
916-582-042	26196 EMILY PL	SFR	1.00	554.77	356.08
916-582-043	26208 EMILY PL	SFR	1.00	554.77	356.08
916-582-044	26220 EMILY PL	SFR	1.00	554.77	356.08
916-584-003	40253 CALLE REAL	SFR	1.00	554.77	356.08
916-584-004	40251 CALLE REAL	SFR	1.00	554.77	356.08
916-584-005	40249 CALLE REAL	SFR	1.00	554.77	356.08
916-584-006	40247 CALLE REAL	SFR	1.00	554.77	356.08
916-584-007	40245 CALLE REAL	SFR	1.00	554.77	356.08
916-584-008	40243 CALLE REAL	SFR	1.00	554.77	356.08
916-584-010	40231 CALLE REAL	SFR	1.00	554.77	356.08
916-584-011	40233 CALLE REAL	SFR	1.00	554.77	356.08
916-584-012	40235 CALLE REAL	SFR	1.00	554.77	356.08
916-584-013	40237 CALLE REAL	SFR	1.00	554.77	356.08
916-584-014	40239 CALLE REAL	SFR	1.00	554.77	356.08
916-584-015	40219 CALLE REAL	SFR	1.00	554.77	356.08
916-584-016	40221 CALLE REAL	SFR	1.00	554.77	356.08
916-584-017	40223 CALLE REAL	SFR	1.00	554.77	356.08
916-584-018	40225 CALLE REAL	SFR	1.00	554.77	356.08
916-584-019	40227 CALLE REAL	SFR	1.00	554.77	356.08
916-584-021	40215 CALLE REAL	SFR	1.00	554.77	356.08
916-584-022	40213 CALLE REAL	SFR	1.00	554.77	356.08
916-584-023	40211 CALLE REAL	SFR	1.00	554.77	356.08
916-584-024	40201 CALLE REAL	SFR	1.00	554.77	356.08
916-584-025	40203 CALLE REAL	SFR	1.00	554.77	356.08
916-584-026	40205 CALLE REAL	SFR	1.00	554.77	356.08
916-584-027	40207 CALLE REAL	SFR	1.00	554.77	356.08
916-590-001	40118 JONAH WAY	SFR	1.00	554.77	356.08
916-590-002	40106 JONAH WAY	SFR	1.00	554.77	356.08
916-590-003	40094 JONAH WAY	SFR	1.00	554.77	356.08
916-590-004	40082 JONAH WAY	SFR	1.00	554.77	356.08
916-591-001	40070 JONAH WAY	SFR	1.00	554.77	356.08
916-591-002	40058 JONAH WAY	SFR	1.00	554.77	356.08
916-591-003	40046 JONAH WAY	SFR	1.00	554.77	356.08
916-591-004	40034 JONAH WAY	SFR	1.00	554.77	356.08
916-591-005	40022 JONAH WAY	SFR	1.00	554.77	356.08
916-591-006	40012 JONAH WAY	SFR	1.00	554.77	356.08
916-591-007	40019 JONAH WAY	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creskide Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-591-008	40031 JONAH WAY	SFR	1.00	554.77	356.08
916-591-009	40043 JONAH WAY	SFR	1.00	554.77	356.08
916-591-010	40055 JONAH WAY	SFR	1.00	554.77	356.08
916-591-011	40067 JONAH WAY	SFR	1.00	554.77	356.08
916-591-012	26178 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-013	26190 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-014	26202 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-015	26214 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-016	26226 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-017	26238 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-018	26250 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-019	26262 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-020	26274 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-021	26286 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-022	26298 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-023	26310 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-024	40081 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-025	40093 JAYLENE ST	SFR	1.00	554.77	356.08
916-591-026	40105 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-001	40078 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-002	26271 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-003	26259 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-004	26247 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-005	26235 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-006	26223 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-007	26211 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-008	26199 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-009	26187 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-010	26175 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-011	26163 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-012	26151 JAYLENE ST	SFR	1.00	554.77	356.08
916-592-013	40103 JONAH WAY	SFR	1.00	554.77	356.08
916-592-014	40115 JONAH WAY	SFR	1.00	554.77	356.08
916-600-001	26238 JONAH WAY	SFR	1.00	554.77	356.08
916-600-002	26250 JONAH WAY	SFR	1.00	554.77	356.08
916-600-003	26262 JONAH WAY	SFR	1.00	554.77	356.08
916-600-004	26274 JONAH WAY	SFR	1.00	554.77	356.08
916-600-005	26286 JONAH WAY	SFR	1.00	554.77	356.08
916-600-006	26298 JONAH WAY	SFR	1.00	554.77	356.08
916-600-007	26310 JONAH WAY	SFR	1.00	554.77	356.08
916-600-008	26277 EMILY PL	SFR	1.00	554.77	356.08
916-600-009	26265 EMILY PL	SFR	1.00	554.77	356.08
916-600-010	26253 EMILY PL	SFR	1.00	554.77	356.08
916-600-011	26241 EMILY PL	SFR	1.00	554.77	356.08
916-601-001	26252 AVERY PL	SFR	1.00	554.77	356.08
916-601-002	26264 AVERY PL	SFR	1.00	554.77	356.08
916-601-003	26276 AVERY PL	SFR	1.00	554.77	356.08
916-601-004	26288 AVERY PL	SFR	1.00	554.77	356.08
916-601-005	26300 AVERY PL	SFR	1.00	554.77	356.08
916-601-006	26312 AVERY PL	SFR	1.00	554.77	356.08
916-601-007	26315 AVERY PL	SFR	1.00	554.77	356.08
916-601-008	26303 AVERY PL	SFR	1.00	554.77	356.08
916-601-009	26291 AVERY PL	SFR	1.00	554.77	356.08
916-601-010	26279 AVERY PL	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-601-011	40237 JAYLENE ST	SFR	1.00	554.77	356.08
916-601-012	40249 JAYLENE ST	SFR	1.00	554.77	356.08
916-601-013	26254 KOBE PL	SFR	1.00	554.77	356.08
916-601-014	26266 KOBE PL	SFR	1.00	554.77	356.08
916-601-015	26278 KOBE PL	SFR	1.00	554.77	356.08
916-601-016	26290 KOBE PL	SFR	1.00	554.77	356.08
916-601-017	26302 KOBE PL	SFR	1.00	554.77	356.08
916-601-018	26314 KOBE PL	SFR	1.00	554.77	356.08
916-601-019	26317 KOBE PL	SFR	1.00	554.77	356.08
916-601-020	26305 KOBE PL	SFR	1.00	554.77	356.08
916-601-021	26293 KOBE PL	SFR	1.00	554.77	356.08
916-601-022	26281 KOBE PL	SFR	1.00	554.77	356.08
916-601-023	26269 KOBE PL	SFR	1.00	554.77	356.08
916-601-024	26257 KOBE PL	SFR	1.00	554.77	356.08
916-602-001	40247 HANNAH WAY	SFR	1.00	554.77	356.08
916-602-002	40259 HANNAH WAY	SFR	1.00	554.77	356.08
916-602-003	40271 HANNAH WAY	SFR	1.00	554.77	356.08
916-602-004	40283 HANNAH WAY	SFR	1.00	554.77	356.08
916-602-005	40295 HANNAH WAY	SFR	1.00	554.77	356.08
916-602-006	40307 HANNAH WAY	SFR	1.00	554.77	356.08
916-602-007	40319 HANNAH WAY	SFR	1.00	554.77	356.08
916-610-001	26256 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-002	26268 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-003	26280 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-004	26292 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-005	26304 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-006	26316 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-007	26328 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-008	26313 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-009	26301 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-010	26289 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-011	26277 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-012	26265 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-013	26253 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-014	26270 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-015	26282 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-016	26294 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-017	26306 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-018	26318 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-019	26330 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-020	26342 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-021	26357 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-022	26345 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-023	26333 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-024	26321 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-025	26309 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-026	26297 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-027	26285 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-028	26273 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-029	26261 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-030	26249 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-031	26237 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-032	26225 NORMA JEAN PL	SFR	1.00	554.77	356.08
916-610-033	26241 ISABELLA PL	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-610-034	26229 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-035	26217 ISABELLA PL	SFR	1.00	554.77	356.08
916-610-036	40343 HANNAH WAY	SFR	1.00	554.77	356.08
916-610-037	40355 HANNAH WAY	SFR	1.00	554.77	356.08
916-610-038	40367 HANNAH WAY	SFR	1.00	554.77	356.08
916-610-039	40379 HANNAH WAY	SFR	1.00	554.77	356.08
916-610-040	40418 HANNAH WAY	SFR	1.00	554.77	356.08
916-610-041	40406 HANNAH WAY	SFR	1.00	554.77	356.08
916-610-042	40394 HANNAH WAY	SFR	1.00	554.77	356.08
916-620-001	40382 HANNAH WAY	SFR	1.00	554.77	356.08
916-620-002	40370 HANNAH WAY	SFR	1.00	554.77	356.08
916-620-003	40358 HANNAH WAY	SFR	1.00	554.77	356.08
916-620-004	40346 HANNAH WAY	SFR	1.00	554.77	356.08
916-620-005	40334 HANNAH WAY	SFR	1.00	554.77	356.08
916-620-006	40322 HANNAH WAY	SFR	1.00	554.77	356.08
916-620-007	40325 JACOB WAY	SFR	1.00	554.77	356.08
916-620-008	40337 JACOB WAY	SFR	1.00	554.77	356.08
916-620-009	40349 JACOB WAY	SFR	1.00	554.77	356.08
916-620-010	40361 JACOB WAY	SFR	1.00	554.77	356.08
916-620-011	40373 JACOB WAY	SFR	1.00	554.77	356.08
916-620-012	40385 JACOB WAY	SFR	1.00	554.77	356.08
916-620-013	40397 JACOB WAY	SFR	1.00	554.77	356.08
916-620-014	40409 JACOB WAY	SFR	1.00	554.77	356.08
916-620-017	40412 JACOB WAY	SFR	1.00	554.77	356.08
916-620-018	40400 JACOB WAY	SFR	1.00	554.77	356.08
916-620-019	40388 JACOB WAY	SFR	1.00	554.77	356.08
916-620-020	40376 JACOB WAY	SFR	1.00	554.77	356.08
916-620-021	40364 JACOB WAY	SFR	1.00	554.77	356.08
916-620-022	40352 JACOB WAY	SFR	1.00	554.77	356.08
916-620-023	40367 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-024	40379 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-025	40391 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-026	40403 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-027	40415 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-028	40427 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-029	40439 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-030	40451 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-031	40463 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-032	40475 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-033	40490 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-034	40478 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-035	40466 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-036	40454 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-037	40442 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-038	40430 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-039	40418 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-040	40406 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-041	40394 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-042	40382 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-043	40370 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-044	40358 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-620-045	40436 JACOB WAY	SFR	1.00	554.77	356.08
916-620-047	40424 JACOB WAY	SFR	1.00	554.77	356.08
916-630-001	40310 HANNAH WAY	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-630-002	40298 HANNAH WAY	SFR	1.00	554.77	356.08
916-630-003	40286 HANNAH WAY	SFR	1.00	554.77	356.08
916-630-004	40274 HANNAH WAY	SFR	1.00	554.77	356.08
916-630-005	40262 HANNAH WAY	SFR	1.00	554.77	356.08
916-630-006	40250 HANNAH WAY	SFR	1.00	554.77	356.08
916-630-007	40238 HANNAH WAY	SFR	1.00	554.77	356.08
916-630-008	40226 HANNAH WAY	SFR	1.00	554.77	356.08
916-630-009	40229 JACOB WAY	SFR	1.00	554.77	356.08
916-630-010	40241 JACOB WAY	SFR	1.00	554.77	356.08
916-630-011	40253 JACOB WAY	SFR	1.00	554.77	356.08
916-630-012	40265 JACOB WAY	SFR	1.00	554.77	356.08
916-630-013	40277 JACOB WAY	SFR	1.00	554.77	356.08
916-630-014	40289 JACOB WAY	SFR	1.00	554.77	356.08
916-630-015	40301 JACOB WAY	SFR	1.00	554.77	356.08
916-630-016	40313 JACOB WAY	SFR	1.00	554.77	356.08
916-631-001	40340 JACOB WAY	SFR	1.00	554.77	356.08
916-631-002	40328 JACOB WAY	SFR	1.00	554.77	356.08
916-631-003	40316 JACOB WAY	SFR	1.00	554.77	356.08
916-631-004	40304 JACOB WAY	SFR	1.00	554.77	356.08
916-631-005	40292 JACOB WAY	SFR	1.00	554.77	356.08
916-631-006	40280 JACOB WAY	SFR	1.00	554.77	356.08
916-631-007	40268 JACOB WAY	SFR	1.00	554.77	356.08
916-631-008	40256 JACOB WAY	SFR	1.00	554.77	356.08
916-631-009	40244 JACOB WAY	SFR	1.00	554.77	356.08
916-631-010	40247 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-011	40259 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-012	40271 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-013	40283 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-014	40295 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-015	40307 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-016	40319 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-017	40331 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-018	40343 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-631-019	40355 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-001	40346 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-002	40334 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-003	40322 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-004	40310 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-005	40298 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-006	40286 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-007	40274 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-632-008	40262 ARIEL HOPE WAY	SFR	1.00	554.77	356.08
916-712-001	40289 CALLE REAL	SFR	1.00	554.77	356.08
916-712-002	40287 CALLE REAL	SFR	1.00	554.77	356.08
916-712-003	40285 CALLE REAL	SFR	1.00	554.77	356.08
916-712-004	40283 CALLE REAL	SFR	1.00	554.77	356.08
916-712-005	40281 CALLE REAL	SFR	1.00	554.77	356.08
916-712-006	40301 CALLE REAL	SFR	1.00	554.77	356.08
916-712-007	40299 CALLE REAL	SFR	1.00	554.77	356.08
916-712-008	40297 CALLE REAL	SFR	1.00	554.77	356.08
916-712-009	40295 CALLE REAL	SFR	1.00	554.77	356.08
916-712-010	40293 CALLE REAL	SFR	1.00	554.77	356.08
916-712-012	40313 CALLE REAL	SFR	1.00	554.77	356.08
916-712-013	40311 CALLE REAL	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-712-014	40309 CALLE REAL	SFR	1.00	554.77	356.08
916-712-015	40307 CALLE REAL	SFR	1.00	554.77	356.08
916-712-016	40305 CALLE REAL	SFR	1.00	554.77	356.08
916-712-017	40325 CALLE REAL	SFR	1.00	554.77	356.08
916-712-018	40323 CALLE REAL	SFR	1.00	554.77	356.08
916-712-019	40321 CALLE REAL	SFR	1.00	554.77	356.08
916-712-020	40319 CALLE REAL	SFR	1.00	554.77	356.08
916-712-021	40317 CALLE REAL	SFR	1.00	554.77	356.08
916-712-023	40328 CALLE REAL	SFR	1.00	554.77	356.08
916-712-024	40326 CALLE REAL	SFR	1.00	554.77	356.08
916-712-025	40324 CALLE REAL	SFR	1.00	554.77	356.08
916-712-026	40322 CALLE REAL	SFR	1.00	554.77	356.08
916-712-027	40318 CALLE REAL	SFR	1.00	554.77	356.08
916-712-028	40316 CALLE REAL	SFR	1.00	554.77	356.08
916-712-029	40314 CALLE REAL	SFR	1.00	554.77	356.08
916-712-030	40356 CALLE REAL	SFR	1.00	554.77	356.08
916-712-031	40358 CALLE REAL	SFR	1.00	554.77	356.08
916-712-032	40360 CALLE REAL	SFR	1.00	554.77	356.08
916-712-033	40362 CALLE REAL	SFR	1.00	554.77	356.08
916-712-034	40364 CALLE REAL	SFR	1.00	554.77	356.08
916-712-035	40338 CALLE REAL	SFR	1.00	554.77	356.08
916-712-036	40336 CALLE REAL	SFR	1.00	554.77	356.08
916-712-037	40334 CALLE REAL	SFR	1.00	554.77	356.08
916-712-038	40332 CALLE REAL	SFR	1.00	554.77	356.08
916-712-040	40258 CALLE REAL	SFR	1.00	554.77	356.08
916-712-041	40256 CALLE REAL	SFR	1.00	554.77	356.08
916-712-042	40254 CALLE REAL	SFR	1.00	554.77	356.08
916-712-043	40252 CALLE REAL	SFR	1.00	554.77	356.08
916-712-044	40250 CALLE REAL	SFR	1.00	554.77	356.08
916-712-045	40248 CALLE REAL	SFR	1.00	554.77	356.08
916-712-046	40280 CALLE REAL	SFR	1.00	554.77	356.08
916-712-047	40282 CALLE REAL	SFR	1.00	554.77	356.08
916-712-048	40284 CALLE REAL	SFR	1.00	554.77	356.08
916-712-049	40286 CALLE REAL	SFR	1.00	554.77	356.08
916-712-050	40288 CALLE REAL	SFR	1.00	554.77	356.08
916-712-051	40266 CALLE REAL	SFR	1.00	554.77	356.08
916-712-052	40264 CALLE REAL	SFR	1.00	554.77	356.08
916-712-053	40262 CALLE REAL	SFR	1.00	554.77	356.08
916-712-055	40276 CALLE REAL	SFR	1.00	554.77	356.08
916-712-056	40274 CALLE REAL	SFR	1.00	554.77	356.08
916-712-057	40272 CALLE REAL	SFR	1.00	554.77	356.08
916-712-058	40270 CALLE REAL	SFR	1.00	554.77	356.08
916-712-059	40308 CALLE REAL	SFR	1.00	554.77	356.08
916-712-060	40306 CALLE REAL	SFR	1.00	554.77	356.08
916-712-061	40304 CALLE REAL	SFR	1.00	554.77	356.08
916-712-062	40302 CALLE REAL	SFR	1.00	554.77	356.08
916-712-063	40300 CALLE REAL	SFR	1.00	554.77	356.08
916-712-064	40296 CALLE REAL	SFR	1.00	554.77	356.08
916-712-065	40294 CALLE REAL	SFR	1.00	554.77	356.08
916-712-066	40292 CALLE REAL	SFR	1.00	554.77	356.08
916-712-068	40337 CALLE REAL	SFR	1.00	554.77	356.08
916-712-069	40335 CALLE REAL	SFR	1.00	554.77	356.08
916-712-070	40333 CALLE REAL	SFR	1.00	554.77	356.08
916-712-071	40331 CALLE REAL	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-712-072	40329 CALLE REAL	SFR	1.00	554.77	356.08
916-712-073	40349 CALLE REAL	SFR	1.00	554.77	356.08
916-712-074	40347 CALLE REAL	SFR	1.00	554.77	356.08
916-712-075	40345 CALLE REAL	SFR	1.00	554.77	356.08
916-712-076	40343 CALLE REAL	SFR	1.00	554.77	356.08
916-712-077	40341 CALLE REAL	SFR	1.00	554.77	356.08
916-712-079	40265 CALLE REAL	SFR	1.00	554.77	356.08
916-712-080	40263 CALLE REAL	SFR	1.00	554.77	356.08
916-712-081	40261 CALLE REAL	SFR	1.00	554.77	356.08
916-712-082	40259 CALLE REAL	SFR	1.00	554.77	356.08
916-712-083	40257 CALLE REAL	SFR	1.00	554.77	356.08
916-712-084	40277 CALLE REAL	SFR	1.00	554.77	356.08
916-712-085	40275 CALLE REAL	SFR	1.00	554.77	356.08
916-712-086	40273 CALLE REAL	SFR	1.00	554.77	356.08
916-712-087	40271 CALLE REAL	SFR	1.00	554.77	356.08
916-712-088	40269 CALLE REAL	SFR	1.00	554.77	356.08
916-713-001	40361 CALLE REAL	SFR	1.00	554.77	356.08
916-713-002	40359 CALLE REAL	SFR	1.00	554.77	356.08
916-713-003	40357 CALLE REAL	SFR	1.00	554.77	356.08
916-713-004	40355 CALLE REAL	SFR	1.00	554.77	356.08
916-713-005	40353 CALLE REAL	SFR	1.00	554.77	356.08
916-713-006	40373 CALLE REAL	SFR	1.00	554.77	356.08
916-713-007	40371 CALLE REAL	SFR	1.00	554.77	356.08
916-713-008	40369 CALLE REAL	SFR	1.00	554.77	356.08
916-713-009	40367 CALLE REAL	SFR	1.00	554.77	356.08
916-713-010	40365 CALLE REAL	SFR	1.00	554.77	356.08
916-713-012	40350 CALLE REAL	SFR	1.00	554.77	356.08
916-713-013	40348 CALLE REAL	SFR	1.00	554.77	356.08
916-713-014	40346 CALLE REAL	SFR	1.00	554.77	356.08
916-713-015	40344 CALLE REAL	SFR	1.00	554.77	356.08
916-713-016	40342 CALLE REAL	SFR	1.00	554.77	356.08
916-713-017	40384 CALLE REAL	SFR	1.00	554.77	356.08
916-713-018	40382 CALLE REAL	SFR	1.00	554.77	356.08
916-713-019	40380 CALLE REAL	SFR	1.00	554.77	356.08
916-713-020	40378 CALLE REAL	SFR	1.00	554.77	356.08
916-713-021	40376 CALLE REAL	SFR	1.00	554.77	356.08
916-713-022	40372 CALLE REAL	SFR	1.00	554.77	356.08
916-713-023	40370 CALLE REAL	SFR	1.00	554.77	356.08
916-713-024	40368 CALLE REAL	SFR	1.00	554.77	356.08
916-713-026	40385 CALLE REAL	SFR	1.00	554.77	356.08
916-713-027	40383 CALLE REAL	SFR	1.00	554.77	356.08
916-713-028	40381 CALLE REAL	SFR	1.00	554.77	356.08
916-713-029	40379 CALLE REAL	SFR	1.00	554.77	356.08
916-713-030	40377 CALLE REAL	SFR	1.00	554.77	356.08
916-713-031	40397 CALLE REAL	SFR	1.00	554.77	356.08
916-713-032	40395 CALLE REAL	SFR	1.00	554.77	356.08
916-713-033	40393 CALLE REAL	SFR	1.00	554.77	356.08
916-713-034	40391 CALLE REAL	SFR	1.00	554.77	356.08
916-713-035	40389 CALLE REAL	SFR	1.00	554.77	356.08
916-713-037	40406 CALLE REAL	SFR	1.00	554.77	356.08
916-713-038	40404 CALLE REAL	SFR	1.00	554.77	356.08
916-713-039	40402 CALLE REAL	SFR	1.00	554.77	356.08
916-713-040	40400 CALLE REAL	SFR	1.00	554.77	356.08
916-713-041	40398 CALLE REAL	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-713-042	40394 CALLE REAL	SFR	1.00	554.77	356.08
916-713-043	40392 CALLE REAL	SFR	1.00	554.77	356.08
916-713-044	40390 CALLE REAL	SFR	1.00	554.77	356.08
916-713-045	40388 CALLE REAL	SFR	1.00	554.77	356.08
916-713-046	40418 CALLE REAL	SFR	1.00	554.77	356.08
916-713-047	40416 CALLE REAL	SFR	1.00	554.77	356.08
916-713-048	40414 CALLE REAL	SFR	1.00	554.77	356.08
916-713-049	40412 CALLE REAL	SFR	1.00	554.77	356.08
916-713-050	40410 CALLE REAL	SFR	1.00	554.77	356.08
916-713-052	40430 CALLE REAL	SFR	1.00	554.77	356.08
916-713-053	40432 CALLE REAL	SFR	1.00	554.77	356.08
916-713-054	40434 CALLE REAL	SFR	1.00	554.77	356.08
916-713-055	40436 CALLE REAL	SFR	1.00	554.77	356.08
916-713-056	40438 CALLE REAL	SFR	1.00	554.77	356.08
916-713-057	40440 CALLE REAL	SFR	1.00	554.77	356.08
916-713-058	40422 CALLE REAL	SFR	1.00	554.77	356.08
916-713-059	40424 CALLE REAL	SFR	1.00	554.77	356.08
916-713-060	40426 CALLE REAL	SFR	1.00	554.77	356.08
916-713-061	40448 CALLE REAL	SFR	1.00	554.77	356.08
916-713-062	40446 CALLE REAL	SFR	1.00	554.77	356.08
916-713-063	40444 CALLE REAL	SFR	1.00	554.77	356.08
916-713-065	40409 CALLE REAL	SFR	1.00	554.77	356.08
916-713-066	40407 CALLE REAL	SFR	1.00	554.77	356.08
916-713-067	40405 CALLE REAL	SFR	1.00	554.77	356.08
916-713-068	40403 CALLE REAL	SFR	1.00	554.77	356.08
916-713-069	40401 CALLE REAL	SFR	1.00	554.77	356.08
916-713-070	40421 CALLE REAL	SFR	1.00	554.77	356.08
916-713-071	40419 CALLE REAL	SFR	1.00	554.77	356.08
916-713-072	40417 CALLE REAL	SFR	1.00	554.77	356.08
916-713-073	40415 CALLE REAL	SFR	1.00	554.77	356.08
916-713-074	40413 CALLE REAL	SFR	1.00	554.77	356.08
916-713-076	40433 CALLE REAL	SFR	1.00	554.77	356.08
916-713-077	40431 CALLE REAL	SFR	1.00	554.77	356.08
916-713-078	40429 CALLE REAL	SFR	1.00	554.77	356.08
916-713-079	40427 CALLE REAL	SFR	1.00	554.77	356.08
916-713-080	40425 CALLE REAL	SFR	1.00	554.77	356.08
916-713-081	40445 CALLE REAL	SFR	1.00	554.77	356.08
916-713-082	40443 CALLE REAL	SFR	1.00	554.77	356.08
916-713-083	40441 CALLE REAL	SFR	1.00	554.77	356.08
916-713-084	40439 CALLE REAL	SFR	1.00	554.77	356.08
916-713-085	40437 CALLE REAL	SFR	1.00	554.77	356.08
916-721-001	40053 CALLE REAL ##17	SFR	1.00	554.77	356.08
916-721-002	40049 CALLE REAL ##18	SFR	1.00	554.77	356.08
916-721-003	40045 CALLE REAL ##19	SFR	1.00	554.77	356.08
916-721-004	40041 CALLE REAL ##20	SFR	1.00	554.77	356.08
916-721-005	40037 CALLE REAL ##21	SFR	1.00	554.77	356.08
916-721-006	40033 CALLE REAL ##27	SFR	1.00	554.77	356.08
916-721-007	40029 CALLE REAL ##28	SFR	1.00	554.77	356.08
916-721-008	40025 CALLE REAL ##29	SFR	1.00	554.77	356.08
916-721-009	40021 CALLE REAL ##30	SFR	1.00	554.77	356.08
916-721-010	40017 CALLE REAL ##31	SFR	1.00	554.77	356.08
916-721-011	40013 CALLE REAL ##32	SFR	1.00	554.77	356.08
916-721-013	26001 CHLOE PL ##22	SFR	1.00	554.77	356.08
916-721-014	26005 CHLOE PL ##23	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-721-015	26009 CHLOE PL ##24	SFR	1.00	554.77	356.08
916-721-016	26013 CHLOE PL ##25	SFR	1.00	554.77	356.08
916-721-017	26017 CHLOE PL ##26	SFR	1.00	554.77	356.08
916-721-019	26022 CHLOE PL ##33	SFR	1.00	554.77	356.08
916-721-020	26002 CHLOE PL ##34	SFR	1.00	554.77	356.08
916-721-021	26018 CHLOE PL ##35	SFR	1.00	554.77	356.08
916-721-022	26014 CHLOE PL ##36	SFR	1.00	554.77	356.08
916-721-023	26010 CHLOE PL ##37	SFR	1.00	554.77	356.08
916-721-024	26006 CHLOE PL ##38	SFR	1.00	554.77	356.08
916-721-025	40009 CALLE REAL ##39	SFR	1.00	554.77	356.08
916-721-026	40005 CALLE REAL ##40	SFR	1.00	554.77	356.08
916-721-027	40001 CALLE REAL ##41	SFR	1.00	554.77	356.08
916-721-029	40002 CALLE REAL ##42	SFR	1.00	554.77	356.08
916-721-030	40006 CALLE REAL ##43	SFR	1.00	554.77	356.08
916-721-031	40010 CALLE REAL ##44	SFR	1.00	554.77	356.08
916-721-032	40014 CALLE REAL ##45	SFR	1.00	554.77	356.08
916-721-033	40018 CALLE REAL ##46	SFR	1.00	554.77	356.08
916-721-034	40022 CALLE REAL ##47	SFR	1.00	554.77	356.08
916-721-035	40026 CALLE REAL ##48	SFR	1.00	554.77	356.08
916-721-036	40030 CALLE REAL ##49	SFR	1.00	554.77	356.08
916-721-037	40034 CALLE REAL ##50	SFR	1.00	554.77	356.08
916-721-039	40038 CALLE REAL	SFR	1.00	554.77	356.08
916-721-040	40042 CALLE REAL	SFR	1.00	554.77	356.08
916-721-041	40046 CALLE REAL	SFR	1.00	554.77	356.08
916-721-042	40050 CALLE REAL	SFR	1.00	554.77	356.08
916-721-043	40054 CALLE REAL	SFR	1.00	554.77	356.08
916-721-044	40058 CALLE REAL	SFR	1.00	554.77	356.08
916-721-045	40062 CALLE REAL	SFR	1.00	554.77	356.08
916-721-046	40066 CALLE REAL	SFR	1.00	554.77	356.08
916-721-047	40070 CALLE REAL	SFR	1.00	554.77	356.08
916-721-048	40078 CALLE REAL	SFR	1.00	554.77	356.08
916-721-050	40078 CALLE REAL	SFR	1.00	554.77	356.08
916-721-051	40082 CALLE REAL	SFR	1.00	554.77	356.08
916-721-052	40086 CALLE REAL	SFR	1.00	554.77	356.08
916-721-053	40090 CALLE REAL	SFR	1.00	554.77	356.08
916-721-054	40094 CALLE REAL	SFR	1.00	554.77	356.08
916-721-055	40098 CALLE REAL	SFR	1.00	554.77	356.08
916-721-056	40102 CALLE REAL	SFR	1.00	554.77	356.08
916-721-057	40106 CALLE REAL	SFR	1.00	554.77	356.08
916-721-058	40110 CALLE REAL	SFR	1.00	554.77	356.08
916-721-059	40114 CALLE REAL	SFR	1.00	554.77	356.08
916-721-061	40118 CALLE REAL	SFR	1.00	554.77	356.08
916-721-062	40122 CALLE REAL ##72	SFR	1.00	554.77	356.08
916-721-063	40126 CALLE REAL ST ##7	SFR	1.00	554.77	356.08
916-721-064	40130 CALLE REAL	SFR	1.00	554.77	356.08
916-721-065	40134 CALLE REAL	SFR	1.00	554.77	356.08
916-721-066	40138 CALLE REAL	SFR	1.00	554.77	356.08
916-721-067	40142 CALLE REAL ##77	SFR	1.00	554.77	356.08
916-721-068	40146 CALLE REAL ##78	SFR	1.00	554.77	356.08
916-721-069	NO SITUS AVAILABLE	SFR	1.00	554.77	356.08
916-721-070	NO SITUS AVAILABLE	SFR	1.00	554.77	356.08
916-721-071	NO SITUS AVAILABLE	SFR	1.00	554.77	356.08
916-721-072	40162 CALLE REAL ##82	SFR	1.00	554.77	356.08
916-721-073	40164 CALLE REAL ##83	SFR	1.00	554.77	356.08

City of Murrieta
Murrieta Landscaping and Lighting District No. 23 (Creekside Village)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
916-721-075	40057 CALLE REAL ##6	SFR	1.00	554.77	356.08
916-721-076	40061 CALLE REAL ##7	SFR	1.00	554.77	356.08
916-721-077	40065 CALLE REAL AVE ##8	SFR	1.00	554.77	356.08
916-721-079	26032 ABIGAIL AVE ##9	SFR	1.00	554.77	356.08
916-721-080	26028 ABIGAIL AVE ##10	SFR	1.00	554.77	356.08
916-721-081	26024 ABIGAIL AVE ##11	SFR	1.00	554.77	356.08
916-721-082	NO SITUS AVAILABLE	SFR	1.00	554.77	356.08
916-721-083	26016 ABIGAIL AVE ##13	SFR	1.00	554.77	356.08
916-721-084	26012 ABIGAIL AVE ##14	SFR	1.00	554.77	356.08
916-721-085	26008 ABIGAIL AVE ##15	SFR	1.00	554.77	356.08
916-721-086	26004 ABIGAIL AVE ##16	SFR	1.00	554.77	356.08
916-721-088	26003 ABIGAIL AVE	SFR	1.00	554.77	356.08
916-721-089	26007 ABIGAIL AVE	SFR	1.00	554.77	356.08
916-721-090	26011 ABIGAIL AVE	SFR	1.00	554.77	356.08
916-721-091	26015 ABIGAIL AVE	SFR	1.00	554.77	356.08
916-721-092	26019 ABIGAIL AVE	SFR	1.00	554.77	356.08
Total			556.00	\$299,465.44	\$197,980.48
Parcels					556

City of Murrieta
Murrieta Landscaping & Lighting District No. 24 (Springbrook/Murrieta Meadows)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-280-001	34011 PAMPLONA AVE	SFR	1.00	\$347.51	\$347.50
384-280-002	34019 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-003	34027 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-004	34035 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-005	34043 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-006	34051 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-007	34059 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-008	34067 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-009	34075 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-010	34083 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-280-011	34091 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-001	34030 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-002	34038 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-003	34046 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-004	34054 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-005	34062 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-006	34070 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-007	34078 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-008	34086 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-281-009	34089 ALBACETE AVE	SFR	1.00	347.51	347.50
384-281-010	34081 ALBACETE AVE	SFR	1.00	347.51	347.50
384-281-011	34073 ALBACETE AVE	SFR	1.00	347.51	347.50
384-281-012	34065 ALBACETE AVE	SFR	1.00	347.51	347.50
384-281-013	34057 ALBACETE AVE	SFR	1.00	347.51	347.50
384-281-014	34049 ALBACETE AVE	SFR	1.00	347.51	347.50
384-281-015	34041 ALBACETE AVE	SFR	1.00	347.51	347.50
384-281-016	34033 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-001	28328 SEVILLA ST	SFR	1.00	347.51	347.50
384-282-002	28336 SEVILLA ST	SFR	1.00	347.51	347.50
384-282-003	28344 SEVILLA ST	SFR	1.00	347.51	347.50
384-282-004	28352 SEVILLA ST	SFR	1.00	347.51	347.50
384-282-005	34036 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-006	34044 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-007	34052 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-008	34060 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-009	34068 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-010	34076 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-011	34084 ALBACETE AVE	SFR	1.00	347.51	347.50
384-282-012	34092 ALBACETE AVE	SFR	1.00	347.51	347.50
384-283-001	34095 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-283-002	34087 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-283-003	34079 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-284-001	28384 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-284-002	28392 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-284-003	28400 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-284-004	34066 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-284-005	34074 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-284-006	34082 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-284-007	34090 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-290-001	34099 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-002	34107 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-003	34115 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-004	34123 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-005	34131 PAMPLONA AVE	SFR	1.00	347.51	347.50

City of Murrieta
Murrieta Landscaping & Lighting District No. 24 (Springbrook/Murrieta Meadows)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-290-006	34139 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-007	34147 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-008	34155 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-009	34163 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-010	34171 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-290-011	28315 CARLISLE ST	SFR	1.00	347.51	347.50
384-290-012	28323 CARLISLE ST	SFR	1.00	347.51	347.50
384-290-013	28331 CARLISLE ST	SFR	1.00	347.51	347.50
384-290-014	28339 CARLISLE ST	SFR	1.00	347.51	347.50
384-290-015	28347 CARLISLE ST	SFR	1.00	347.51	347.50
384-290-016	28355 CARLISLE ST	SFR	1.00	347.51	347.50
384-290-017	28363 CARLISLE ST	SFR	1.00	347.51	347.50
384-291-001	34094 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-002	34102 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-003	34110 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-004	34118 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-005	34126 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-006	34134 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-007	34142 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-008	34150 PAMPLONA AVE	SFR	1.00	347.51	347.50
384-291-009	34153 ALBACETE AVE	SFR	1.00	347.51	347.50
384-291-010	34145 ALBACETE AVE	SFR	1.00	347.51	347.50
384-291-011	34137 ALBACETE AVE	SFR	1.00	347.51	347.50
384-291-012	34129 ALBACETE AVE	SFR	1.00	347.51	347.50
384-291-013	34121 ALBACETE AVE	SFR	1.00	347.51	347.50
384-291-014	34113 ALBACETE AVE	SFR	1.00	347.51	347.50
384-291-015	34105 ALBACETE AVE	SFR	1.00	347.51	347.50
384-291-016	34097 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-001	34100 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-002	34108 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-003	34116 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-004	34124 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-005	34132 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-006	34140 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-007	34148 ALBACETE AVE	SFR	1.00	347.51	347.50
384-292-008	34156 ALBACETE AVE	SFR	1.00	347.51	347.50
384-293-001	34098 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-002	34106 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-003	34114 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-004	34122 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-005	34130 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-006	34138 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-007	34146 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-008	34154 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-009	34162 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-010	34170 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-011	34178 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-012	34175 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-013	34167 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-014	34159 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-015	34151 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-016	34143 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-017	34135 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-018	34127 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50

City of Murrieta
Murrieta Landscaping & Lighting District No. 24 (Springbrook/Murrieta Meadows)
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-293-019	34119 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-020	34111 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
384-293-021	34103 SAN SEBASTIAN AVE	SFR	1.00	347.51	347.50
Total			111.00	\$38,573.59	\$38,572.50
Parcels					111

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-251-016	NO SITUS AVAILABLE	COM	B	9.84	\$4,010.98	\$4,010.98
384-251-018	28078 BAXTER RD	COM	B	23.24	9,473.09	9,473.08
384-251-019	NO SITUS AVAILABLE	COM	B	4.48	1,826.14	1,826.14
384-251-021	NO SITUS AVAILABLE	PNR	B	0.84	342.40	342.40
384-251-023	NO SITUS AVAILABLE	COM	B	2.72	1,108.73	1,108.72
384-251-024	NO SITUS AVAILABLE	PNR	B	3.48	1,418.52	1,418.52
384-251-028	28062 BAXTER RD	COM	B	68.72	28,011.65	28,011.64
384-251-033	NO SITUS AVAILABLE	PNR	B	3.06	1,247.32	1,247.32
384-251-034	NO SITUS AVAILABLE	PNR	B	3.42	1,394.06	1,394.06
384-252-030	NO SITUS AVAILABLE	PNR	B	3.63	1,478.03	1,478.04
384-330-001	28327 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-002	28339 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-003	28351 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-004	28363 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-005	28375 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-006	28387 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-007	28399 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-008	28411 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-009	28423 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-010	28435 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-011	28447 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-012	28459 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-013	28471 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-014	28483 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-015	28495 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-016	28507 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-017	28454 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-018	28442 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-019	28430 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-020	28418 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-021	28406 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-022	28394 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-023	28382 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-024	28370 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-025	28358 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-026	28346 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-027	28334 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-028	28322 COTTAGE WAY	SFR	A	1.00	668.33	629.96
384-330-029	28323 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-030	28335 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-031	28347 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-032	28359 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-033	28371 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-034	28364 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-035	28352 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-036	28340 MERCED RANCH CT	SFR	A	1.00	668.33	629.96
384-330-037	34880 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-330-038	34868 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-330-039	34856 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-330-040	34844 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-331-001	34897 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-331-002	34885 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-331-003	34873 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-331-004	34861 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-331-005	34849 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-340-001	34837 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-340-002	34825 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-340-003	34801 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-340-004	34789 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-340-005	34777 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-340-006	34765 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-340-007	34753 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-340-008	34741 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-341-001	28320 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-002	28332 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-003	28344 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-004	28356 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-005	28368 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-006	28380 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-007	28392 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-008	28404 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-009	28416 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-010	28428 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-011	28440 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-012	28452 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-013	28457 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-014	28445 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-015	28433 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-016	28421 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-017	34784 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-018	34796 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-019	34808 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-020	34820 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-021	34832 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-022	34835 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-023	34823 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-024	34811 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-025	34799 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-026	34787 OAKWOOD LN	SFR	A	1.00	668.33	629.96
384-341-027	28317 DESERT VARNISH WAY	SFR	A	1.00	668.33	629.96
384-341-028	34784 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-341-029	34796 SOUTHWOOD AVE	SFR	A	1.00	668.33	629.96
384-350-001	34887 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-350-002	34875 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-350-003	34863 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-350-004	34853 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-005	34841 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-006	34829 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-007	34817 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-008	34805 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-009	34793 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-010	34781 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-011	34778 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-012	28517 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-350-013	28529 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-350-014	34814 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-015	34826 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-018	34827 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-350-019	34815 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-350-020	34803 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-350-021	34791 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-350-023	34838 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-350-024	34850 TEABERRY PL	SFR	A	1.00	668.33	629.96
384-351-001	34762 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-351-002	34774 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-351-003	34786 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-351-004	34798 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-351-005	38410 MIDLAND AVE	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-351-006	34822 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-351-007	34834 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-351-008	34861 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-351-009	34849 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-351-010	34837 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-351-011	34825 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-351-012	34813 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-351-013	34801 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-351-016	34789 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-351-017	34777 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-001	34740 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-002	34752 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-003	34764 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-004	34776 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-005	34788 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-006	34800 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-007	34812 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-008	34824 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-009	34836 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-352-010	34847 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-352-011	34835 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-352-012	34823 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-352-013	34811 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-352-014	34799 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-352-015	34787 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-352-016	34775 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-352-017	34763 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-353-001	34792 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-353-002	34804 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-353-003	34816 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-353-004	34828 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-353-005	34840 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-353-006	34852 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-354-001	28548 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-002	28560 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-003	28572 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-004	28584 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-005	28596 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-006	28608 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-007	28620 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-008	28632 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-009	28644 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-010	28656 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-011	28668 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-354-012	28680 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-360-001	34846 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-360-002	34858 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-360-003	34870 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-360-004	34882 MIDLAND AVE	SFR	A	1.00	668.33	629.96
384-360-005	34909 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-006	34897 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-007	34885 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-008	34873 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-009	34848 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-010	34860 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-011	34872 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-012	34884 STAR JASMINE PL	SFR	A	1.00	668.33	629.96
384-360-013	34895 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-360-014	34883 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-360-015	34871 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-360-016	34859 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-360-017	34864 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-360-018	34876 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-360-019	34888 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-370-001	34431 HARRIS HAWK LN	SFR	A	1.00	668.33	629.96
384-370-002	34419 HARRIS HAWK LN	SFR	A	1.00	668.33	629.96
384-370-003	34407 HARRIS HAWK LN	SFR	A	1.00	668.33	629.96
384-370-004	34404 HARRIS HAWK LN	SFR	A	1.00	668.33	629.96
384-370-005	34416 HARRIS HAWK LN	SFR	A	1.00	668.33	629.96
384-370-006	34428 HARRIS HAWK LN	SFR	A	1.00	668.33	629.96
384-370-007	28508 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-008	28520 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-009	28532 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-010	28544 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-011	28556 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-012	28568 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-013	28580 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-014	28592 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-015	28604 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-016	28616 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-370-018	34407 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-019	34395 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-020	34383 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-021	34371 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-022	34359 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-023	34347 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-024	34339 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-025	34352 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-026	34364 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-027	34376 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-028	34388 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-029	34400 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-030	34412 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-370-031	34424 PRAIRIE CREEK PL	SFR	A	1.00	668.33	629.96
384-371-001	28607 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-002	28595 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-003	28583 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-004	28571 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-005	28559 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-006	28547 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-007	28535 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-008	28523 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-009	28511 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-011	28643 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-012	28631 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-371-013	28619 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-380-001	34347 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-002	34335 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-003	34323 COASTAL STAGE ST	SFR	A	1.00	668.33	629.96
384-380-004	34311 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-005	34299 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-006	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-380-007	34275 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-008	34263 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-009	34251 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-010	34239 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-011	34227 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-380-012	34215 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
Fiscal Year 2025/26
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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-380-013	34203 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-014	34191 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-015	34179 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-016	34167 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-017	34155 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-020	34143 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-021	34131 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-022	34119 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-380-023	34107 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-381-001	34212 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-002	34224 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-003	34236 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-004	34248 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-005	34260 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-006	34272 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-007	34284 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-008	34296 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-009	34308 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-010	34320 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-011	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-381-012	34344 COASTAL SAGE ST	SFR	A	1.00	668.33	629.96
384-381-013	34345 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-014	34333 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-015	34321 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-016	34309 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-017	34297 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-018	34285 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-019	34273 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-020	34261 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-021	34249 FAIRCREST AVE	SFR	A	1.00	668.33	629.96
384-381-022	34237 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-023	34225 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-381-024	34213 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-382-001	34148 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-382-002	34160 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-382-003	34242 FAIRCREST ST	SFR	A	1.00	668.33	629.96
384-382-004	34136 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-382-005	34124 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-382-006	34112 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-382-007	34100 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-382-008	34088 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-391-001	28464 IRONWOOD CT	SFR	A	1.00	668.33	629.96
384-391-002	28476 IRONWOOD CT	SFR	A	1.00	668.33	629.96
384-391-003	28488 IRONWOOD CT	SFR	A	1.00	668.33	629.96
384-391-004	28500 IRONWOOD CT	SFR	A	1.00	668.33	629.96
384-391-005	28512 IRONWOOD CT	SFR	A	1.00	668.33	629.96
384-391-006	28524 IRONWOOD CT	SFR	A	1.00	668.33	629.96
384-391-007	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-391-008	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-391-009	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-391-010	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-391-011	34272 SWEET BROOM LN	SFR	A	1.00	668.33	629.96
384-391-012	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-391-013	28469 IRONWOOD CT	SFR	A	1.00	668.33	629.96
384-400-001	34405 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-002	34393 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-003	34381 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-004	34369 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-005	34357 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-400-006	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-400-007	34333 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-008	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-400-009	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-400-010	34280 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-011	34292 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-012	34304 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-013	34316 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-014	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-400-015	34340 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-016	34352 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-017	34364 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-018	34376 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-019	34388 FALLS VIEW WAY	SFR	A	1.00	668.33	629.96
384-400-020	34069 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-400-021	34057 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-400-022	34045 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-400-023	34441 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-024	34429 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-025	34417 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-026	34405 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-027	34393 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-028	34381 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-029	34369 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-030	34357 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-033	28852 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-400-034	34358 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-035	34346 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-036	34334 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-037	34322 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-038	34310 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-039	34298 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-040	34286 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-041	34274 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-042	34262 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-043	34250 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-400-045	34432 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-400-046	34420 YELLOW SAGE CT	SFR	A	1.00	668.33	629.96
384-401-001	34245 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-002	34257 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-003	34269 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-004	34281 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-005	34293 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-006	34305 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-007	34317 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-008	34329 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-009	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-401-010	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-401-011	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-401-012	34377 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-401-013	34389 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-410-001	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-410-002	28895 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-003	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-410-004	28847 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-005	28835 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-006	28823 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-007	28811 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-008	28799 CLEARVIEW ST	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
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APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-410-009	28739 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-010	28727 CLEARVIEW AVE	SFR	A	1.00	668.33	629.96
384-410-011	28715 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-012	28703 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-013	28691 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-014	28679 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-015	28667 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-410-016	28655 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-411-001	34433 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-002	34421 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-003	34409 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-004	34397 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-005	34385 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-006	34373 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-007	34392 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-008	34404 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-009	34416 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-010	34428 MOUNTAIN QUAIL PL	SFR	A	1.00	668.33	629.96
384-411-011	28708 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-411-012	28720 CLEARVIEW ST	SFR	A	1.00	668.33	629.96
384-411-013	34036 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-411-014	34048 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-411-015	34056 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-411-016	34064 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-411-017	34076 THISTLEWOOD AVE	SFR	A	1.00	668.33	629.96
384-420-001	34780 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-420-002	34768 SILVERSPRINGS PL	SFR	A	1.00	668.33	629.96
384-420-003	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-420-004	34749 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-005	34761 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-006	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-420-007	34785 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-008	34797 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-009	34809 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-010	34821 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-011	34833 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-012	34845 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-013	34842 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-014	34830 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-015	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-420-016	34806 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-017	34794 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-018	34782 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-019	34770 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-020	34758 CARINA PL	SFR	A	1.00	668.33	629.96
384-420-021	34753 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-022	34765 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-023	34777 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-024	34789 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-025	34801 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-026	34813 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-027	34796 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-028	34784 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-029	34772 DORADO LN	SFR	A	1.00	668.33	629.96
384-420-030	28783 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-420-031	28795 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-420-032	28807 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-420-033	28819 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-420-034	34763 BUNCHGRASS LN	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-420-035	34775 BUNCHGRASS LN	SFR	A	1.00	668.33	629.96
384-420-036	34767 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-420-037	34779 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-420-038	34791 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-420-039	34803 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-420-040	34780 BUNCHGRASS LN	SFR	A	1.00	668.33	629.96
384-421-001	34858 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-002	34846 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-003	34834 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-004	34822 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-005	34810 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-006	34798 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-007	34786 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-008	34774 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-009	34762 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-421-010	28848 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-011	28836 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-012	28824 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-013	28812 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-014	28800 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-015	28788 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-016	28776 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-017	28764 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-018	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-421-019	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-421-020	28728 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-021	28716 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-022	28704 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-421-023	28692 TRIPLE C RANCH RD	SFR	A	1.00	668.33	629.96
384-430-001	28840 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-002	28828 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-003	28816 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-004	28804 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-005	27892 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-006	28797 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-007	28809 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-008	28821 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-009	28833 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-010	28845 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-011	28857 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-012	28869 BARN SWALLOW WAY	SFR	A	1.00	668.33	629.96
384-430-013	28794 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-014	28782 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-015	28770 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-016	28758 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-017	28746 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-018	28734 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-019	28722 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-020	28710 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-021	28715 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-022	28727 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-023	28739 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-024	28751 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-025	28763 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-026	28775 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-027	28787 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-430-028	34937 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-430-029	34949 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96
384-430-030	34951 KINGSNAKE AVE	SFR	A	1.00	668.33	629.96

City of Murrieta
Murrieta Landscaping & Lighting District No. 25 (Golden Cities)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	ZONE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-430-031	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-430-032	28778 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-033	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-430-034	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-430-035	28742 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-036	28730 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-037	28718 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-038	28706 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-039	28694 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-040	28682 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-041	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-430-042	28687 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-043	28699 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-044	28711 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-045	28723 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-046	28735 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-047	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-430-048	28759 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-049	NO SITUS AVAILABLE	SFR	A	1.00	668.33	629.96
384-430-050	28783 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-430-051	28795 IVY SPRINGS WAY	SFR	A	1.00	668.33	629.96
384-431-001	34942 KINGSSNAKE AVE	SFR	A	1.00	668.33	629.96
384-431-002	34954 KINGSSNAKE AVE	SFR	A	1.00	668.33	629.96
384-431-003	28819 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-431-004	28831 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-431-005	28854 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-431-006	28842 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-431-007	28830 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-431-008	28818 CLOUD WAY	SFR	A	1.00	668.33	629.96
384-431-009	34906 KINGSSNAKE AVE	SFR	A	1.00	668.33	629.96
384-431-010	34894 KINGSSNAKE AVE	SFR	A	1.00	668.33	629.96
384-431-011	34882 KINGSSNAKE AVE	SFR	A	1.00	668.33	629.96
384-431-012	34870 KINGSSNAKE AVE	SFR	A	1.00	668.33	629.96
384-440-001	28850 BASKETBRUSH CT	SFR	A	1.00	668.33	629.96
384-440-002	28862 BASKETBRUSH CT	SFR	A	1.00	668.33	629.96
384-440-003	28874 BASKETBRUSH CT	SFR	A	1.00	668.33	629.96
384-440-004	28886 BASKETBRUSH CT	SFR	A	1.00	668.33	629.96
384-440-005	28898 BASKETBRUSH CT	SFR	A	1.00	668.33	629.96
384-440-006	34221 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-440-007	34233 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-440-008	34226 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-440-009	34238 SWORDFERN PL	SFR	A	1.00	668.33	629.96
384-440-010	28855 BASKETBRUSH CT	SFR	A	1.00	668.33	629.96
Total				628.43	\$387,818.22	\$368,440.70
Parcels						515

City of Murrieta
Murrieta Landscaping & Lighting District No. 26 (Murrieta Fields / Oakmont)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-300-001	28826 KERI LYNN AVE	SFR	1.00	\$176.61	\$131.40
384-300-002	28844 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-003	28862 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-004	28880 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-005	28898 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-006	28916 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-007	28934 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-008	34000 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-009	34022 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-010	34044 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-011	34066 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-012	34088 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-013	34110 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-014	34132 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-015	34154 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-300-016	34176 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-001	28897 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-002	28879 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-003	28861 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-004	28843 KERN LYNN AVE	SFR	1.00	176.61	131.40
384-301-005	28825 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-006	28807 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-007	28789 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-008	28771 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-009	28753 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-010	28735 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-011	34056 SANDY AVE	SFR	1.00	176.61	131.40
384-301-012	34074 SANDY AVE	SFR	1.00	176.61	131.40
384-301-013	34092 SANDY AVE	SFR	1.00	176.61	131.40
384-301-014	34123 DEANA LN	SFR	1.00	176.61	131.40
384-301-015	34099 DEANA LN	SFR	1.00	176.61	131.40
384-301-016	34075 DEANA LN	SFR	1.00	176.61	131.40
384-301-017	34078 DEANA LN	SFR	1.00	176.61	131.40
384-301-018	34102 DEANA LN	SFR	1.00	176.61	131.40
384-301-019	34126 DEANA LN	SFR	1.00	176.61	131.40
384-301-020	34121 RHONDA LN	SFR	1.00	176.61	131.40
384-301-021	34097 RHONDA LN	SFR	1.00	176.61	131.40
384-301-022	34073 RHONDA LN	SFR	1.00	176.61	131.40
384-301-023	34082 RHONDA LN	SFR	1.00	176.61	131.40
384-301-024	34106 RHONDA LN	SFR	1.00	176.61	131.40
384-301-025	34130 RHONDA LN	SFR	1.00	176.61	131.40
384-301-026	34087 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-027	34067 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-301-028	34047 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-302-001	28913 TONYA ST	SFR	1.00	176.61	131.40
384-302-002	28895 TONYA ST	SFR	1.00	176.61	131.40
384-302-003	28877 TONYA ST	SFR	1.00	176.61	131.40
384-302-004	28859 TONYA ST	SFR	1.00	176.61	131.40
384-302-005	28841 TONYA ST	SFR	1.00	176.61	131.40
384-302-006	28823 TONYA ST	SFR	1.00	176.61	131.40
384-302-007	28805 TONYA ST	SFR	1.00	176.61	131.40
384-302-008	28787 TONYA ST	SFR	1.00	176.61	131.40
384-302-009	28769 TONYA ST	SFR	1.00	176.61	131.40
384-302-010	28751 TONYA ST	SFR	1.00	176.61	131.40

City of Murrieta
Murrieta Landscaping & Lighting District No. 26 (Murrieta Fields / Oakmont)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-302-011	28733 TONYA ST	SFR	1.00	176.61	131.40
384-302-012	28736 SANDY AVE	SFR	1.00	176.61	131.40
384-302-013	28754 SANDY AVE	SFR	1.00	176.61	131.40
384-302-014	28772 SANDY AVE	SFR	1.00	176.61	131.40
384-302-015	28790 SANDY AVE	SFR	1.00	176.61	131.40
384-302-016	28808 SANDY AVE	SFR	1.00	176.61	131.40
384-302-017	28826 SANDY AVE	SFR	1.00	176.61	131.40
384-302-018	28844 SANDY AVE	SFR	1.00	176.61	131.40
384-302-019	28862 SANDY AVE	SFR	1.00	176.61	131.40
384-302-020	28880 SANDY AVE	SFR	1.00	176.61	131.40
384-302-021	28898 SANDY AVE	SFR	1.00	176.61	131.40
384-302-022	28916 SANDY AVE	SFR	1.00	176.61	131.40
384-303-001	28945 SANDY AVE	SFR	1.00	176.61	131.40
384-303-002	28927 SANDY AVE	SFR	1.00	176.61	131.40
384-303-003	28909 SANDY AVE	SFR	1.00	176.61	131.40
384-303-004	28891 SANDY AVE	SFR	1.00	176.61	131.40
384-303-005	28873 SANDY AVE	SFR	1.00	176.61	131.40
384-303-006	28855 SANDY AVE	SFR	1.00	176.61	131.40
384-303-007	28839 SANDY AVE	SFR	1.00	176.61	131.40
384-303-008	28821 SANDY AVE	SFR	1.00	176.61	131.40
384-303-009	28803 SANDY AVE	SFR	1.00	176.61	131.40
384-303-010	28785 SANDY AVE	SFR	1.00	176.61	131.40
384-303-011	28767 SANDY AVE	SFR	1.00	176.61	131.40
384-303-012	28749 SANDY AVE	SFR	1.00	176.61	131.40
384-303-013	28731 SANDY AVE	SFR	1.00	176.61	131.40
384-303-014	34187 SANDY AVE	SFR	1.00	176.61	131.40
384-303-015	34169 SANDY AVE	SFR	1.00	176.61	131.40
384-303-016	34151 SANDY AVE	SFR	1.00	176.61	131.40
384-303-017	34133 SANDY AVE	SFR	1.00	176.61	131.40
384-303-018	34115 SANDY AVE	SFR	1.00	176.61	131.40
384-303-019	34097 SANDY AVE	SFR	1.00	176.61	131.40
384-303-020	34079 SANDY AVE	SFR	1.00	176.61	131.40
384-303-021	34061 SANDY AVE	SFR	1.00	176.61	131.40
384-303-022	34043 SANDY AVE	SFR	1.00	176.61	131.40
384-303-023	34025 SANDY AVE	SFR	1.00	176.61	131.40
384-303-024	34007 SANDY AVE	SFR	1.00	176.61	131.40
384-303-025	28718 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-303-026	28736 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-303-027	28754 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-303-028	28772 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-303-029	28790 KERI LYNN AVE	SFR	1.00	176.61	131.40
384-303-030	28808 KERI LYNN AVE	SFR	1.00	176.61	131.40
Total			96.00	\$16,954.60	\$12,614.40
Parcels					96

City of Murrieta
Murrieta Landscape & Lighting District No. 27 (Hunters Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-440-001	37852 MOCKINGBIRD AVE	SFR	1.00	\$1,244.59	\$822.82
908-440-002	37840 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-003	37828 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-004	37816 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-005	37804 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-006	37792 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-007	37780 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-008	37768 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-009	37756 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-010	37744 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-011	37732 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-440-012	37720 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-001	37698 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-441-002	37686 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-441-003	37674 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-441-004	37662 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-441-005	37650 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-441-006	37638 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-441-007	37753 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-008	37765 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-009	37777 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-010	37789 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-011	37801 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-012	37813 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-013	37825 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-014	37837 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-015	37849 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-016	37861 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-441-017	37846 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-018	37834 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-019	37822 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-020	37810 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-021	37798 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-022	37786 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-023	37774 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-024	37762 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-025	37750 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-026	37738 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-027	37745 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-028	37757 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-029	37769 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-030	37781 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-031	37793 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-032	37805 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-033	37817 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-034	37829 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-035	37841 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-036	37853 PEREGRINE PL	SFR	1.00	1,244.59	822.82
908-441-037	37838 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-441-038	37826 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-441-039	37814 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-441-040	37802 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-441-041	37790 MOCKINGBIRD PL	SFR	1.00	1,244.59	822.82
908-441-042	37778 KINGBIRD PL	SFR	1.00	1,244.59	822.82

City of Murrieta
Murrieta Landscape & Lighting District No. 27 (Hunters Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-441-043	37766 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-441-044	37754 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-450-001	37708 MOCKINGBIRD AVE	SFR	1.00	1,244.59	822.82
908-450-002	37623 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-450-003	37635 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-450-004	37647 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-450-005	28901 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-450-006	28913 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-450-007	28937 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-001	28934 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-002	28910 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-003	28886 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-004	28862 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-005	28865 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-006	28877 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-007	28889 RANGEVIEW DR	SFR	1.00	1,244.59	822.82
908-451-008	37659 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-451-009	37671 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-451-010	37683 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-451-011	37707 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-451-012	37719 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-451-013	37731 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-460-001	37743 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-460-002	37755 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-460-003	37803 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-460-004	28764 BLUE LARKSPUR CT	SFR	1.00	1,244.59	822.82
908-460-005	28752 BLUE LARKSPUR CT	SFR	1.00	1,244.59	822.82
908-460-006	28755 BLUE LARKSPUR CT	SFR	1.00	1,244.59	822.82
908-460-007	28767 BLUE LARKSPUR CT	SFR	1.00	1,244.59	822.82
908-460-008	28779 BLUE LARKSPUR CT	SFR	1.00	1,244.59	822.82
908-460-009	28791 BLUE LARKSPUR CT	SFR	1.00	1,244.59	822.82
908-460-010	28786 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-011	28744 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-012	28762 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-013	28750 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-014	28753 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-015	28765 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-016	28777 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-017	28789 PRAIRIE FALCON CT	SFR	1.00	1,244.59	822.82
908-460-018	37791 SPRINGVIEW RD	SFR	1.00	1,244.59	822.82
908-461-001	37830 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-002	37818 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-003	37806 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-004	37794 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-005	37782 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-006	37770 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-007	37758 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-008	37746 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-009	37734 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-010	37722 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-011	37710 GOLDEN EAGLE AVE	SFR	1.00	1,244.59	822.82
908-461-012	37763 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-461-013	37775 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-461-014	37787 KINGBIRD PL	SFR	1.00	1,244.59	822.82

City of Murrieta
Murrieta Landscape & Lighting District No. 27 (Hunters Ridge)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
908-461-015	37799 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-461-016	37811 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-461-017	37823 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-461-018	37835 KINGBIRD PL	SFR	1.00	1,244.59	822.82
908-461-019	37847 KINGBIRD PL	SFR	1.00	1,244.59	822.82
Total			113.00	\$140,639.16	\$92,978.66
Parcels					113

City of Murrieta
Murrieta Landscape & Lighting District No. 28 (Lantana)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-310-001	28568 BAUVARDIA WAY	SFR	1.00	\$1,290.24	\$780.62
384-310-002	28580 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-003	28592 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-004	28604 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-005	28616 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-006	28628 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-007	28625 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-008	28613 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-009	28601 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-010	28589 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-011	28577 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-012	28565 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-013	28553 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-310-014	28574 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-015	28586 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-016	28598 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-017	28610 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-018	28622 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-019	28605 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-020	28593 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-021	28581 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-022	28569 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-023	28557 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-310-024	28600 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-310-025	28612 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-310-026	28624 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-310-027	28636 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-311-001	28660 MUSA LN	SFR	1.00	1,290.24	780.62
384-311-002	28672 MUSA LN	SFR	1.00	1,290.24	780.62
384-311-003	28693 MUSA LN	SFR	1.00	1,290.24	780.62
384-311-004	28681 MUSA LN	SFR	1.00	1,290.24	780.62
384-311-005	28669 MUSA LN	SFR	1.00	1,290.24	780.62
384-311-006	28657 MUSA LN	SFR	1.00	1,290.24	780.62
384-312-001	28617 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-312-002	28605 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-320-001	28541 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-320-002	28529 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-320-003	28517 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-320-004	28505 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-320-005	28493 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-320-006	28514 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-320-007	28526 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-320-008	28538 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-320-009	28550 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-320-010	28562 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-321-001	28545 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-321-002	28533 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-321-003	28521 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-321-004	28509 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-321-005	28497 AUTHURIUM WAY	SFR	1.00	1,290.24	780.62
384-321-006	28540 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-321-007	28552 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-321-008	28564 HELLEBORE ST	SFR	1.00	1,290.24	780.62

City of Murrieta
Murrieta Landscape & Lighting District No. 28 (Lantana)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
384-321-009	28576 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-321-010	28588 HELLEBORE ST	SFR	1.00	1,290.24	780.62
384-322-001	34148 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-002	34160 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-003	34172 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-004	34184 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-005	34213 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-006	34201 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-007	34189 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-008	34177 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-009	34165 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-010	34153 CARIBAEA LN	SFR	1.00	1,290.24	780.62
384-322-011	34140 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-012	34152 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-013	34164 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-014	34176 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-015	34188 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-016	34200 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-017	34212 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-018	34245 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-019	34233 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-020	34221 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-021	34209 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-022	34197 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-023	34185 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-024	34173 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-025	34161 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-026	34149 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-027	34137 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-028	34125 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-029	34113 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-030	34099 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-031	34087 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-032	34075 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-033	34063 GLORIOSA PL	SFR	1.00	1,290.24	780.62
384-322-036	28484 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-322-037	28496 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-322-038	28508 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-322-039	28520 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-322-040	28532 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-322-041	28544 BAUVARDIA WAY	SFR	1.00	1,290.24	780.62
384-322-047	34051 GLORIOSA PL	SFR	1.00	1,290.24	780.62
Total			95.00	\$122,572.71	\$74,158.90
Parcels					95

City of Murrieta
Murrieta Landscape & Lighting District No. 29 (Gallery Estates)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
906-270-062	24212 SUMMER CREEK LN	SFR	1.00	\$1,024.82	\$934.14
906-270-063	24198 SUMMER CREEK LN	SFR	1.00	1,024.82	934.14
906-270-064	24183 SUMMER CREEK LN	SFR	1.00	1,024.82	934.14
906-270-065	24205 SUMMER CREEK LN	SFR	1.00	1,024.82	934.14
906-270-066	24219 SUMMER CREEK LN	SFR	1.00	1,024.82	934.14
906-270-067	42325 DOVE CREEK CT	SFR	1.00	1,024.82	934.14
906-270-068	42349 DOVE CREEK CT	SFR	1.00	1,024.82	934.14
906-270-069	42346 DOVE CREEK CT	SFR	1.00	1,024.82	934.14
906-270-070	42298 DOVE CREEK CT	SFR	1.00	1,024.82	934.14
906-270-071	42274 DOVE CREEK CT	SFR	1.00	1,024.82	934.14
Total			10.00	\$10,248.17	\$9,341.40
Parcels					10

City of Murrieta
Murrieta Landscape & Lighting District No. 31 (Willow Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
963-070-058	NO SITUS AVAILABLE	COM	2.40	\$496.87	\$496.84
963-070-059	NO SITUS AVAILABLE	COM	12.40	2,567.17	2,567.04
963-070-060	NO SITUS AVAILABLE	COM	23.20	4,803.10	4,802.86
963-521-001	30072 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-521-002	30080 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-521-003	30088 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-521-004	30096 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-521-005	30104 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-521-006	30112 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-521-008	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-009	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-010	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-011	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-012	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-013	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-014	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-016	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-017	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-018	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-019	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-020	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-021	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-022	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-023	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-024	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-026	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-027	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-028	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-029	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-030	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-031	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-033	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-034	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-035	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-036	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-037	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-038	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-039	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-041	30234 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-042	30226 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-043	30218 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-044	30210 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-046	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-047	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-048	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-049	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-050	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-052	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-053	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-054	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-056	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-057	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-058	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-059	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02

City of Murrieta
Murrieta Landscape & Lighting District No. 31 (Willow Springs)
Fiscal Year 2025/26
Preliminary Assessment Roll
(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
963-521-060	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-061	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-062	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-064	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-065	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-066	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-068	30431 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-069	30423 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-070	30415 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-071	30263 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-072	30255 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-073	30247 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-075	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-076	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-521-078	30073 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-079	30065 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-080	30057 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-081	30049 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-083	30239 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-084	30231 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-085	30223 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-086	30215 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-087	30113 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-088	30105 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-089	30097 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-090	30089 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-521-091	30081 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-001	30068 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-002	30060 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-003	30052 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-004	30044 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-005	30036 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-006	30028 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-007	30020 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-008	30012 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-009	30004 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-011	30116 ARROYO SPRINGS	SFR	1.00	207.03	207.02
963-522-012	30108 ARROYO SPRINGS	SFV	1.00	207.03	207.02
963-522-013	30100 ARROYO SPRINGS	SFV	1.00	207.03	207.02
963-522-014	30092 ARROYO SPRINGS	SFV	1.00	207.03	207.02
963-522-015	30084 ARROYO SPRINGS	SFV	1.00	207.03	207.02
963-522-016	30076 ARROYO SPRINGS	SFV	1.00	207.03	207.02
963-531-001	30197 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-531-002	30189 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-531-003	36618 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-531-004	36626 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-531-005	36634 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-531-006	36825 POND TURTLE	SFV	1.00	207.03	207.02
963-531-007	36817 POND TURTLE	SFV	1.00	207.03	207.02
963-531-009	36609 POND TURTLE	SFV	1.00	207.03	207.02
963-531-010	36617 POND TURTLE	SFV	1.00	207.03	207.02
963-531-011	36625 POND TURTLE	SFV	1.00	207.03	207.02
963-531-012	36633 POND TURTLE	SFV	1.00	207.03	207.02
963-531-013	36628 DESERT TORTOISE	SFV	1.00	207.03	207.02

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
963-531-014	36620 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-015	36612 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-016	36604 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-018	36641 POND TURTLE	SFV	1.00	207.03	207.02
963-531-019	36649 POND TURTLE	SFV	1.00	207.03	207.02
963-531-020	36657 POND TURTLE	SFV	1.00	207.03	207.02
963-531-021	36652 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-022	36644 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-023	36636 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-025	36607 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-026	36615 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-027	36623 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-029	36631 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-030	36639 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-031	36647 DESERT TORTOISE	SFV	1.00	207.03	207.02
963-531-033	30118 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-034	30110 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-035	30102 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-036	30121 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-037	30075 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-531-038	30083 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-531-039	30091 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-531-040	30099 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-531-041	30107 BONITA SPRINGS	SFV	1.00	207.03	207.02
963-531-043	30155 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-044	30147 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-045	36594 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-531-046	30195 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-047	30187 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-048	30179 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-049	30171 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-050	30163 SPINEFLOWER	SFV	1.00	207.03	207.02
963-531-051	30160 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-531-052	30168 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-531-053	30176 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-531-054	30184 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-531-055	30192 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-532-001	36577 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-002	36585 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-003	36593 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-004	36601 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-005	36609 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-006	36617 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-007	36625 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-009	36505 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-010	36513 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-011	36521 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-012	36545 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-013	36533 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-014	36561 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-015	36569 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-532-017	36516 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-018	36508 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-019	36500 DIEGO SPRINGS	SFR	1.00	207.03	207.02

City of Murrieta
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(Sorted By APN)

APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
963-532-021	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-022	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-023	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-025	36580 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-026	36588 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-027	36596 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-028	36604 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-029	36612 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-030	36620 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-031	36628 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-032	36636 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-033	36682 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-034	36690 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-035	36698 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-037	36540 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-038	36548 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-039	36556 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-040	36564 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-041	36572 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-532-043	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-044	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-045	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-046	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-047	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-048	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-049	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-050	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-051	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-053	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-054	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-055	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-056	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-057	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-058	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-060	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-061	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-062	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-063	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-064	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-065	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-066	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-067	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-068	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-069	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-070	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-532-071	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-001	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-002	30412 SALTGRASS	SFV	1.00	207.03	207.02
963-541-003	30404 SALTGRASS	SFV	1.00	207.03	207.02
963-541-005	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-006	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-007	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-008	36920 CAMINO SPRINGS	SFR	1.00	207.03	207.02
963-541-009	36912 CAMINO SPRINGS	SFR	1.00	207.03	207.02

City of Murrieta
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APN	SITUS ADDRESS	LAND USE CODE	EBU	MAXIMUM ASSESSMENT	CHARGE
963-541-010	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-012	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-013	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-014	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-015	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-016	36915 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-541-017	36923 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-541-018	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-020	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-021	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-022	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-023	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-024	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-025	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-026	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-027	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-541-028	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-001	30339 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-542-002	30331 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-542-003	30323 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-542-004	30315 BRITTLE BRUSH	SFV	1.00	207.03	207.02
963-542-005	36806 POND TURTLE	SFV	1.00	207.03	207.02
963-542-006	36814 POND TURTLE	SFV	1.00	207.03	207.02
963-542-007	36822 POND TURTLE	SFV	1.00	207.03	207.02
963-542-008	36830 POND TURTLE	SFV	1.00	207.03	207.02
963-542-009	36812 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-542-010	36828 CAMINO SPRINGS	SFV	1.00	207.03	207.02
963-542-012	36720 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-013	36728 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-014	36736 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-015	36790 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-016	36798 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-017	36806 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-018	36814 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-019	36822 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-020	36830 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-022	36838 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-023	36846 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-024	36854 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-025	36862 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-026	36780 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-028	36785 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-029	36793 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-030	36801 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-031	36809 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-032	36817 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-033	36825 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-035	36833 DIEGO SPRINGS	SFR	1.00	207.03	207.02
963-542-036	36841 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-037	36849 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-038	36857 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-039	36865 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-040	36940 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-041	36948 DIEGO SPRINGS	SFV	1.00	207.03	207.02

City of Murrieta
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(Sorted By APN)

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963-542-042	36956 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-043	36964 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-044	36972 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-045	36980 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-046	36988 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-047	36996 DIEGO SPRINGS	SFV	1.00	207.03	207.02
963-542-049	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-050	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-051	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-052	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-053	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-054	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-055	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-056	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-057	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
963-542-058	NO SITUS AVAILABLE	SFV	1.00	207.03	207.02
Total			321.00	\$66,456.63	\$66,453.40
Parcels					286



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 12.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: David Chantarangsu, AICP, Development Services Director

PREPARED BY: Jarrett Ramaiya, Deputy Development Director

SUBJECT: Consideration to Introduce an Ordinance approving a Development Agreement for Digital Billboards at Locations Approved by Relocation Agreement

RECOMMENDATION

Conduct the Public Hearing and receive public comments;

Find that the action is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15302 and 15303, as described in this staff report and the Ordinance; and

Introduce and conduct the first reading of Ordinance No. 620-25 entitled: *An Ordinance of the City Council of the City of Murrieta, California, Approving the Development Agreement with Lamar Central Outdoor, LLC for the Relocation of Billboards Subject to A Relocation Agreement.*

PRIOR ACTION/VOTE

On April 15, 1997, the City Council approved a Relocation Agreement between the City of Murrieta and Outdoor Media Group, Inc. (Vote: 5-0).

On November 9, 2022, the Planning Commission recommended that City Council approve PC Resolution No. 2022-17 to approve the proposed Development Code Amendment to authorize the relocation or reconstruction of Billboards subject to a Relocation Agreement (Vote: 5-0).

On December 20, 2022, the City Council approved Ordinance No. 587-22 to approve a Development Code Amendment authorizing the relocation or reconstruction of Billboards subject to a Relocation Agreement (Vote: 5-0).

On December 20, 2022, the City Council approved a Relocation Agreement with Lamar Central Outdoor to authorize the relocation or reconstruction of three Billboards subject to the approval of a Development Agreement (Vote: 5-0).

On May 29, 2025, the Planning Commission provided a recommendation of approval for the Development Agreement, authorizing the relocation or reconstruction of Billboards subject to the Relocation Agreement

(Vote: 2-2-1).

CITY COUNCIL GOAL

Aggressively pursue economic development.

BACKGROUND

California Government Code Section 65865 et. seq. authorizes the City to enter into development agreements, which in effect become contractual agreements between the City and property owners (or applicants who possess sufficient non-possessory interest in those certain parcels of real property) regarding development rights and performance standards for a given project. Development agreements allow the City and developers to achieve a level of certainty regarding the future development of property and are a commonly used development tool for billboard projects. Pursuant to the City's Municipal Code and State law, the development agreement process requires the Planning Commission to make a recommendation to the City Council prior to the Council's action.

On December 20, 2022, the City of Murrieta (City) and developer Lamar Central Outdoor, LLC (Developer) entered into a Relocation Agreement in accordance with California Business and Professions Code Sections 5200 *et seq.* and Title 16 of the Murrieta Municipal Code (the Relocation Agreement) to memorialize the terms and conditions upon which Developer will have the right to relocate and reconstruct certain legally existing billboards within the City. Pursuant to the terms of the Relocation Agreement, upon the permanent removal of the Removed Billboards (as defined in the Relocation Agreement), the Developer shall be entitled to reconstruct three (3) existing Billboards upon private property, subject to the approval of a sign permit and a Development Agreement.

ANALYSIS

Summary of Development Agreement Terms

As further detailed in the proposed Development Agreement, conditions negotiated and agreed to by the Developer and City include, but are not limited to:

1. The term shall commence on the Effective Date and shall terminate on its 30 year anniversary, unless extended in accordance with the terms of the Development Agreement.
2. Upon the permanent removal of three (3) Removed Billboards (as defined in the Relocation Agreement), the City will allow the Developer to build three (3) digital outdoor advertising displays (DOADs).
3. Developer will be responsible for the DOADs, including graffiti removal and repairs within 48 hours notification.
4. DOADs shall not operate at brightness levels of more than 0.3-foot candles above ambient light, as measured using a foot candle meter at a pre-set distance. The distance to measure the foot candles' impact shall be measured from a distance of 250 ft. for a sign with a nominal face size of 14' x 48'. Each Digital Display Area must have a light-sensing device that will adjust the brightness as ambient light conditions change in accordance with the Outdoor Advertising Act.
5. DOADs shall contain static messages only, and shall not have movement, or the appearance or optical illusion of movement during the static display period, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement. A static message cannot include flashing lighting or the varying of light intensity.
6. No DOAD shall involve any red or blinking or intermittent light likely to be mistaken for warning or danger signals, nor shall its illumination impair the vision of travelers on the adjacent freeway and/or roadways.

7. The DOAD shall be operated with systems and monitoring to freeze the display in one static position, display a full black screen, or turn off in the event of a malfunction.
8. No DOAD shall simulate or imitate any directional, warning, danger, or any display likely to be mistaken for any permitted sign intended or likely to be construed as giving warning to traffic by, for example, the use of the words “stop” or “slow down.”
9. The Developer voluntarily covenants and agrees to prohibit advertising displayed on the DOADs for adult businesses, cabarets, strip clubs, lingerie, and cannabis products of any kind, including CBD products.
10. The Developer will pay the City a one-time payment of Two Hundred Fifty Thousand Dollars (\$250,000) per DOAD, with such payment due to the City upon the commencement date of each DOAD.
11. The Developer shall further pay to the City an annual fee in the sum of the greater of One Hundred Thousand Dollars (\$100,000) each calendar year or twenty-five percent (25%) of the annual gross advertising revenue generated by each of the DOADs, whichever is higher.
12. The Developer will also donate a City Hall Digital Monument Sign to the City as described in the Relocation Agreement.
13. The City shall be entitled to place up to one eight-second public service message per minute on each DOAD provided that space is available.
14. Sign facilities shall be in compliance with FAA and Caltrans standards.

In summary, the proposed Development Agreement establishes development standards for the three (3) billboard reconstructions consistent with the Relocation Agreement and consistent with the policies of the Murrieta Municipal Code and California Outdoor Advertising Act.

The three locations for reconstructed signs are 41001 Golden Gate Circle (57' in height), 25941 Jackson Avenue (85' in height), and 26171 Jackson Avenue (47' in height). See Attachment 3 for the vicinity map, showing the three locations.

Staff have reviewed the proposed plans and have determined that the three (3) reconstructed billboards subject to the proposed Development Agreement will not be detrimental to the surrounding areas, based on the required operating terms, including design and regulatory controls. The development and operations requirements will ensure appropriate integration in context with existing and anticipated adjacent developments and are consistent with applicable development standards.

ENVIRONMENTAL DETERMINATION

The Project has been evaluated pursuant to the California Environmental Quality Act (CEQA), and it has been determined that the Agreement is exempt pursuant to CEQA Guidelines 15302 and 15303 because it will allow for the replacement or reconstruction of existing structures and the new construction or conversion of small structures. See Attachment 4 for the Notice of Exemption.

FISCAL IMPACT

There is no fiscal impact from approving the development agreement. The previously approved relocation agreement includes a material consideration consisting of a one-time payment of \$250,000, per DOAD, plus \$100,000, or 25% of the annual gross advertising revenue generated by each DOAD.

ATTACHMENTS

1. Ordinance No. 620-25
2. Planning Commission staff report (05/28/25)
3. Vicinity Map

4. Notice of Exemption

ORDINANCE NO. 620-25

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, APPROVING THE DEVELOPMENT AGREEMENT WITH LAMAR CENTRAL OUTDOOR, LLC FOR THE RELOCATION OF BILLBOARDS SUBJECT TO A RELOCATION AGREEMENT

Summary: On December 20, 2022, the City and Lamar Central Outdoor, LLC (Developer) entered into a Relocation Agreement to memorialize the terms and conditions upon which the Developer will have the right to relocate and reconstruct certain legally existing billboards within the City. Pursuant to the terms of the Relocation Agreement, upon the permanent removal of the Removed Billboards (as defined in the Relocation Agreement), the Developer shall be entitled to reconstruct three (3) existing Billboards upon private property, subject to the approval of a sign permit and a Development Agreement. The Development Agreement authorizes the relocation or reconstruction of Billboards subject to the Relocation Agreement.

WHEREAS, in 2023 the City Council of the City of Murrieta (“City”) adopted an ordinance amending the City’s Development Code to allow Billboards in specified zoning districts subject to a Relocation Agreement; and

WHEREAS, the City Council subsequently approved a Relocation Agreement with Lamar Central Outdoor, LLC (“Lamar”) to allow the relocation and reconstruction of three Billboards owned by Lamar and located on private property, subject to a Development Agreement; and

WHEREAS, pursuant to state law and Murrieta Development Code Chapter 16.54, a Development Agreement must be approved by ordinance following public hearings by the Planning Commission and City Council; and

WHEREAS, the City proposes an Ordinance approving a Development Agreement with Lamar to allow the relocation and reconstruction of the three Billboards as authorized in the Relocation Agreement; and

WHEREAS, the proposed Development Agreement establishes the design and operational requirements for the Billboards, and also sets forth the financial and other benefits to be received by the City consistent with the Relocation Agreement; and

WHEREAS, on May 28, 2025, the City of Murrieta Planning Commission held a duly noticed public hearing on the proposed Development Agreement, at which a staff report was presented and evidence was provided in the record to support the findings required by Murrieta Development Code Section 16.54.070; and

WHEREAS, the Planning Commission, based on substantial evidence, considered the potential for environmental effects as a result of the proposed Development Agreement pursuant to the California Environmental Quality Act (CEQA), and determined that the proposed Development Code Amendment is exempt under Sections 15302 and 15303 of the CEQA Guidelines; and

WHEREAS, the Planning Commission considered and discussed the public comments and written information provided at the public hearing and determined that the proposed Development

Agreement is appropriate, and adopted Resolution No. 2025-1437 recommending approval to the City Council; and

WHEREAS, on July 1, 2025 the City Council held a duly noticed public hearing on the proposed Development Agreement, at which the staff report and evidence was submitted into the record to support the findings required by the Murrieta Development Code Section 16.54.070; and

WHEREAS, following the public hearing the City Council introduced Ordinance No. (next in order).

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. The above recitals are true and correct and are incorporated herein by reference as if set forth in full.

SECTION 2. In accordance with Section 16.54.070 of the Murrieta Development Code, and based on all the information presented during the public hearing, the City Council finds that the proposed Development Agreement (a) will be in the best interest of the City; and (b) will be consistent with the objectives, policies, general land uses, and programs of the general plan, any applicable specific plan, and the Development Code. The facts supporting these findings are set forth in the staff report and in the resolution adopted by the Planning Commission.

SECTION 3. The City Council hereby approves the Development Agreement and authorizes the Mayor to execute the Development Agreement pursuant to Section 16.54.060(D) of the Development Code.

SECTION 4. The City Council finds the introduction and adoption of this Ordinance is exempt from the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines 15302 and 15303, because adopting the amendment will allow for the replacement or reconstruction of existing structures and new construction or conversion of small structures.

SECTION 5. If any section, subsection, sentence, clause, or phrase of this ordinance is for any reason held to be invalid or unconstitutional by a decision of any court of any competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance. The City Council hereby declares that it would have passed this ordinance, and each and every section, subsection, sentence, clause and phrase thereof not declared invalid or unconstitutional without regard to whether any portion of the ordinance would be subsequently declared invalid or unconstitutional.

SECTION 6. This Ordinance shall become effective on the thirty-first (31st) day after its passage and adoption, and within fifteen (15) days after its final passage and the City Clerk shall cause it to be posted and published in a newspaper of general circulation, printed, published and circulated in the City in the manner required by law and shall cause a copy of this Ordinance and its certification, to be entered in the Book of Ordinances of the City.

INTRODUCED at a regular **meeting** of the City Council of the City of Murrieta, California, held on the _____ day of _____, 2025; and

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Murrieta, California, held on the ____ day of _____, 2025.

Cindy Warren, Mayor

ATTEST:

Cristal McDonald, City Clerk

APPROVED AS TO FORM:

Tiffany J. Israel, City Attorney

ATTACHMENTS:

Exhibit A Development Agreement

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE)§
CITY OF MURRIETA)

I, Cristal McDonald, City Clerk of the City of Murrieta, California, do hereby certify that the foregoing Ordinance No. 620-25 was duly passed and adopted by the City Council of the City of Murrieta at the regular meeting thereof, held on the ____th day of _____, 2025, and was signed by the Mayor of the said City, and that the same was passed and adopted by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cristal McDonald, City Clerk

I, Cristal McDonald, City Clerk of the City of Murrieta, California further certify that Ordinance No. 620-25, was duly published according to law and the order of the City Council of said City and the same was so published in *Press Enterprise*, a newspaper of general circulation on the following date(s):

Adopted Ordinance: _____, 2025.

In witness whereof, I have hereunto subscribed my name this ____ day of _____, 2025.

Cristal McDonald, City Clerk

EXHIBIT A
DEVELOPMENT AGREEMENT

RECORDING REQUESTED BY:

City of Murrieta

WHEN RECORDED MAIL TO:

City of Murrieta
1 Town Square
Murrieta, California 92562
Attention: City Clerk

APNs: [910-210-055][910-020-081][910-060-019]

(SPACE ABOVE THIS LINE RESERVED FOR RECORDER’S USE) (Exempt from Recording Fees Pursuant to Gov. Code §6103)

**DEVELOPMENT AGREEMENT BY AND BETWEEN
CITY OF MURRIETA AND LAMAR CENTRAL OUTDOOR, LLC
CONCERNING PROPERTIES LOCATED AT
1) I-15 WL 1.2 MI N/O WINCHESTER APN: 910-210-055,
2) I-15 & 215 EL S/O OVERPASS APN: 910-020-077, AND
3) I-15 E/L 1.5 MI N/O WINCHESTER APN: 910-060-009,
MURRIETA, CALIFORNIA**

THIS DEVELOPMENT AGREEMENT (“Agreement”) is made and entered into as of the “Effective Date” set forth herein by and between the CITY OF MURRIETA, a municipal corporation organized and existing under the laws of the State of California (“City”) and LAMAR CENTRAL OUTDOOR, LLC, a Delaware limited liability company (“Developer”). The City and the Developer are hereinafter sometimes referred to individually as a "Party" and collectively as the "Parties." In consideration of the mutual covenants and agreements contained in this Agreement, the Parties hereto agree as follows:

RECITALS

WHEREAS, the Development Agreement Law authorizes cities to enter into binding development agreements with persons having a legal or equitable interest in real property for the development of such property, all for the purposes of strengthening the public planning process, encouraging private participation and comprehensive planning and identifying the economic costs of such development; and

WHEREAS, the California Outdoor Advertising Act (Bus. and Prof. Code Sections 5200 *et seq.*), and specifically Sections 5412 and 5443.5, empowers cities and sign owners to enter into relocation agreements on whatever terms are agreeable to such parties; and

WHEREAS, the Parties have entered into a Relocation Agreement dated December 20, 2022 and attached hereto as Exhibit “A” (“Relocation Agreement”) in accordance with Title 16 of the Murrieta Municipal Code to memorialize the terms and conditions upon which Developer will have the right to relocate and reconstruct certain legally existing billboards within the City; and

WHEREAS, pursuant to the terms herein, Developer intends to construct and maintain three (3) double-sided Digital Outdoor Advertising Displays (“DOADs”) with one (1) DOAD located on each of the three Sites, as defined herein; and

WHEREAS, in exchange for the right to relocate and reconstruct the DOADs, Developer will provide numerous public benefits to the City, by: (1) erecting a City Hall monument sign (“Monument Sign”), which will provide public messaging controlled by the City; (2) donating all unsold advertising space on the DOADs to the City for public service messaging; (3) contributing Two-Hundred and Fifty Thousand Dollars (\$250,000.00) to the City per DOAD upon the Commencement Date; and (4) revenue sharing with the City in an amount of One Hundred Thousand Dollars (\$100,000.00) annually per DOAD or twenty-five percent (25%) of the annual gross revenue of the DOAD, whichever is greater; and

WHEREAS, Developer possesses sufficient non-possessory interest in those certain parcels of real property by way of a grant of easement, each located entirely within City near the Interstate 15 Highway, the common and legal descriptions of which are described below as “Sites”; and

WHEREAS, on May 28, 2025 the Planning Commission of the City, at a duly noticed public hearing to consider the approval of this Agreement, adopted PC Resolution No. 25-1437 recommending approval of this Agreement to the City Council and finding the Project, as defined below, categorically exempt from the provisions of the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines 15302 and 15303 regarding replacement or reconstruction of existing structures, and new construction or conversion of small structures; and

WHEREAS, the City Council has found that this Agreement is in the best public interest of the City and its residents, adopting this Agreement constitutes a present exercise of the City’s police power, and this Agreement is consistent with the City’s General Plan. This Agreement and the proposed Project (as hereinafter defined) will achieve a number of City objectives including facilitating the overall reduction of billboards in the City pursuant to the provisions of the Relocation Agreement and the replacement of less-desirable billboards to aesthetically pleasing billboards in conformance with current billboard standards; and

WHEREAS, on July 1, 2025, the City Council held a public hearing on this Agreement and considered the Planning Commission’s recommendations and the testimony and information submitted by City staff, Developer, and members of the public. On _____, 2025, the City Council adopted Ordinance No. 620-25 (the “Adopting Ordinance”), finding this Agreement to be consistent with the City of Murrieta General Plan and approving this Agreement.

COVENANTS

NOW, THEREFORE, in consideration of the foregoing Recitals, which Recitals are incorporated herein by reference and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and in consideration of the covenants set forth herein, the parties hereby agree as follows:

1. Definitions. In addition to any terms defined elsewhere in this Agreement, the following terms when used in this Agreement shall have the meanings set forth below:

1.1 “Action” shall have the meaning ascribed in Section 8.7 of this Agreement.

1.2 “Adopting Ordinance” shall mean City Council Ordinance No. 620-25 approving and adopting this Agreement.

1.3 “Agreement” shall mean this Development Agreement, as the same may be amended from time to time.

1.4 “Agreement Date” shall mean the date first written above, which date is the date the City Council adopted the Adopting Ordinance.

1.5 “Agreement Year” means one of the consecutive 12-month periods during the Term. The first Agreement Year begins on the Effective Date.

1.6 “Business Day” means any day the City’s main offices located at 1 Town Square, Murrieta, California, are open to the public.

1.7 “Caltrans” means the California Department of Transportation.

1.8 “Caltrans Permits” means all permits and approvals that Developer must obtain from Caltrans to install, operate, and maintain the Digital Outdoor Advertising Displays in accordance with this Agreement.

1.9 “CEQA” shall mean the California Environmental Quality Act (California Public Resources Code sections 21000-21177) and the implementing regulations promulgated thereunder by the Secretary for Resources (California Code of Regulations, Title 14, section 15000 *et seq.*), as the same may be amended from time to time.

1.10 “City” shall mean the City of Murrieta, a California general law city, and any successor or assignee of the rights and obligations of the City of Murrieta hereunder.

1.11 “City Council” shall mean the governing body of the City.

1.12 “City’s Affiliated Parties” shall have the meaning ascribed in Section 10.1 of this Agreement.

1.13 “City Permits” means all building permits and other permits, entitlements, and agreements that the City, acting in its governmental capacity, must issue or approve for Developer to install, operate, and maintain the Digital Outdoor Advertising Displays in accordance with this Agreement.

1.14 “Claim” shall have the meaning ascribed in Section 10.1 of this Agreement.

1.15 “Commencement Date” shall mean the date that each DOAD has become operational, i.e., the date construction of each of the three DOADs has been completed, final inspection by the City has occurred, and the DOAD is capable of displaying advertising copy electronically and is connected to a permanent power source, following receipt by Developer of all Development Approvals. Developer will provide to City a Notice of Commencement Date within five (5) business days following the completion of all of the foregoing for each DOAD.

1.16 “Cure Period” shall have the meaning ascribed in Section 8.1 of this Agreement.

1.17 “Default” shall have the meaning ascribed to that term in Section 8.1 of this Agreement.

1.18 “Develop” or “Development” shall mean to improve or the improvement of the Sites for the purpose of completing the structures, improvements, and facilities comprising the Project. The terms “Develop” and “Development,” as used herein, do not include the maintenance, repair, reconstruction, replacement, or redevelopment of any structure, improvement, or facility after the initial construction and completion thereof.

1.19 “Development Agreement Statute” shall mean California Government Code sections 65864-65869.5, inclusive.

1.20 “Development Plan” shall mean all of the land use entitlements, approvals and permits approved by the City for the Project on or before the Agreement Date, as the same may be amended from time to time consistent with this Agreement. Such land use entitlements, approvals, and permits including, without limitation, approval of a Development Agreement authorizing such installation or construction.

1.21 “Development Regulations” shall mean the following regulations as they are in effect as of the Effective Date and to the extent they govern or regulate the development of the Sites, but excluding any amendment or modification to the Development Regulations adopted, approved, or imposed after the Effective Date that impairs or restricts Developer’s rights set forth in this Agreement, unless such amendment or modification is expressly authorized by this Agreement or is agreed to by Developer in writing: the General Plan; the Development Plan; and, to the extent not expressly superseded by the Development Plan or this Agreement, all other land use and subdivision regulations governing the permitted uses, density and intensity of use, design, improvement, and construction standards and specifications, procedures for obtaining required City permits and approvals for development, and similar matters that may apply to Development of the Project on the Sites during the Term of this Agreement that are specifically set forth in Title 15 of the Municipal Code (Buildings & Construction) and Title 16 of the Municipal Code (Development Code).

1.22 “Developer” shall mean Lamar Central Outdoor, LLC, a Delaware limited liability company duly existing and operating, and any successors and assignees to all or any portion of the right, title, and interest of the DOADs in and to the easement rights of the Sites.

1.23 “Digital Display Area” or “Message Center” means the portion of the DOAD that consists of back-to-back digital (currently LED technology) display areas used for general commercial advertising, with each of the two display areas measuring nominally 14 feet high and 48 feet wide plus a framing around the display area.

1.24 “Digital Outdoor Advertising Displays or DOADs” shall mean collectively the three (3) double-sided billboards/outdoor advertising signs with 1) one located at Site 1, described herein; 2) one located at Site 2, described herein ; and 3) one located at Site 3, described herein, which utilizes digital message technology on at least one (1) display face, capable of changing the static message or copy on the sign electronically, such that the alphabetic, pictographic, or symbolic informational content of which can be changed or altered on a fixed display surface composed of electronically illuminated or electronically actuated or motivated elements can be changed or altered electronically. This includes, without limitation, billboards/outdoor advertising signs also known as digital billboards or LED billboards. DOADs may be internally or externally illuminated and shall contain static messages only and shall not have animation, movement, or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign. Each static message shall not include flashing, scintillating lighting or the varying of light intensity.

1.25 “Effective Date” shall mean the latest of the following dates, as applicable: (i) the date that is thirty (30) days after the Agreement Date; (ii) if a referendum concerning the Adopting Ordinance or any of the Development Regulations approved on or before the Agreement Date is timely qualified for the ballot and a referendum election is held concerning the Adopting Ordinance or any of such Development Regulations, the date on which the referendum is certified resulting in upholding and approving the Adopting Ordinance and such Development Regulations and becomes effective, if applicable; (iii) if a lawsuit is timely filed challenging the validity or legality of the Adopting Ordinance, this Agreement, and/or any of the Development Regulations approved on or before the Agreement Date, the date on which said challenge is finally resolved in favor of the validity or legality of the Adopting Ordinance, this Agreement, and/or the applicable Development Regulations, whether such finality is achieved by a final non-appealable judgment, voluntary or involuntary dismissal (and the passage of any time required to appeal an involuntary dismissal), or binding written settlement agreement. Promptly after the Effective Date occurs, the Parties agree to cooperate in causing an appropriate instrument to be executed and recorded against the Sites memorializing the Effective Date.

1.26 “Environmental Laws” means all federal, state, regional, county, municipal, and local laws, statutes, ordinances, rules, and regulations which are in effect as of the Agreement Date, and all federal, state, regional, county, municipal, and local laws, statutes, rules, ordinances, rules, and regulations which may hereafter be enacted and which apply to the Sites or any part thereof, pertaining to the use, generation, storage, disposal, release, treatment, or removal of any Hazardous Substances, including without limitation the following: the Comprehensive Environmental Response Compensation and Liability Act of 1980, 42 U.S.C. Sections 9601, *et seq.*, as amended (“CERCLA”); the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act of 1976, 42 U.S.C. Sections 6901, *et seq.*, as amended (“RCRA”);

the Emergency Planning and Community Right to Know Act of 1986, 42 U.S.C. Sections 11001 *et seq.*, as amended; the Hazardous Materials Transportation Act, 49 U.S.C. Section 1801, *et seq.*, as amended; the Clean Air Act, 42 U.S.C. Sections 7401 *et seq.*, as amended; the Clean Water Act, 33 U.S.C. Section 1251, *et seq.*, as amended; the Toxic Substances Control Act, 15 U.S.C. Sections 2601 *et seq.*, as amended; the Federal Insecticide, Fungicide and Rodenticide Act, 7 U.S.C. Sections 136 *et seq.*, as amended; the Federal Safe Drinking Water Act, 42 U.S.C. Sections 300f *et seq.*, as amended; the Federal Radon and Indoor Air Quality Research Act, 42 U.S.C. Sections 7401 *et seq.*, as amended; the Occupational Safety and Health Act, 29 U.S.C. Sections 651 *et seq.*, as amended; and California Health and Safety Code Section 25100, *et seq.*

1.27 “Hazardous Substances” means any toxic substance or waste, pollutant, hazardous substance or waste, contaminant, special waste, industrial substance or waste, petroleum or petroleum-derived substance or waste, or any toxic or hazardous constituent or additive to or breakdown component from any such substance or waste, including without limitation any substance, waste, or material regulated under or defined as “hazardous” or “toxic” under any Environmental Law.

1.28 “Include” and its variants are not restrictive. For example, “includes” means “includes but not limited to,” and “including” means “including but not limited to.”

1.29 “Notice of Default” shall have the meaning ascribed in Section 8.1 of this Agreement.

1.30 “Operational” means each DOAD is capable, legally and functionally, of displaying advertising on the Digital Display Area.

1.31 “Party” or “Parties” shall mean either City or Developer or both, as determined by the context.

1.32 “Project” shall mean all improvements that Developer is authorized and/or required to construct with respect to the DOADs on each of the Sites, as provided in this Agreement and the Development Regulations, as the same may be modified or amended from time to time consistent with this Agreement and applicable law.

1.33 “Monument Sign” shall mean the monument sign built by Developer as a public benefit for the City, located at 1 Town Square, Murrieta, with a digital display resolution pitch of 17mm or better and a display face not exceeding 250 square feet in a design as agreed upon by the Parties.

1.34 “Mortgage” shall mean a mortgage, deed of trust, sale and leaseback arrangement, or any other form of conveyance in which the Property, or a part or interest in the Sites, is pledged as security and contracted for in good faith and for fair value.

1.35 “Mortgagee” shall mean the holder of a beneficial interest under a Mortgage or any successor or assignee of the Mortgagee.

1.36 “Public Benefit Fee” shall have the meaning ascribed in Section 3.2 of this Agreement.

1.37 “Sign Structure” means the portion of the DOADs other than the Digital Display Area, and it includes all ancillary equipment and utilities installed on each of the Sites.

1.38 “Sites” means Site 1, Site 2 and Site 3, as defined herein.

1.39 “Site 1” means that certain portion of real property located at I-15 WL 1.2 MI N/O Winchester on Assessor’s Parcel Number 910-210-055 in the City, as more specifically described in Exhibit “B-1” and depicted in Exhibit “B-2,” attached hereto and incorporated herein.

1.40 “Site 2” means that certain portion of real property located at I-15 & 215 EL S/O Overpass in on Assessor’s Parcel Number 910-020-081 (formerly 910-020-077) the City, as more specifically described in Exhibit “C-1” and depicted in Exhibit “C-2,” attached hereto and incorporated herein.

1.41 “Site 3” means that certain portion of real property located at I-15 E/L 1.5 MI N/O Winchester on Assessor’s Parcel Number 910-060-019 (formerly 910-060-009) in the City, as more specifically described in Exhibit “D-1” and depicted in Exhibit “D-2,” attached hereto and incorporated herein.

1.42 “Subsequent Development Approvals” shall mean all discretionary development and building approvals that Developer is required to obtain to Develop the Project on and with respect to the Sites after the Agreement Date consistent with the Development Regulations and this Agreement, with the understanding that except as expressly set forth herein City shall not have the right subsequent to the Effective Date and during the Term of this Agreement to adopt or impose requirements for any such Subsequent Development Approvals that do not exist as of the Agreement Date.

1.43 “Term” shall have the meaning ascribed in Section 2.3 of this Agreement.

1.44 “Termination Date” shall be the thirty (30) year anniversary of the Effective Date, as said date may be extended in accordance with Section 6.1 of this Agreement.

1.45 “Transfer” shall have the meaning ascribed in Section 12 of this Agreement.

2. General Provisions.

2.1 Binding Effect of Agreement.

The Sites are each hereby made subject to this Agreement. Development of each of the Sites is hereby authorized and shall be carried out in accordance with the terms of this Agreement.

2.2 Developer Representations and Warranties Regarding Legal Interest in Each of the Sites and Related Matters Pertaining to this Agreement.

Developer and each person executing this Agreement on behalf of Developer hereby represents and warrants to City as follows: (i) that Developer has a legal interest in each of the Sites by possession of a non-exclusive perpetual grant of easement; (ii) that Developer or any co-owner comprising Developer is a legal entity that such entity is duly formed and existing and is authorized to do business in the State of California; (iii) that Developer or any co-owner comprising Developer is a natural person that such natural person has the legal right and capacity to execute this Agreement; (iv) that all actions required to be taken by all persons and entities

comprising Developer to enter into this Agreement have been taken and that Developer has the legal authority to enter into this Agreement; (v) that Developer's entering into and performing its obligations set forth in this Agreement will not result in a violation of any obligation, contractual or otherwise, that Developer or any person or entity comprising Developer has to any third party; (vi) that neither Developer nor any co-owner comprising Developer is the subject of any voluntary or involuntary petition; and (vii) that Developer has no actual knowledge of any pending or threatened claims of any person or entity affecting the validity of any of the representations and warranties set forth in clauses (i)-(vi), inclusive, or affecting Developer's authority or ability to enter into or perform any of its obligations set forth in this Agreement.

2.3 Term.

The term of this Agreement (the "Term") shall commence on the Effective Date and shall terminate on the "Termination Date."

Notwithstanding any other provision set forth in this Agreement to the contrary, if either Party reasonably determines that the Effective Date of this Agreement will not occur because (i) the Adopting Ordinance or any of the Development Regulations approved on or before the Agreement Date for the Project has/have been disapproved by City's voters at a referendum election or (ii) a final non-appellable judgment is entered in a judicial action challenging the validity or legality of the Adopting Ordinance, this Agreement, and/or any of the Development Regulations for the Project approved on or before the Agreement Date such that this Agreement and/or any of such Development Regulations is/are invalid and unenforceable in whole or in such a substantial part that the judgment substantially impairs such Party's rights or substantially increases its obligations or risks hereunder or thereunder, then such Party, in its sole and absolute discretion, shall have the right to terminate this Agreement upon delivery of a written notice of termination to the other Party, in which event neither Party shall have any further rights or obligations hereunder except that Developer's indemnity obligations set forth in Section 10 shall remain in full force and effect and shall be enforceable, and the Development Regulations applicable to the Project and the Sites only (but not those general Development Regulations applicable to other properties in the City) shall similarly be null and void at such time.

3. Public Benefits.

3.1 One-Time Payment.

As consideration for the City's approval and performance of its obligations set forth in this Agreement, Developer shall pay to City a non-refundable one-time payment of Two-Hundred and Fifty Thousand Dollars (\$250,000.00) per DOAD, with such payment due to the City upon the Commencement Date for each DOAD (i.e., all three DOADs are not required to be operational before the first payment is due).

3.2 Annual Public Benefit Fee.

As additional consideration for City's approval and performance of its obligations set forth in this Agreement, Developer shall pay to City an annual fee, that shall be in addition to any other fee or charge to which the Sites and the Project would otherwise be subject, (herein, the "Annual

Fee”) in the sum of the greater of One Hundred Thousand Dollars (\$100,000) each calendar year or twenty-five percent (25%) of the annual gross advertising revenue generated by each of the DOADs. If there is a first and last partial calendar year during the term of the Agreement, the amount payable shall be prorated on the basis of a 365-day year. The commencement of the Annual Fee shall be paid on the date of the Commencement Date for each DOAD. Developer acknowledges by its approval and execution of this Agreement that it is voluntarily agreeing to pay the Annual Fee, that its obligation to pay the Annual Fee is an essential term of this Agreement and is not severable from City’s obligations and Developer’s vesting rights to be acquired hereunder, and that Developer expressly waives any constitutional, statutory, or common law right it might have in the absence of this Agreement to protest or challenge the payment of such fee on any ground whatsoever, including without limitation pursuant to the Fifth and Fourteenth Amendments to the United States Constitution, California Constitution Article I Section 19, the Mitigation Fee Act (California Government Code Section 66000 *et seq.*), or otherwise.

Beginning on the start of the 5th anniversary of the Commencement Date for each DOAD and every five (5) years thereafter during the Term, the Annual Fee shall be adjusted by the percentage increase in the Consumer Price Index (CPI) as published by the U.S. Bureau of Labor Statistics for Riverside-San Bernardino-Ontario, CA, with a maximum increase of four percent (4%) in any given year, it being understood that under no circumstances shall the Annual Fee be adjusted to exceed twenty percent (20%) of the gross advertising revenue from the immediately preceding year. In the event there is no change in the CPI or in the event there is a decrease in the CPI for the prior calendar year, then the Annual Fee shall not be changed for the following five (5) years.

3.3 Other Public Benefits.

3.3.1 Monument Sign. As further consideration for City’s Agreement to allow Developer to develop the DOADs, and regardless of Developer’s intent to proceed with construction of any DOADs once this Agreement is executed, Developer shall donate a Monument Sign to City, which shall consist of two (2) digital faces, each approximately 4’10” H x 9’8” W in size, paid for by Developer to be placed and installed by Developer on City property. Developer will deliver the Monument Sign faces within approximately 12 weeks from written request by City. Except for the warranty provided below, Developer shall have no duty to maintain, service, replace, repair, or otherwise care for the installed Monument Sign and cannot guaranty against any hardware or electrical malfunctions. Except for the warranty provided below, City is solely responsible for the maintenance, service, replacement, repair and ultimate care of all parts of the Monument Sign.

Developer hereby provides a one (1) year warranty for the Monument Sign faces from the date the Monument Sign is installed and operational. Developer will also transfer all manufacturer’s warranties to City.

3.3.2 Public Service Messages. As additional consideration for City’s Agreement to allow Developer to develop the DOADs, City shall be entitled to place public service announcements on each Message Display Center, provided however, that such public service

announcements shall be limited to civic public service messages, including those sponsored by private organizations as approved by the City (hereinafter "Public Service Messages") and further provided that there is space available. The term Public Service Message shall expressly exclude any message advertising any business, company or event where such message would have a direct and tangible economic benefit to a private, for-profit company. So long as there is space available, City shall be entitled to post up to one eight (8) second Public Service Message per minute on each Message Display Center on a continuous basis. Notwithstanding the foregoing, should City not utilize its allotment of advertising space, Developer shall be entitled to lease that time for other advertising purposes. For all Public Service Messages, City shall be responsible for providing Developer with the advertising copy and artwork. Developer shall not be responsible for producing or substantially modifying any advertising copy for a Public Service Message and shall display the Public Service Message no more than 48 hours after receipt and approval of advertising copy.

3.4 **Audit Books and Financial Records.** Developer shall prepare and maintain proper, accurate and complete books and financial records regarding any revenue realized pursuant to this Agreement ("Financial Records"). All Financial Records of the Developer shall be maintained in accordance with generally accepted accounting principles. Developer shall make available for examination and copying such Financial Records (except for the copying of Developer's financial ledgers and statement). Developer shall keep and maintain all such Financial Records separate and distinct from other records and accounts and shall maintain such Financial Records for at least three (3) years after acceptance by City. With prior written notice of not less than ten (10) business days, City, at its sole expense, shall have the right to audit Developer's Gross Revenue Amount. If the statement of Gross Revenue Amount previously provided to City shall be found to be inaccurate for prior years of the Term, and Developer is found to have underpaid City the Annual Fee that should have been paid to City, Developer shall promptly pay to City such sums as may be necessary to settle in full the accurate amount of said Annual Fee that should have been paid to City for the period or periods covered by such inaccurate statement or statements. In addition, if said audit discloses an underpayment of greater than five percent (5%) with respect to the Gross Revenue Amount reported by Developer for the period or periods of said report(s), then Developer shall immediately pay to City its actual and reasonable costs of such audit (provided that in exercising its rights, the City shall not engage any auditor working on a contingency fee basis), plus five percent (5%) interest on the amount underpaid, but the application of such interest is limited to three (3) years before the time any underpayment should have been paid to the City.

4. Development of Project.

4.1 Applicable Regulations; Developer's Vested Rights and City's Reservation of Discretion with Respect to Subsequent Development Approvals.

Other than as expressly set forth in this Agreement, during the Term of this Agreement, Developer shall have the vested right to Develop the Project on and with respect to the Sites in accordance with the terms of the Development Regulations and this Agreement and City shall not prohibit or prevent development of the Sites on grounds inconsistent with the Development Regulations or this Agreement. Notwithstanding the foregoing, nothing herein is intended to limit

or restrict City's discretion with respect to (i) review and approval requirements contained in the Development Regulations, (ii) exercise of any discretionary authority City retains under the Development Regulations, (iii) the approval, conditional approval, or denial of any Subsequent Development Approvals that are required for Development of the Project as of the Effective Date, or (iv) any environmental approvals that may be required under CEQA or any other federal or state law or regulation in conjunction with any Subsequent Development Approvals that may be required for the Project, and in this regard, as to future actions referred to in clauses (i)-(iv) of this sentence, City reserves its full discretion to the same extent City would have such discretion in the absence of this Agreement. Furthermore, Developer shall obtain all rights for access, construction, maintenance utilities, etc. for the Project prior to the issuance of permits by the City.

Developer has expended and will continue to expend substantial amounts of time and money planning and preparing for Development of the Project. Developer represents and City acknowledges that Developer would not make these expenditures without this Agreement, and that Developer is and will be making these expenditures in reasonable reliance upon its vested rights to Develop the Project as set forth in this Agreement.

4.2 No Conflicting Enactments.

Except to the extent City reserves its discretion as expressly set forth in this Agreement, during the Term of this Agreement, City shall not apply to the Project or any of the Sites any ordinance, policy, rule, regulation, or other measure relating to Development of the Project that is enacted or becomes effective after the Effective Date to the extent it conflicts with this Agreement.

4.3 Reservations of Authority.

Notwithstanding any other provision set forth in this Agreement to the contrary, the laws, rules, regulations, and official policies set forth in this Section 4.3 shall apply to and govern the Development of the Project on and with respect to the Sites.

4.3.1 Procedural Regulations. Procedural regulations relating to hearing bodies, petitions, applications, notices, findings, records, hearings, reports, recommendations, appeals, and any other matter of procedure shall apply to the Sites, provided that such procedural regulations are adopted and applied City-wide or to all other properties similarly situated in City.

4.3.2 Processing and Permit Fees. City shall have the right to charge and Developer shall be required to pay all applicable processing and permit fees to cover the reasonable cost to City of processing and reviewing applications and plans for any required Subsequent Development Approvals, building permits, excavation and grading permits, encroachment permits, and the like, for performing necessary studies and reports in connection therewith, and monitoring compliance with any requirements applicable to Development of the Project, all at the rates in effect at the time fees are due.

4.3.3 Consistent Future City Regulations. City ordinances, resolutions, regulations, and official policies governing Development which do not conflict with the Development Regulations, or with respect to such regulations that do conflict, where Developer has consented in writing to the regulations, shall apply to the Sites.

4.3.4 Overriding Federal and State Laws and Regulations. Federal and state laws and regulations that override Developer's vested rights set forth in this Agreement shall apply to the Sites, together with any City ordinances, resolutions, regulations, and official policies that are necessary to enable City to comply with the provisions of any such overriding federal or state laws and regulations, provided that (i) Developer does not waive its right to challenge or contest the validity of any such purportedly overriding federal, state, or City law or regulation; and (ii) upon the discovery of any such overriding federal, state, or City law or regulation that prevents or precludes compliance with any provision of this Agreement, City or Developer shall provide to the other Party a written notice identifying the federal, state, or City law or regulation, together with a copy of the law or regulation and a brief written statement of the conflict(s) between that law or regulation and the provisions of this Agreement. Promptly thereafter City and Developer shall meet and confer in good faith in a reasonable attempt to determine whether a modification or suspension of this Agreement, in whole or in part, is necessary to comply with such overriding federal, state, or City law or regulation. In such negotiations, City and Developer agree to preserve the terms of this Agreement and the rights of Developer as derived from this Agreement to the maximum feasible extent while resolving the conflict. City agrees to cooperate with Developer at no cost to City in resolving the conflict in a manner which minimizes any financial impact of the conflict upon Developer. City also agrees to process in a prompt manner Developer's proposed changes to the Project and any of the Development Regulations as may be necessary to comply with such overriding federal, state, or City law or regulation; provided, however, that the approval of such changes by City shall be subject to the discretion of City, consistent with this Agreement.

4.3.5 Uniform Building Standards. Existing and future building and building-related standards set forth in the uniform codes adopted and amended by City from time to time, including building, electrical, and fire codes, and any modifications and amendments thereof shall all apply to the Project and the Sites to the same extent that the same would apply in the absence of this Agreement.

4.3.6 Public Works Improvements. To the extent Developer constructs or installs any public improvements, works, or facilities, the City standards in effect for such public improvements, works, or facilities at the time of City's issuance of a permit, license, or other authorization for construction or installation of same shall apply.

5. Implementation

5.1 Developer shall maintain the Sign Structures and shall maintain, repair, and improve the DOADs in accordance with the standards of the outdoor-advertising industry. Developer's maintenance obligation under this Section 5.1 includes the obligation to remove any graffiti from, and make any repairs to, the Sign Structures and the DOADs within 48 hours of notification.

5.2 Developer voluntarily covenants and agrees for itself, its successors and assigns, to prohibit advertising displayed on the Digital Display Area for adult businesses, cabarets, strip clubs, lingerie, and cannabis products of any kind including CBD products.

5.3 The technology currently being deployed for DOADs is LED (light emitting diode), but there may be alternate, preferred or superior technology available in the future. Developer is authorized to change the DOADs to any other technology that operates under the maximum brightness standards set forth in Section 5.4 of this Agreement. The City shall expedite any required approvals for technology that is superior in energy efficiency over previous generations or types.

5.4 DOAD illumination is expressly permitted when operated within these standards.

5.4.1 DOADs shall not operate at brightness levels of more than 0.3 foot candles above ambient light, as measured using a foot candle meter at a pre-set distance.

5.4.2 Distance to measure the foot candles impact shall be measured from a distance of 250 ft. for a sign with a nominal face size of 14' x 48'.

5.4.3 Each Digital Display Area must have a light sensing device that will adjust the brightness as ambient light conditions change in accordance with the Outdoor Advertising Act.

5.4.4 DOADs shall contain static messages only, and shall not have movement, or the appearance or optical illusion of movement during the static display period, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement. Each static message shall not include flashing lighting or the varying of light intensity.

5.4.5 No DOAD shall involve any red or blinking or intermittent light likely to be mistaken for warning or danger signals nor shall its illumination impair the vision of travelers on the adjacent freeway and/or roadways.

5.5 The DOAD shall be operated with systems and monitoring to freeze the display in one static position, display a full black screen, or turn off, in the event of a malfunction.

5.6 No DOAD shall simulate or imitate any directional, warning, danger or any display likely to be mistaken for any permitted sign intended or likely to be construed as giving warning to traffic, by, for example, the use of the words "stop" or "slow down."

5.7 No DOAD shall exceed 4050 lumens between the hours of 10PM and sunrise.

5.8 Prior to the issuance of any permits, Developer shall provide all studies and approvals necessary for the City to approve Project in compliance with the City's obligations under the Western Riverside Multi-Species Habitat Conservation Plan.

5.9 Prior to the issuance of any permits, Developer shall provide City with copies of executed leases, recorded easements for access, utilities, maintenance, and any other documents required for the City to reasonably determine that Developer can construct and maintain the Improvements on the Sites for the Term of the Agreement in addition to any available extensions.

6. Amendment or Cancellation of Agreement

This Agreement may be amended or canceled in whole or in part only by mutual written and executed consent of the Parties in compliance with California Government Code section 65868 or by unilateral termination by City in the event of an uncured default of Developer.

6.1 Extension.

Developer may request up to, and upon receipt of a written request from Developer, City may grant two (2) five (5) year extensions that extend the Term of this Agreement for a total of ten (10) additional years provided that Developer has submitted its written request to extend this Development Agreement.

7. Enforcement.

Unless this Agreement is amended, canceled, modified, or suspended as authorized herein or pursuant to California Government Code section 65869.5, this Agreement shall be enforceable by either Party despite any change in any applicable general or specific plan, zoning, subdivision, or building regulation or other applicable ordinance or regulation adopted by City (including by City's electorate) that purports to apply to any or all of the Sites.

8. Events of Default.

8.1 General Provisions.

In the event of any material default, breach, or violation of the terms of this Agreement ("Default"), the Party alleging a Default shall have the right to deliver a written notice (each, a "Notice of Default") to the defaulting Party. The Notice of Default shall specify the nature of the alleged Default and a reasonable manner and sufficient period of time to remedy such default. If the Default relates to the failure to timely make a monetary payment due hereunder and not less than thirty (30) days in the event of non-monetary Defaults) in which the Default must be cured (the "Cure Period"). During the Cure Period, the Party charged shall not be considered in Default for the purposes of termination of this Agreement or institution of legal proceedings. If the alleged Default is cured within the Cure Period, then the Default thereafter shall be deemed not to exist. If a non-monetary Default cannot be cured during the Cure Period with the exercise of commercially reasonable diligence, the defaulting Party must promptly commence to cure as quickly as possible, and in no event later than thirty (30) days after it receives the Notice of Default, and thereafter diligently pursue said cure to completion.

8.2 Default by Developer.

If Developer is alleged to have committed Default and it disputes the claimed Default, it may make a written request for an appeal hearing before the City Council within ten (10) days of receiving the Notice of Default, and a public hearing shall be scheduled at the next available City Council meeting to consider Developer's appeal of the Notice of Default. Failure to appeal a Notice of Default to the City Council within the ten (10) day period shall waive any right to a hearing on the claimed Default. If Developer's appeal of the Notice of Default is timely and in good faith but after a public hearing of Developer's appeal the City Council concludes that Developer is in

Default as alleged in the Notice of Default, the accrual date for commencement of the thirty (30) day Cure Period provided in Section 9.1 shall be extended until the City Council's denial of Developer's appeal is communicated to Developer.

8.3 City's Option to Terminate Agreement.

In the event of an alleged Developer Default, City may not terminate this Agreement without first delivering a written Notice of Default and providing Developer with the opportunity to cure the Default within the Cure Period, as provided in Section 8.1, and complying with Section 8.2 if Developer timely appeals any Notice of Default with respect to a non-monetary Default. A termination of this Agreement by City shall be valid only if good cause exists and is supported by evidence presented to the City Council at or in connection with a duly noticed public hearing to establish the existence of a Default. The validity of any termination may be judicially challenged by Developer. Any such judicial challenge must be brought within ninety (90) calendar days of service on Developer, by first class mail, postage prepaid, of written notice of termination by City or a written notice of City's determination of an appeal of the Notice of Default as provided in Section 8.2.

8.4 Default by City.

If Developer alleges a City Default and alleges that the City has not cured the Default within the Cure Period, Developer may pursue any remedy, including any equitable remedy available to it under this Agreement, including, without limitation, an action for a writ of mandamus, injunctive relief, or specific performance of City's obligations set forth in this Agreement. Upon a City Default, any resulting delays in Developer's performance hereunder shall neither be a Developer Default nor constitute grounds for termination or cancellation of this Agreement by City and shall, at Developer's option (and provided Developer delivers written notice to City within thirty (30) days of the commencement of the alleged City Default), extend the Term for a period equal to the length of the delay.

8.5 Waiver.

Failure or delay by either Party in delivering a Notice of Default shall not waive that Party's right to deliver a future Notice of Default of the same or any other Default.

8.6 Monetary Damages.

The Parties agree that monetary damages shall not be an available remedy for either Party for a Default hereunder by the other Party; provided, however, that (i) nothing in this Section 8.6 is intended or shall be interpreted to limit or restrict City's right to recover the Annual Fees due from Developer as set forth herein; and (ii) nothing in this Section 8.6 is intended or shall be interpreted to limit or restrict the right of the prevailing Party in any Action to recover its litigation expenses, as set forth in Section 13.

8.7 No Personal Liability of City Officials, Employees, or Agents.

In any judicial proceeding, arbitration, or mediation (collectively, an "Action") between the Parties that seeks to enforce the provisions of this Agreement or arises out of this Agreement,

the prevailing Party shall recover all of its actual and reasonable costs and expenses, regardless of whether they would be recoverable under California Code of Civil Procedure section 1033.5 or California Civil Code section 1717 in the absence of this Agreement. These costs and expenses include expert witness fees, attorneys' fees, and costs of investigation and preparation before initiation of the Action. The right to recover these costs and expenses shall accrue upon initiation of the Action, regardless of whether the Action is prosecuted to a final judgment or decision. No member, official or employee of City shall be personally liable to Developer, or any successor in interest, in the event of any default or breach by City or for any amount which may become due to Developer or its successor or on any obligations under the terms of this Agreement.

9. Force Majeure.

Neither Party shall be deemed to be in Default where failure or delay in performance of any of its obligations under this Agreement is caused, through no fault of the Party whose performance is prevented or delayed, by floods, earthquakes, other acts of God, fires, wars, epidemics, riots or similar hostilities, strikes or other labor difficulties, state or federal regulations, or court actions. Except as specified above, nonperformance shall not be excused because of the act or omission of a third person. In no event shall the occurrence of an event of force majeure operate to extend the Term of this Agreement. In addition, in no event shall the time for performance of a monetary obligation, including without limitation Developer's obligation to pay Public Benefit Fees, be extended pursuant to this Section.

10. Indemnity Obligations of Developer.

10.1 Indemnity Arising from Acts or Omissions of Developer.

Except to the extent caused by the intentional misconduct or negligent acts, errors or omissions of City or one or more of City's officials, employees, agents, attorneys, and contractors (collectively, the "City's Affiliated Parties"), Developer shall indemnify, defend, and hold harmless City and City's Affiliated Parties from and against all non-Party brought suits, claims, liabilities, losses, damages, penalties, obligations, and expenses (including but not limited to reasonable attorneys' fees and costs) (collectively, a "Claim") that may arise, directly or indirectly, from the acts, omissions, or operations of Developer or Developer's agents, contractors, subcontractors, agents, or employees in the course of Development of the Project or any other activities of Developer relating to the Sites, the Site, or pursuant to this Agreement. City shall have the right to select and retain counsel to defend any Claim filed against City and/or any of City's Affiliated Parties, and Developer shall pay the reasonable cost for defense of any Claim. The indemnity provisions in this Section 10.1 shall commence on the Agreement Date, regardless of whether the Effective Date occurs, and shall survive the Termination Date.

10.2 Third Party Litigation.

In addition to its indemnity obligations set forth in Section 10.1, Developer shall indemnify, defend, and hold harmless City and City's Affiliated Parties from and against any Claim against City or City's Affiliated Parties seeking to attack, set aside, void, or annul the approval of this Agreement, the Adopting Ordinance, any of the Development Regulations for the

Project (including without limitation any actions taken pursuant to CEQA with respect thereto), any Subsequent Development Approval, or the approval of any permit granted pursuant to this Agreement. City shall be entitled to retain separate counsel to represent City against the Claim and the City's defense costs for its separate counsel shall be included in Developer's indemnity obligation, provided that such counsel shall reasonably cooperate with Developer in an effort to minimize the total litigation expenses incurred by Developer. In the event either City or Developer recovers any attorney's fees, expert witness fees, costs, interest, or other amounts from the party or parties asserting the Claim, Developer shall be entitled to retain the same (provided it has fully performed its indemnity obligations hereunder). The indemnity provisions in this Section 10.2 shall commence on the Agreement Date, regardless of whether the Effective Date occurs, and shall survive the Termination Date.

11. Liability Insurance Coverage and Limits.

Commencing upon the Effective Date and throughout the duration of the Term (and during any extensions, if applicable), Developer shall procure and maintain at its own expense, during the Term of this Agreement:

- a. Comprehensive General Liability Insurance, of not less than One Million Dollars (\$1,000,000) per occurrence, and Two Million Dollars (\$2,000,000) in the aggregate, for bodily injury, personal injury, death, loss, or damage resulting from the wrongful or negligent acts by Developer or its officers, employees, servants, volunteers, and agents and independent contractors. All insurance policies shall be endorsed to name the City and its officers, employees, servants, volunteers, agents and independent contractors as additional insureds.
- b. Workers' Compensation insurance as required by the State of California, with Statutory Limits, and Employer's Liability Insurance with limits of no less than One Million Dollars (\$1,000,000) per accident for bodily injury or disease.
- c. Property Insurance against all risks of loss to any tenant improvements or betterments, at full replacement cost with no coinsurance penalty provision.

All insurance policies shall be endorsed to name the City and its officers, employees, servants, volunteers, agents and independent contractors as additional insureds.

11.1 Policy Form, Content and Insurer. All insurance required by the provisions of this Agreement shall be carried only with insurance companies licensed to do business in this state with Best's Financial Rating of A VII or better or otherwise acceptable to City.

11.2 All such policies required by the provisions of this Agreement shall be non-assessable and shall contain language to the effect that (i) the policies are primary and noncontributing with any insurance that may be carried by City, (ii) the policies cannot be canceled or materially changed except after thirty (30) days notice by the insurer to City and (iii) City shall not be liable for any premiums or assessments. The insurer under the policy of property insurance for the Sites shall also waive its rights of subrogation against City and City's members, officers, employees, agents and contractors.

11.3 All deductibles or self-insured retentions shall be commercially reasonable for companies of similar net worth as Developer.

11.4 Upon Developer's execution and delivery of this Agreement, Developer shall deliver to City certificates of insurance evidencing the insurance coverages specified in this Section 11. Developer shall thereafter deliver to City original certificates and amendatory endorsements evidencing the insurance coverages required by this Section upon renewal of any insurance policy. Full copies of the policies shall be made available to City upon request.

12. Assignment.

Developer shall have the right to sell, transfer, or assign (hereinafter, collectively, a "Transfer") Developer's interest to the Sites, in whole or in part, to a Permitted Transferee (which successor, as of the effective date of the Transfer, shall become the "Developer" under this Agreement) at any time from the Agreement Date until the Termination Date; provided, however, that any such transfer shall include the assignment and assumption of Developer's rights, duties, and obligations set forth in or arising under this Agreement as to the Site or the portion thereof so Transferred and shall be made in strict compliance with the following conditions precedent:

(i) no transfer or assignment of any of Developer's rights or interest under this Agreement shall be made unless made together with the Transfer of all or a part of the Site at issue; and (ii) prior to the effective date of any proposed Transfer, Developer (as transferor) shall notify City, in writing, of such proposed Transfer and deliver to City a written assignment and assumption, executed in recordable form by the transferring and successor Developer and in a form subject to the reasonable approval of the City Attorney of City (or designee), pursuant to which the transferring Developer assigns to the successor Developer and the successor Developer assumes from the transferring Developer all of the rights and obligations of the transferring Developer with respect to the Site at issue or portion thereof to be so Transferred, including in the case of a partial Transfer the obligation to perform such obligations that must be performed outside of the Site so Transferred that are a condition precedent to the successor Developer's right to develop the portion of the Site so Transferred. Any Permitted Transferee shall have all of the same rights, benefits, duties, obligations, and liabilities of Developer under this Agreement with respect to the portion of the Site sold, transferred, and assigned to such Permitted Transferee; provided, however, that in the event of a Transfer of less than all of the Site no such Permitted Transferee shall have the right to enter into an amendment of this Agreement that jeopardizes or impairs the rights or increases the obligations of the Developer with respect to the balance of the Site.

Notwithstanding any Transfer, the transferring Developer shall continue to be jointly and severally liable to City, together with the successor Developer, to perform all of the transferred obligations set forth in or arising under this Agreement unless there is full satisfaction of all of the following conditions, in which event the transferring Developer shall be automatically released from any and all obligations with respect to the portion of the Site so Transferred: (i) the transferring Developer no longer has a legal or equitable interest in the portion of the Site so Transferred other than as a beneficiary under a deed of trust; (ii) the transferring Developer is not then in Default under this Agreement and no condition exists that with the passage of time or the

giving of notice, or both, would constitute a Default hereunder; (iii) the transferring Developer has provided City with the notice and the fully executed written and recordable assignment and assumption agreement required as set forth in the first paragraph of this Section 11; and (iv) the successor Developer either (A) provides City with substitute security equivalent to any security previously provided by the transferring Developer to City to secure performance of the successor Developer's obligations hereunder with respect to the Site or the portion of the Site so Transferred or (B) if the transferred obligation in question is not a secured obligation, the successor Developer either provides security reasonably satisfactory to City or otherwise demonstrates to City's reasonable satisfaction that the successor Developer has the financial resources or commitments available to perform the transferred obligation at the time and in the manner required under this Agreement and the Development Regulations for the Project.

13. Mortgagee Rights.

a. Encumbrances on Site.

The Parties agree that this Agreement shall not prevent or limit Developer in any manner from encumbering the Sites, any part of the Sites, or any improvements on the Sites with any Mortgage securing financing with respect to the construction, development, use, or operation of the Project.

b. Mortgagee Not Obligated.

Notwithstanding the provisions of this Section 13, a Mortgagee will not have any obligation or duty under the terms of this Agreement to perform the obligations of Developer or other affirmative covenants of Developer, or to guarantee this performance except that: (i) the Mortgagee shall have no right to develop the Project under the Development Regulations without fully complying with the terms of this Agreement; and (ii) to the extent that any covenant to be performed by Developer is a condition to the performance of a covenant by City, that performance shall continue to be a condition precedent to City's performance.

c. Notice of Default to Mortgagee; Right of Mortgagee to Cure.

Each Mortgagee shall, upon written request to City, be entitled to receive written notice from City of any default by Developer of its obligations set forth in this Agreement.

Each Mortgagee shall have a further right, but not an obligation, to cure the Default within thirty (30) days after receiving a Notice of Default with respect to a monetary Default and within sixty (60) days after receiving a Notice of Default with respect to a non-monetary Default. If the Mortgagee can only remedy or cure a non-monetary Default by obtaining possession of the Site, then the Mortgagee shall have the right to seek to obtain possession with diligence and continuity through a receiver or otherwise, and to remedy or cure the non-monetary Default within sixty (60) days after obtaining possession and, except in case of emergency or to protect the public health or safety, City may not exercise any of its judicial remedies set forth in this Agreement to terminate or substantially alter the rights of the Mortgagee until expiration of the sixty (60)-day period. In the case of a non-monetary Default that cannot with diligence be remedied or cured within sixty (60) days, the Mortgagee shall have additional time as is reasonably necessary to remedy or cure

the Default, provided the Mortgagee promptly commences to cure the non-monetary Default within sixty (60) days and diligently prosecutes the cure to completion.

14. Miscellaneous Terms.

a. Notices.

Any notice or demand that shall be required or permitted by law or any provision of this Agreement shall be in writing. If the notice or demand will be served upon a Party, it either shall be personally delivered to the Party; deposited in the United States mail, certified, return receipt requested, and postage prepaid; or delivered by a reliable courier service that provides a receipt showing date and time of delivery with courier charges prepaid. The notice or demand shall be addressed as follows:

To City:	City of Murrieta 1 Town Square Murrieta, California 92562 Attn: City Manager
With a copy to:	City Attorney Aleshire & Wynder, LLP 18881 Von Karman Ave, #1700 Irvine, California 92612 Attn: Tiffany J. Israel
To Developer:	Lamar Central Outdoor, LLC 449 East Parkcenter Circle South San Bernardino, California 92408 Attn: Brian Smith
With a copy to:	Stream Kim Hicks Wrage & Alfaro 3403 Tenth Street, Suite 700 Riverside, CA 92501 Attn: Theodore K. Stream, Esq.

Either Party may change the address stated in this Section 13.1 by delivering notice to the other Party in the manner provided in this Section 13.1, and thereafter notices to such Party shall be addressed and submitted to the new address. Notices delivered in accordance with this Agreement shall be deemed to be delivered upon the earlier of: (i) the date received or (iii) three business days after deposit in the mail as provided above.

b. Project as Private Undertaking.

The Development of the Project is a private undertaking. Neither Party is acting as the agent of the other in any respect, and each Party is an independent contracting entity with respect to the terms, covenants, and conditions set forth in this Agreement. This Agreement forms no partnership, joint venture, or other association of any kind. The only relationship between the

Parties is that of a government entity regulating the Development of private property with a legal interest in the property.

c. Attorney Fees.

If the services of any attorney are required by any party to secure the performance of this Agreement or otherwise upon the breach or default of another party, or if any judicial remedy or arbitration is necessary to enforce or interpret any provisions of this Agreement or the rights and duties of any person in relation to this Agreement, the prevailing party shall be entitled to reasonable attorneys' fees, costs and other expenses, in addition to any other relief to which such party may be entitled. Prevailing party includes (a) a party who dismisses an action in exchange for sums allegedly due; (b) the party that receives performance from the other party of an alleged breach of covenant or a desired remedy, if it is substantially equal to the relief sought in an action; or (c) the party determined to be prevailing by a court of law.

d. Cooperation.

Each Party shall cooperate with and provide reasonable assistance to the other Party to the extent consistent with and necessary to implement this Agreement. Upon the request of a Party at any time, the other Party shall promptly execute, with acknowledgement or affidavit if reasonably required, and file or record the required instruments and writings and take any actions as may be reasonably necessary to implement this Agreement or to evidence or consummate the transactions contemplated by this Agreement.

e. Estoppel Certificates.

At any time, either Party may deliver written notice to the other Party requesting that that Party certify in writing that, to the best of its knowledge: (i) this Agreement is in full force and effect and is binding on the Party; (ii) this Agreement has not been amended or modified either orally or in writing or, if this Agreement has been amended, the Party providing the certification shall identify the amendments or modifications; and (iii) the requesting Party is not in Default in the performance of its obligations under this Agreement and no event or situation has occurred that with the passage of time or the giving of Notice or both would constitute a Default or, if such is not the case, then the other Party shall describe the nature and amount of the actual or prospective Default.

The Party requested to furnish an estoppel certificate shall execute and return the certificate within thirty (30) days following receipt.

f. Rules of Construction.

The singular includes the plural; the masculine and neuter include the feminine; "shall" is mandatory; and "may" is permissive.

g. Time Is of the Essence.

Time is of the essence regarding each provision of this Agreement as to which time is an element.

h. Waiver.

The failure by a Party to insist upon the strict performance of any of the provisions of this Agreement by the other Party, and failure by a Party to exercise its rights upon a Default by the other Party, shall not constitute a waiver of that Party's right to demand strict compliance by the other Party in the future.

i. Counterparts.

This Agreement may be executed in two or more counterparts, each of which shall be identical and may be introduced in evidence or used for any other purpose without any other counterpart, but all of which shall together constitute one and the same agreement.

j. Entire Agreement.

This Agreement constitutes the entire agreement between the Parties and supersedes all prior agreements and understandings, both written and oral, between the Parties with respect to the subject matter addressed in this Agreement.

k. Severability.

If any term, provision, covenant or condition of this Agreement shall be determined invalid, void or unenforceable, then that term, provision, covenant or condition of this Agreement shall be stricken and the remaining portion of this Agreement shall remain valid and enforceable if that stricken term, provision, covenant or condition is not material to the main purpose of this agreement, which is to allow the Development to be permitted and operated and to provide the Annual Fee to the City; otherwise, this Agreement shall terminate in its entirety, unless the Parties otherwise agree in writing, which agreement shall not be unreasonably withheld.

l. Construction.

Both City and Developer are sophisticated parties who were represented by independent counsel throughout the negotiations. City and Developer each agree and acknowledge that the terms of this Agreement are fair and reasonable, taking into account their respective purposes, terms, and conditions. This Agreement shall therefore be construed as a whole consistent with its fair meaning, and no principle or presumption of contract construction or interpretation shall be used to construe the whole or any part of this Agreement in favor of or against either Party.

m. Successors and Assigns; Constructive Notice and Acceptance.

The burdens of this Agreement shall be binding upon, and the benefits of this Agreement shall inure to, all successors in interest to the Parties to this Agreement. All provisions of this Agreement shall be enforceable as equitable servitudes and constitute covenants running with the land. Each covenant to do or refrain from doing some act hereunder with regard to Development of the Sites: (i) is for the benefit of and is a burden upon every portion of the Sites; (ii) runs with the Sites and each portion thereof; and (iii) is binding upon each Party and each successor in interest during its ownership interests of the Sites or any portion thereof. Every person or entity who now or later owns or acquires any right, title, or interest in any part of the Project or the Sites

is and shall be conclusively deemed to have consented and agreed to every provision of this Agreement.

n. No Third-Party Beneficiaries.

The only Parties to this Agreement are City and Developer. This Agreement does not involve any third-party beneficiaries, and it is not intended and shall not be construed to benefit or be enforceable by any other person or entity.

o. Applicable Law and Venue.

This Agreement shall be construed and enforced consistent with the internal laws of the State of California, without regard to conflicts of law principles. Any action at law or in equity arising under this Agreement or brought by any Party for the purpose of enforcing, construing, or determining the validity of any provision of this Agreement shall be filed and tried in the Superior Court of the County of Riverside, State of California, or the United States District Court for this County. The Parties waive all provisions of law providing for the removal or change of venue to any other court.

p. Section Headings.

All section headings and subheadings are inserted for convenience only and shall not affect construction or interpretation of this Agreement.

q. Incorporation of Recitals and Exhibits.

All of the Recitals are incorporated into this Agreement by this reference. Exhibits A, B-1, B-2, C-1, C-2, D-1 and D-2 are attached to this Agreement and incorporated by this reference as follows:

EXHIBIT DESIGNATION	DESCRIPTION
A	Relocation Agreement
B-1	Legal Description of Site 1
B-2	Depiction of Site 1
C-1	Legal Description of Site 2
C-2	Depiction of Site 2
D-1	Legal Description of Site 3
D-2	Depiction of Site 3

r. Recordation.

The City Clerk of City shall record this Agreement and any amendment, modification, or cancellation of this Agreement in the Office of the County Recorder of the County of Riverside within the period required by California Government Code section 65868.5. The date of recordation of this Agreement shall not modify or amend the Effective Date or the Termination Date.

[SIGNATURE PAGE FOLLOWS]

**SIGNATURE PAGE TO
DEVELOPMENT AGREEMENT**

“DEVELOPER”

By:

By: _____

Name: C. Todd Porter

Title: VP & General Manager

“CITY”

CITY OF MURRIETA, a municipal
corporation

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

STATE OF CALIFORNIA
COUNTY OF RIVERSIDE

On _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____ and _____, who proved to me on the basis of satisfactory evidence to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities and that by their signature on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

I certify under PENAL TY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal.

Notary Public in and for
said County and State

STATE OF CALIFORNIA
COUNTY OF RIVERSIDE

On _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____ and _____, who proved to me on the basis of satisfactory evidence to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities and that by their signature on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

I certify under PENAL TY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal.

Notary Public in and for
said County and State

EXHIBIT A
RELOCATION AGREEMENT

BILLBOARD RELOCATION AGREEMENT

THIS BILLBOARD RELOCATION AGREEMENT (“the Agreement”) is entered into as of this 20th day of December, 2022, ~~2023~~ (the “Effective Date”), by and between the CITY OF MURRIETA, a public body, corporate and politic (“City”), and LAMAR CENTRAL OUTDOOR, LLC, a Delaware limited liability company (“Lamar”). Hereafter City and Lamar are sometimes referred to as “Party” or collectively as “Parties.”

RECITALS

WHEREAS, Lamar owns and operates legal non-conforming billboard advertising structures within the city limits of City (each a “Billboard” and collectively the “Billboards”);

WHEREAS, the California Outdoor Advertising Act, Business and Professions Code, Section 5200, *et. seq.* (in particular Bus. & Prof. Code Section 5412), encourages local entities and display owners to enter into relocation agreements which allow local entities to continue development in a planned manner without expenditure of public funds while allowing the continued maintenance of private investment and a medium of public communications;

WHEREAS, the California Outdoor Advertising Act (in particular Bus. & Prof. Code Section 5412) specifically empowers, and encourages, local agencies to enter into relocation agreements on whatever terms are agreeable to the City and display owners and to adopt ordinances and resolutions providing for relocation of displays;

WHEREAS, the City has previously approved a Relocation Agreement dated April 15, 1997, a copy of which is attached hereto as Exhibit “A”, which authorized the removal and replacement of one of Lamar’s Billboards previously owned by Outdoor Media Group, Inc. (the “Old Billboard”) for a more modernized “aesthetically pleasing” structure, which has not yet been replaced;

WHEREAS, the City of Temecula, in cooperation with the California Department of Transportation (Caltrans), filed a Complaint in Eminent Domain per Riverside County Superior Court Case No. CVSW2200256 to condemn the interests of the Old Billboard, which lies within the I-15/French Valley Parkway Improvements Project. Lamar and the City of Temecula entered a settlement agreement whereby the City of Temecula would expend public funds to compensate Lamar for all dismantle costs, rebuilding costs and lost rent associated with the removal of the Old Billboard;

WHEREAS, the City has the opportunity and ability to prevent the unnecessary expenditure of public condemnation funds for the removal of the Old Billboard by permitting Lamar to relocate it outside the parameters of the I-15/French Valley Parkway Improvements Project;

WHEREAS, the City wishes to prevent the unnecessary expenditure of public condemnation funds while upholding its previous commitment to modernize the Old Billboard;

WHEREAS, the City further desires to reduce the number of Billboards within the City thereby diminishing visual clutter and improving the aesthetic appearance of the City;

WHEREAS, this Agreement relates to eight (8) Billboards in the City:

- (A) the permanent removal of three (3) Billboards;
- (B) the right to construct and erect one (1) of those removed Billboards on relocated property;
- (C) the right to reconstruct three (3) Billboards in order to remove old, obsolete displays and allow for modernized displays; and
- (D) the right to relocate and reconstruct the Old Billboard, which has not been completed after it was authorized in the Relocation Agreement dated April 15, 1997.

WHEREAS, Section 16.38.150 of the City Municipal Code allows and encourages the relocation and reconstruction of existing Billboards upon approval of a Billboard Relocation Agreement and upon compliance with the provisions therein;

WHEREAS, the City and Lamar now wish to enter into this Agreement to memorialize the terms and conditions upon which Lamar will have the right to relocate and reconstruct certain of its legally existing Billboards.

OPERATIVE PROVISIONS

NOW, THEREFORE, in consideration of the foregoing Recitals, which Recitals are incorporated herein by reference, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and consideration of the mutual covenants set forth herein, the Parties hereby agree as follows:

1. Term of Agreement. Unless terminated earlier as provided in this Agreement, this Agreement shall continue in full force and effect for so long as any obligation is owed by either Party pursuant to the terms of this Agreement.

2. Existing Billboard Removal.

a. Permanent Removal of Existing Billboards. In exchange for the ability to develop the 215/Keller Billboard and Reconstructed Billboards, identified below, Lamar shall permanently remove the three (3) existing Billboards identified in Exhibit "B" (the "Removed Billboards"). Each of the Removed Billboards currently holds the status of a legal non-conforming use as the term is defined by the City Development Code. Removal of the Removed Billboards identified in Exhibit B shall be in accordance with all applicable federal, state and local regulations. Lamar shall, at its sole cost and expense, secure all required permits necessary to remove the Removed Billboards, including but not limited to, the City's demolition permits.

b. Timing of Removal. Lamar shall remove the Removed Billboards on an ongoing basis as each Reconstructed Billboard receives its necessary approvals for development. Each removal shall take place within sixty (60) days of the Effective Date of each Reconstructed Billboard's Development Approvals, as described in Section 4a below. For purposes of this Section 2b, the term "Effective Date" means either: (1) the expiration of all administrative appeal

periods provided for by the City Development Code and applicable to City approval of City sign permits, or (2) if an appeal is filed, the date upon which either the Planning Commission and/or City Council approval becomes final. Notwithstanding the foregoing, Lamar shall not be entitled to commence construction and installation of the 215/Keller Billboard or Reconstructed Billboard(s) prior to the removal of all of the Removed Billboards. If Lamar has not obtained the Development Approvals for the Reconstructed Billboards, Lamar shall have no obligation to remove any of the Removed Billboards pursuant to the terms of this Agreement and the obligations of the Parties under this Agreement shall terminate and the Agreement shall be of no further force and effect.

3. Relocation and Reconstruction of Billboards.

a. 215/Keller Billboard. Upon the permanent removal of the Removed Billboards, Lamar shall be entitled to construct one (1) Billboard upon City-owned property located by the Interstate 215 Highway and Keller Road identified in Exhibit “C” (the “215/Keller Billboard”), the precise location of which shall be determined within the discretion of Lamar subject to City’s reasonable approval for traffic safety. Lamar shall be entitled to construct the 215/Keller Billboard with a two-panel changeable message digital display. The 215/Keller Billboard shall be subject to the approval of a sign permit and Conditional Use Permit, as provided in Section 4b below, and a lease incorporating the revenue sharing provisions of Section 5 below.

Lamar acknowledges that a future freeway interchange is planned for Keller Road and Interstate 215. In the event that a regulatory authority condemns or takes any portion of the premises affecting Lamar’s access, placement or the visibility of the 215/Keller Billboard, City agrees to allow Lamar to relocate the 215/Keller Billboard to another location in the same area or to an alternative location determined by the Parties at that time. City agrees that any damages relating to the 215/Keller Billboard paid for by the regulatory authority, including the costs of relocation, will be awarded to Lamar.

b. Reconstructed Billboards. Upon the permanent removal of the Removed Billboards, Lamar shall also be entitled to reconstruct three (3) existing Billboards upon private property, more specifically described and depicted in Exhibit “D,” (the “Reconstructed Billboards”). Each of the Reconstructed Billboards currently holds the status of a legal non-conforming use as the term is defined by the City Development Code. Lamar shall be entitled to incorporate either single or double-sided changeable message digital displays into the Reconstructed Billboards. The Reconstructed Billboards shall be subject to the approval of a sign permit and a Development Agreement as provided in Section 4b below.

c. Old Billboard. Lamar shall be entitled to reconstruct the Old Billboard, which was originally approved for reconstruction in the Relocation Agreement dated April 15, 1997 (Exhibit A), at a nearby location outside of the I-15/French Valley Parkway Improvements Project to prevent the unnecessary expenditure of public condemnation funds. The reconstructed Old Billboard shall be a double-sided static Billboard. Lamar shall obtain all the necessary sign permits required for the construction of the Old Billboard, but will not be required to obtain a Conditional

Use Permit or Development Agreement. This Agreement supersedes the April 15, 1997 Relocation Agreement in its entirety, and the 1997 Agreement shall no longer have any effect.

d. Findings. The City Council has found that this Agreement is in the public interest of the City and its residents. Adopting this Agreement constitutes a present exercise of the City's police power, and this Agreement is consistent with the goals, objectives, purposes and provisions of the City's General Plan and the City of Murrieta Municipal Code. The proposed relocation sites are compatible with the uses and structures on the site and in the surrounding area. This Agreement is intended to achieve a number of the City's objectives including the reduction of visual clutter by reducing the number of overall billboards located within the City and the removal of old, obsolete displays to allow for modernized displays, thereby improving the City's appearance as a whole, without expenditure of public funds, while accommodating continued investment in the City and preservation of expectations of developers and property owners and the use of outdoor advertising as an important medium of communication. The proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard would not create a traffic or safety problem with regard to onsite access circulation or visibility, nor would they interfere with onsite parking or landscaping required by City ordinance or permit. Additionally, the proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard conceptual designs promote the character of the City. Finally, the City Council has found that the proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard would not otherwise result in a threat to the general health, safety and welfare of City residents.

4. Development Approvals.

a. Lamar shall, at its own expense, secure or cause to be secured all necessary permits and approvals, which may be required by all City, State, or any other governmental agency or utility affected by such construction, development or work to be performed by Lamar related to the Agreement, including, but not limited to, this Agreement and related staff reports and documents, sign permits, a Conditional Use Permit for the 215/Keller Billboard and Development Agreement for the Reconstructed Billboards, building and demolition permits, and all approvals required under CEQA and the State CEQA Guidelines, and all permits and approvals required from the California Department of Transportation ("Caltrans") (collectively "Development Approvals").

b. Within ninety (90) days of the approval of this Agreement, Lamar shall, at its sole cost and expense, submit sign permit application(s), a Conditional Use Permit application for the 215/Keller Billboard and Development Agreement applications for the Reconstructed Billboards, with accompanying fees, to the City Planning Department for the development of such billboards. Lamar's ability to construct and install the 215/Keller Billboard and Reconstructed Billboards are expressly conditioned upon City approval of a Conditional Use Permit or Development Agreement (as applicable), and subsequent approval of a sign permit. The foregoing applications shall include the written consent of the property owner. An application for a sign permit shall be accompanied by construction drawings reflecting the design detail of the proposed billboards. Upon receipt of an application for a sign permit submitted pursuant to this Agreement, the City Planning Director shall review the sign permit application to determine whether the design

of the proposed billboard(s) is substantially similar to the conceptual designs reflected in Exhibit “E” attached hereto and incorporated herein by this reference. Lamar acknowledges that, in addition to sign permits, Conditional Use Permit and Development Agreement, Lamar must obtain building permits from City prior to construction and installation of the 215/Keller Billboard and Reconstructed Billboards.

5. One-Time Payment and Revenue Sharing. As material consideration for City allowing Lamar to construct and operate the 215/Keller Billboard, the Reconstructed Billboards and the Old Billboard, Lamar shall pay the City a collective payment totaling One Million Dollars (\$1,000,000.00). The payment shall be made in four equal installments of Two-Hundred and Fifty Thousand Dollars (\$250,000.00). Each installment shall be paid to the City as each of the 215/Keller Billboard and the Reconstructed Billboards are fully operational (i.e., all the Billboards are not required to be operational before the first payment is due). Lamar shall also pay the City an annual fee equal to the greater of (i) One Hundred Thousand Dollars (\$100,000.00) or (ii) twenty-five percent (25%) of the annual gross advertising revenue generated by each of the 215/Keller Billboard and Reconstructed Billboards. The lease agreement and development agreement(s) negotiated between the Parties for these billboards shall provide that such revenue sharing shall constitute Lamar’s consideration under the agreements. The annual fee shall be further described in the applicable agreement.

6. City Hall Digital Monument. Lamar shall donate a City Hall Digital Monument (“Monument Sign”) with a digital display resolution pitch of 17mm or better and a display face not exceeding 250 square feet in a design as agreed upon by the Parties. Lamar shall have no duty to maintain, service, replace, repair, or otherwise care for the Monument Sign and cannot guaranty against any hardware or electrical malfunctions. City is solely responsible for the maintenance, service, replacement, repair and ultimate care of the Monument Sign.

7. Public Service Messages. As further consideration for the City’s Agreement to allow Lamar to develop the 215/Keller Billboard and Reconstructed Billboards, City shall be entitled to use of advertising space on the Signs on an “as available” basis; provided, however, that messages placed by City on the Signs must be limited to non-profit, public service messages (hereinafter “Public Service Messages”). The term Public Service Message shall expressly exclude any message advertising any business, company or event where such message would have a direct and tangible economic benefit to a private, for-profit company. The value of the Public Service Messages is estimated to be \$300,000 annually.

For all Public Service Messages, City shall be responsible for providing Lamar with the advertising copy. Lamar shall not be responsible for producing or substantially modifying any advertising copy for a Public Service Message, and shall have 48 hours after receipt and approval of advertising copy to display the Public Service Message.

8. Lamar’s Advertising Policy. The Parties acknowledge that public advertising is an important form of public communication. City desires to preserve this type of communication while preserving the character of the community and prevent exposure of its residents to advertising which City’s residents might find offensive. Accordingly, Lamar shall be prohibited

from displaying such offensive advertising material including, but not limited to, advertising for adult businesses, cabarets, strip clubs, lingerie, and cannabis products of any kind including CBD products.

9. Indemnity. Lamar, as a material part of the consideration to be rendered to City under this Agreement, shall indemnify City, its agents and employees and any successors or assigns to the City's rights under this Agreement (collectively "City Parties") and shall hold and save them and each of them harmless from any and all actions, suits, claims, damages to persons or property, losses, costs, penalties, obligations, errors, omissions or liabilities, (hereinafter "Indemnified Claims and Liabilities") that may be asserted or claimed by any person, firm or entity arising out of or in connection with the use and maintenance of the 215/Keller Billboard, Reconstructed Billboards or Old Billboard by Lamar, its officers, agents and employees (collectively "Lamar Parties"), but only to the extent any such Indemnified Claims and Liabilities arise from (a) the failure of Lamar to keep such billboards in good condition and repair, (b) the negligent acts or omissions of Lamar hereunder, or (c) Lamar's negligent performance of or failure to perform any term or covenant of this Agreement, and in connection with the foregoing indemnity:

- a. Lamar shall defend any action or actions filed in connection with any of said Indemnified Claims and Liabilities and will pay all costs and expenses, including legal costs and attorneys' fees incurred in connection therewith;
- b. Lamar shall promptly pay any judgment rendered against the City and the City Parties for any such Indemnified Claims and Liabilities; and Lamar shall save and hold City and City Parties harmless therefrom; and
- c. In the event City Parties are made a party to any action or proceeding filed or prosecuted against Lamar Parties for such Indemnified Claims and Liabilities, Lamar shall pay to City any and all costs and expenses incurred by City Parties in such action or proceeding, including but not limited to, legal costs and attorneys' fees.

Lamar and City further acknowledge that Lamar shall not indemnify City Parties for any Indemnified Claims and Liabilities caused by or arising out of the gross negligence or willful misconduct of City Parties.

10. General Provisions.

a. Assignment. Lamar may only assign or otherwise transfer this Agreement to any other person, firm, or entity upon presentation to the City of an assignment and assumption agreement in a form reasonably acceptable to the City Attorney and upon receipt of the City's written approval of such assignment or transfer by the City Manager; provided, however, that Lamar may, from time to time and one or more times, assign this Agreement to one or more persons or entities without the City's approval, but with written notice to the City, as long as Lamar, or entities owned or controlled by it, have and maintain at least a twenty-five percent (25%) ownership interest in such entities who are the assignees or transferees. After a transfer or assignment as permitted by this Section, the City shall look solely to such assignee or transferee for compliance with the provisions of this Agreement which have been assigned or transferred.

b. Waiver. The waiver by any Party of any breach of any term, covenant or condition herein contained shall not be deemed to be a waiver of any other term, covenant or condition, or of any subsequent breach of the same term, covenant or condition.

c. Notices. All notices and other communications required or permitted to be given hereunder shall be in writing and shall be sent by: (a) certified or registered mail, postage pre-paid, return receipt requested, (b) personal delivery, or (c) a recognized overnight carrier that provides proof of delivery, and shall be addressed as follows:

If to Lamar:

Lamar Central Outdoor, LLC
449 East Parkcenter Circle South
San Bernardino, CA 92408
Attention: Brian Smith

If to the City:

City of Murrieta
Attn: Planning Director
1 Town Square
Murrieta, CA 92562

With a Copy to:

Stream Kim Hicks Wrage & Alfaro, PC
Attn: Theodore Stream, Esq.
3403 Tenth Street, Suite 700
Riverside, CA 92501

With a Copy to:

City of Murrieta
Attn: City Manager
1 Town Square
Murrieta, CA 92562

Aleshire & Wynder, LLP
Attn: Tiffany J. Israel
18881 Von Karman Avenue
Suite 1700
Irvine, CA 92612

Notices shall be deemed effective upon receipt or rejection only.

d. Authority to Enter Agreement. All Parties have the requisite power and authority to execute, deliver and perform the Agreement. All Parties warrant that the individuals who have signed this Agreement have the legal power, right, and authority to bind each respective Party.

e. Amendment/Modification. No supplement, modification, or amendment of this Agreement shall be binding unless executed in writing and signed by all Parties.

f. Attorneys' Fees. In the event of litigation between the Parties arising out of this Agreement, the prevailing Party shall be entitled to recover its reasonable attorneys' fees and other costs and expenses incurred, including attorneys' fees on appeal, and all other reasonable costs and expenses for investigation of such action, including the conducting of discovery, in addition to whatever other relief to which it may be entitled.

g. Time is of the Essence. Time is of the essence of each and every provision of this Agreement.

h. Miscellaneous. This Agreement embodies the entire agreement between the Parties and supersedes any prior or contemporaneous understandings between the Parties related to the Agreement. If any provision of this Agreement is held to be invalid, the balance shall remain binding upon the Parties. This Agreement shall be interpreted in accordance with its plain meaning, and not in favor of or against either Party. This Agreement shall be construed according to the laws of the State of California.

i. Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed on the date set forth below.

“CITY”:

CITY OF MURRIETA

By:



Kim Summers, City Manager

ATTEST:

By:



Cristal McDonald, City Clerk



APPROVED AS TO FORM:

By:



Tiffany Israel, City Attorney

“LAMAR”

LAMAR CENTRAL OUTDOOR

By:



By: C. Todd Porter

Its: Vice President and General Manager

EXHIBIT "A"
Relocation Agreement

RELOCATION AGREEMENT

This Relocation Agreement is entered into this 15th day of April, 1997 by and between the City of Murrieta ("the City"), a municipal corporation, and Outdoor Media Group, Inc. ("OMG"), a California corporation.

RECITALS

WHEREAS, OMG maintains an outdoor advertising display within the City at Assessor Parcel Number 910-060-004 (the "Old Billboard"), and the City feels that the Old Billboard is a detriment to the aesthetic quality of the City, and

WHEREAS, the Old Billboard is an unsightly wooden structure erected on eight wooden telephone poles and measuring 12' x 40', and

WHEREAS, the City desires that the Old Billboard be removed and replaced with more aesthetically pleasing steel monopoles, at no cost to the City, and

WHEREAS, OMG owns the rights to another outdoor advertising display under Permit No. 25 purchased from Carter Sign Company, and

WHEREAS, OMG is willing to remove the Old Billboard and relocate Permit No. 25 and to replace them with two steel monopole structures (14' x 48') pursuant to Business and Professions Codes 5412.

NOW, THEREFORE, IT IS MUTUALLY AGREED AS FOLLOWS:

1. OMG agrees to remove the Old Billboard from its present location and configuration. OMG also agrees to relocate its permits rights under Permit No. 25.
2. The City agrees to permit and recognize the erection by OMG of two double-faced outdoor advertising displays within the City, the first to be

-1-

EXHIBIT 1

located on Assessor's parcel Number 910-060-004 and the second on Assessor's Parcel Number 910-020-015.

3. OMG agrees to obtain all necessary building, grading and other permits generally applicable to the erection of outdoor advertising displays, and to abide by all other local, state and federal rules and regulations generally applicable to the erection and maintenance of outdoor advertising displays. The City agrees to immediately inspect the new billboards and advise OMG in writing of all permits which the City determines are necessary for OMG to obtain. The City further agrees to expeditiously process all paperwork necessary for the issuance of such permits, which will not be unreasonably denied.

4. OMG further agrees to provide the City at no charge, $\frac{1}{2}$ of the South Face to be used for a period of 2 years. OMG further agrees to provide the City two free paints per year on the South Face. After the 2 years are up, OMG will provide the City at no charge a street advertisement structure to be used for civic functions and OMG will provide (2) banners per year at no charge to the City for a period of 10 years.

5. OMG further agrees that it will not display any advertisement for the sale of alcohol or tobacco related products on the billboards which are the subject of this Agreement.

6. The making, execution and delivery of this Agreement by the parties hereto has not been induced by any prior or contemporaneous representation, statement, warranty or agreement as to any matter other than those herein expressed. This Agreement embodies the entire understanding and agreement of the parties and there is no further or other agreement or understanding, written or oral, in effect between the parties relating to the subject matter hereof. All prior negotiations or agreements, if any, between the parties hereto, relating to the subject matter hereof are superseded by this Agreement. This Agreement may be amended or modified only by a written agreement.

signed by the parties hereto.

7. This Agreement shall inure to the benefit of and be binding upon the parties and their respective agents, successors, personal representatives and assigns. This agreement is prepared by the joint efforts of the parties hereto, and shall not be construed strictly in favor of or against either party, but shall be construed fairly in accordance with the laws of the State of California and for the purpose of giving effect to each provision herein.


8. The parties agree to execute such additional documents and perform such further acts as may be reasonably necessary to effectuate the terms, provisions and intent of this Agreement.

9. This Agreement may be executed in two or more identical counterparts, each of which shall be deemed and original, but all of which taken together shall constitute one in the same agreement.

10. The parties hereto acknowledge that they have been represented in the above-recited matters, and with regard to the preparation and execution of this Agreement by attorneys. This Agreement has been fully explained to each party by its respective counsel. Each party hereto enters into the within Agreement with full knowledge and information as to the recitals herein contained, and with full and informed knowledge, consent and understanding of the terms and conditions of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

OUTDOOR MEDIA GROUP, INC.

By: 
Jon Gunderson, President

CITY OF MURRIETA

By: 
Mayor

ATTEST:

City Clerk



EXHIBIT 2

09/10/1996 15:33

90969898

MURRIETA ADMIN

PAGE 02

ORDINANCE NO. 164-96

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, AMENDING THE OFFICIAL ZONING MAP OF SAID CITY IN ZONE CHANGE CASE NO. 96-041, LOCATED ON THE WEST SIDE OF JACKSON AVENUE, APPROXIMATELY 1,180 FEET NORTH OF ELM STREET, CHANGING THE ZONE FROM RURAL RESIDENTIAL (R-R) TO BUSINESS PARK (B-P) AS ILLUSTRATED ON THE ATTACHED CITY OF MURRIETA ZONE CHANGE MAP (EXHIBIT 1); FILED BY OUTDOOR MEDIA GROUP

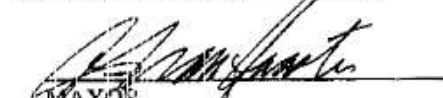
The City Council of the City of Murrieta does ordain as follows:

Section 1.1: The City of Murrieta Official Zoning, is amended by placing in effect the zone as shown on the attached map entitled Exhibit 1 (included herein by reference), Change of Official Zoning, City of Murrieta, referenced as Zone Change Case No. 96-041.

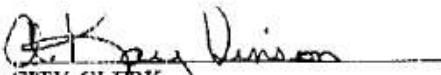
Section 2.1: The zoning shall become Business Park (B-P) for the land use development in the area contained on Exhibit 1 and development decisions shall be based on the I-P (Industrial Park) standards and criteria contained in Ordinance No. 348, Article X of the County of Riverside, as incorporated and adopted by Ordinance of the City of Murrieta, and as amended thereafter from time to time by the City Council of the City of Murrieta, unless those standards are in conflict with the General Plan in which case the General Plan shall prevail.

Section 3.1: The City Clerk shall certify to the adoption of this ordinance and shall publish a summary of this ordinance and post a certified copy of the full ordinance in the office of the City Clerk at least five days prior to the adoption of the proposed ordinance; and within fifteen days after adoption of the ordinance, the City Clerk shall publish a summary of the ordinance with the names of the Council members voting for and against the ordinance. This ordinance shall take effect thirty days after the date of its adoption.

ADOPTED by the City Council and signed by the Mayor and attested by the City Clerk this 20th day of August, 1996.


 MAYOR
 City of Murrieta

ATTEST:


 CITY CLERK
 City of Murrieta

APPROVED AS TO FORM:


 CITY ATTORNEY

09/10/1996 16:33 90969898

MURRIETA ADMIN

PAGE 03

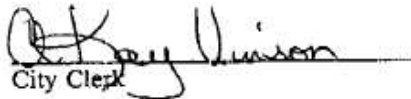
City Council Meeting
Zone Change No. 96-041
August 20, 1996
Page 2

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, hereby certify that the foregoing ordinance was duly and regularly introduced at a meeting of the City Council on the 6th day of August, 1996, and that thereafter the said ordinance was duly adopted at a regular meeting of the City Council on the 20th day of August, 1996, by the following vote, to-wit:

AYES: G. Smith, Walsh, Washington, and van Haaster
NOES: None
ABSENT: Enochs
ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and official seal of the City of Murrieta, California this 20th day of August, 1996.

(Seal)


City Clerk

PH-2

CITY OF MURRIETA



STAFF REPORT PLANNING DEPARTMENT

CASE: Zone Change No. 96-041

REQUEST: To change the zoning on a 3.77 gross acre site from R-R (Rural-Residential) to B-P (Business Park).

APPLICANT: Outdoor Media Group

MEETING DATE: July 10, 1996

LOCATION: On the west side of Jackson Avenue, approximately 1,180 feet north of Elm Street.

CASE PLANNER: Patti Nahill

RECOMMENDATION: That the Planning Commission recommend to the City Council adoption of the Negative Declaration, adoption of De Minimis Impact Findings, and approval of Zone Change No. 96-041 based on the findings contained in the staff report.

STAFF RECOMMENDATIONS:

That the Planning Commission recommend to the City Council:

1. **ADOPTION** of the Negative Declaration for Zone Change No. 96-041 based on the findings that the project will not have an adverse impact on the environment; and,
2. **ADOPTION** of De Minimis Impact Findings that considering the record as a whole, there is no evidence that the proposed project will have the potential for adverse effect on wildlife resources or the habitat upon which the wildlife depends; and,
3. **APPROVAL** of Zone Change No. 96-041, based on the findings contained in the staff report; and,
4. **INTRODUCTION** of an ordinance to amend the official zoning map.

BACKGROUND INFORMATION:

A.	General Plan Land Use Designation	Existing Zoning	Existing Land Use
Site:	Business Park	R-R	Single family residence with accessory structures, storage, a billboard and a communication facility
North:	Business Park	R-R & C-P-S	Vacant land and a highway storage facility
South:	Business Park	R-R	Single family residence and billboards
East:	Business Park	I-P	Vacant land and a sand/gravel operation
West:	Business Park & I-15	R-R	Vacant land and Interstate 15

- B. SITE CHARACTERISTICS:** The site is located on the west side of Jackson Ave., approximately 1,180 feet north of Elm Street. The topography of the site is varied between rolling hills and dales. At the top of a northerly knoll, a single family residence exists in addition to an older wooden outdoor advertising display structure. Miscellaneous storage, structures from a non-functioning agricultural operation and a newly constructed communication facility are located in the area south of the existing residence.
- C. STREET CIRCULATION PLAN:** Jackson Avenue's existing right-of-way is 60 feet with future right-of-way expansion proposed to 100 feet.
- D. ENVIRONMENTAL DETERMINATION:** An Initial Study has been prepared pursuant to Section 15063 of the California Environmental Quality Act (CEQA) and a Negative Declaration has been proposed for adoption on this project.
- E. PREVIOUS APPROVALS/SPECIAL CIRCUMSTANCES:** Outdoor Advertising Display Permit No. 37 was approved by the Riverside County on 3/16/67. Plot Plan 95-

034 to permit AirTouch Cellular to erect a 106 foot monopole and 12 foot by 30 foot equipment shed on the site was approved by the Planning Commission on 11/29/95.

PROJECT DESCRIPTION:

The project proponent, Outdoor Media Group, is requesting to change the zoning designation from R-R (Rural-Residential) to B-P (Business Park) of three individual parcels consisting of 3.77 gross acres. No development plans have been submitted as part of this proposal, however, public facilities expansion may be necessary with a specific development application.

ANALYSIS:

1. **General Plan Consistency:** The requested change is consistent with the General Plan land use district designation of Business Park. The General Plan envisions the area on the east side of Interstate 15, north of Elm Street transitioning over time into an area which will allow light manufacturing, fabrication, material processing, and assembly, providing that the uses are conducted in a controlled setting where all operations will be performed inside structures. Specifically, the General Plan identifies the following policies for development within the Business Park land use designation:

Policy LU-1.4a	All manufacturing activities in the Business Park designation will be conducted within enclosed buildings with a limited amount of outdoor storage allowed only on a case by case basis under special review. Outdoor storage will be screened from public view with walls, berms, and landscaping.
Policy LU-1.4b	Research and development activities are encouraged in the Business Park designation, as well as regional home offices of manufacturing businesses. Ancillary retail uses may be permitted.
Policy LU-1.4f	All Business Park activities will be buffered from residential uses. Setbacks, landscaping, berms, screening walls and other techniques will be used to transition from industrial to residential uses. Where a Business Park lot fronts on two streets (a through lot), and one street frontage adjoins residential while the other frontage adjoins industrial, access shall be prohibited onto the residential fronting street.
Policy LU-1.4g	All industrial development shall be consistent with the intensity limits established in the General Plan. Any adopted design guidelines, impact fees, or other City regulation for an industrial site must be complied with.

2. **Zoning Consistency:** The City Council adopted Resolution 96-430 to address zone changes which precede adoption of the City's Development Code. The determination was made that until such time that the City adopts a Development Code that is in conformance with the General Plan, development decisions shall be based upon the

Planning Commission
 Zone Change No. 96-041
 July 10, 1996
 Page 4

General Plan land use designations and policies, and not the existing Riverside County recognized zoning classifications. A matrix was established to identify which County classifications would relate to Murrieta's land use designations. For this particular application, the two designations would be B-P (Business Park) under the City of Murrieta and I-P (Industrial Park) as the County's identifier. The resolution went further to state that development decisions shall be based on the standards contained within Ordinance No. 348 unless those standards are in conflict with General Plan provisions. Therefore in this instance, any development application for the proposed site would be reviewed against Article X of Ordinance No. 348 which enumerates the regulations that apply to the Industrial Park zone classification.

3. **Site Development:** The proposal to change the zoning from residential to industrial will not cause any existing legal structures on-site to be displaced, however their status will be affected. Any zone change action for approval will result in a status change to nonconforming. Ordinance No. 348, Section 18.8 permits any nonconforming structure or use to be continued and maintained, provided there are no structural alterations. Further, if any part of a structure or land occupied by a nonconforming use is discontinued for one year or more, the land shall thereafter be used in conformance with the provisions of the industrial classification and the residential nonconforming right shall be forfeited.
4. **Comments Received:** The City of Temecula responded to a request for comments in a letter dated May 28, 1996. In their correspondence, they questioned whether the application was a speculative zone change or if there was an accompanying development plan. They went on to note that the applicant's name is Outdoor Media Group which suggests that the intended use will be for some form of outdoor advertising. If this is the case, the City of Temecula states they would be in opposition to the change of zone since the location is at the gateway to the City of Temecula. They also noted that the proposed change of zone is in an area that is not served by adequate circulation and other basic services regarded as necessary for business development. They closed their letter, "In summary there seems to be no compelling need for the proposed action."

The application in question is for a change in the zone classification. There were no accompanying development plans submitted as part of this application request. Any future development request will be conditioned to provide adequate provisions for circulation, utilities and other public services. The applicant is Outdoor Media Group on behalf of Dortha Tiss and Pauline Brown, co-owners of the subject parcels. Any application for a new outdoor advertising display will be subject to the Conditional Use Permit process and shall required to be in conformance with Section 19.3 of Ordinance No. 348 which regulates outdoor advertising displays. One particular subsection of note is that the location of outdoor advertising displays shall be permitted only on properties

Planning Commission
Zone Change No. 96-041
July 10, 1996
Page 5

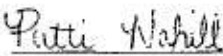
abutting the freeway. None of the three subject parcels abut the freeway. The only permissible deviation from this standard can be evaluated under the context of a relocation agreement of an existing legally permitted structure.

5. **Environmental Determination:** An Initial Study has been prepared by staff and has found that no significant environmental impacts will occur as a result of the proposed consistency zoning request, therefore, a Negative Declaration is proposed for adoption. The Notice of Intent to File a Negative Declaration was advertised and available for public review from June 3 to June 24, 1996. To date, no comments have been received regarding the initial study assessment.


CONCLUSIONS:

The proposed zone change is consistent with the General Plan and any future development will be required to be consistent with the development policies stated within the General Plan and Article X of Ordinance No. 348. The General Plan EIR and the initial study did not identify any environmental impacts that could not be sufficiently mitigated at the time of site development. Therefore, staff is recommending that the Planning Commission recommend to the City Council approval of Zone Change No. 96-041 based on the findings attached herein.

Prepared By:


Patti Nahill, AICP
Associate Planner

Approved By:


Brad L. Kilger, AICP
Economic and Community Development Director

ATTACHMENTS:

1. Findings for Zone Change No. 96-041
2. De Minimis Impact Findings
3. Draft City Council Ordinance
4. Existing Land Use\General Plan Land Use\Zoning Map
5. Initial Study
6. Negative Declaration

**FINDINGS FOR APPROVAL OF
ZONE CHANGE NO. 96-041
JULY 10, 1996**

Based upon the hearing evidence, all written and oral testimony, and documents and exhibits which are contained in the staff report for the above referenced case, the Planning Commission finds as follows:

1. The proposed project is consistent with the General Plan.

FACTS: The applicant's request to change the designation from R-R (Rural Residential) to B-P (Business Park) is consistent with the designation of Business Park identified through the General Plan review process as an appropriate use adjacent to the freeway and based on the existing transitioning development pattern.

2. The proposed project is consistent with the Zoning Ordinance 348 and all other applicable requirements of local ordinances and state law.

FACTS: The zone change application does not propose any physical site changes. All future projects shall meet all applicable development standards including, but not limited to, setbacks, access, circulation, parking, lighting, and landscaping of the I-P (Industrial Park) Zoning District and the applicable development policies of the General Plan.

3. The proposed zone change is compatible with and complimentary to the permitted uses in the same neighborhood.

FACTS: The area is in a stage of transition between lower density residential uses with a variety of ancillary uses to a more traditional manufacturing and material processing land use pattern. The General Plan proposes future upgrades to Jackson Avenue which will facilitate development of higher intensive uses within this area. The zone change will compliment the existing pattern that has been occurred on the subject parcels.

4. The proposed project will not adversely affect the public health, safety, and welfare, nor be materially detrimental to the use, enjoyment, or valuation of persons or other property in the surrounding area because it is required to comply with applicable health and zoning codes.

FACTS: The requested zone change to industrial will not in and of itself create any adverse impacts to affect the public health, safety and welfare of the surrounding property owners. All future development plans will be required to comply with all applicable health, building and zoning codes.

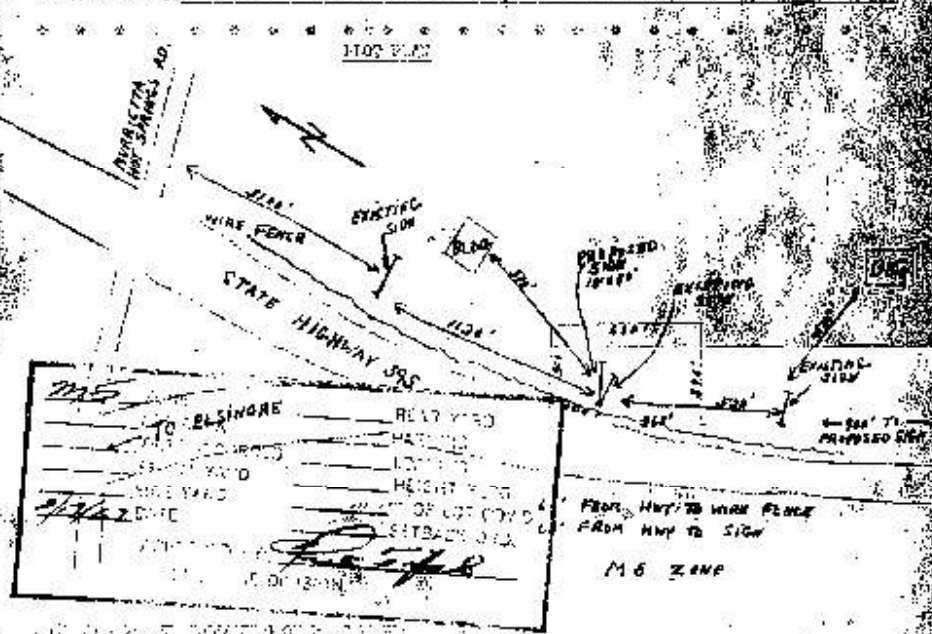
Attachment 1

ADDENDUM

OUTDOOR MEDIA GROUP will pay all fees associated with zone change on the subject property including city filing fees, and the hiring of Markham and Associates to do the necessary engineering work

Land rent will start September 1, 1996. The sign structure on the property will become the property of OUTDOOR MEDIA GROUP.

Jon Lunde
Brother Liss



Sec. 22, T7S, R3W, E4 of Lot 24 of Tamecula Land & Water Co. S. 1/4
N9 7/159-5D. Reg. 234 W. SW of E. corner, thence S7 3/4 E. 396 ft.,
thence N7 5/8 E. 560 ft., thence S96°, thence 660' to point of beginning,
except State Highway.

REF ID: A66087

4-5
20
Peterson
MAY 1964
7
Ma 15-62
COMMUNIST PARTY

EXHIBIT “B”
Removed Billboards

Sign No.	Board Lease No.	Display Nos.	Location
1	5052	70521 /70522	I-15 EL .2mi N/O 215 Overpass APN: 910-390-021
2	5054	70541/70542	I-15 EL .3mi N/O 215 Overpass APN 910-390-021
3	3361	33613/33614	I-15 WL 1.35mi N/O Winchester APN: 910-210-050.

EXHIBIT “C”
215/Keller Billboard

No.	Location
1.	Corner of Keller Rd and Antelope Rd. APN: 384-220-001

EXHIBIT “D”
Reconstructed Billboards

Sign No.	Board Lease No.	Display Nos.	Location
1	3331	33311/33312	I-15 WL 1.2 Mi N/O Winchester APN: 910-210-055
2	3333	33331/33332	I-15 & 215 EL S/O Overpass APN: 910-020-077
3	5058	70581/70582	I-15 E/L 1.5 mi N/O Winchester APN: 910-060-009

EXHIBIT "E"
Conceptual Billboard Designs





Pole Cover Details:

5' square primary column. Textured finish painted off-white.
Vertical accent beams to have textured med. Gray finish.
Copy to be illuminated pan channel letters with white acrylic faces and 5" deep black returns.
Illuminated with white LED's.

Base section to have textured finish with light gray paint.
Darker accent lines as shown.

	
	ADDRESS _____
	DATE 6-6-22 _____
DRAWING NUMBER _____	

EXHIBIT B-1

LEGAL DESCRIPTION OF PROPERTY

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, CITY OF MURRIETA AND DESCRIBED AS FOLLOWS:

PARCEL A OF THAT CERTAIN CERTIFICATE OF PARCEL MERGER NO. 3184 RECORDED NOVEMBER 07, 2006 AS INSTRUMENT NO. 2006-0823469 OF OFFICIAL RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING PARCELS 13 AND 14 AS SHOWN ON PARCEL MAP 21997 RECORDED IN PARCEL MAP BOOK 184 PAGES 28 AND 29 IN THE OFFICE OF THE RIVERSIDE COUNTY RECORDER RIVERSIDE, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST CORNER OF SAID PARCEL 13;

THENCE, ALONG THE NORTHWESTERLY LINE OF SAID PARCEL 13 AND 14, NORTH 48° 21' 18" EAST, 377.33 FEET TO THE NORTH CORNER OF SAID PARCEL 14;

THENCE, ALONG THE NORTHEASTERLY LINE OF SAID PARCEL 14, SOUTH 28° 41' 07" EAST, 311.13 FEET TO THE EAST CORNER OF SAID PARCEL 14;

THENCE, ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL 14, SOUTH 48° 37' 40" WEST, 152.60 FEET TO A POINT ON A NON-TANGENT CURVE ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF THE CUL-DE-SAC OF GOLDEN GATE CIRCLE AS SHOWN ON SAID MAP, CONCAVE SOUTHERLY AND HAVING A RADIUS OF 61.00 FEET, THE PREVIOUS COURSE BEING RADIAL TO SAID CURVE;

THENCE, CONTINUING ALONG THE SOUTHEAST LINE OF SAID PARCEL 14 AND THE SOUTHEAST LINE OF SAID PARCEL 13, SOUTHWESTERLY ON SAID CURVE THROUGH A CENTRAL ANGLE OF 107° 12' 31", 114.14 FEET;

THENCE CONTINUING ALONG SAID LINE, SOUTH 31° 25' 09" WEST, 50.00 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 100.00 FEET;

THENCE, SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 17° 12' 31", 30.04 FEET TO THE SOUTH CORNER OF SAID PARCEL 13;

THENCE, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL 13, RADIAL TO SAID CURVE, NORTH 41° 22' 20" WEST, 262.74 FEET TO THE POINT OF BEGINNING.

EXHIBIT B-2
DEPICTION OF SITE 1

Pole Cover Details:

6' Square Primary Column.
Textured finish painted light-gray.

Vertical accent beams to have textured medium gray finish.
Copy to be illuminated pan channel letters with white acrylic faces and 5" deep black returns.
Illuminated with white LEDs.

Base section to have textured finish with light gray paint. Darker accent lines as shown.



EXHIBIT C-1

LEGAL DESCRIPTION OF PROPERTY

BEING A PORTION OF LAND LOT 125 AS SHOWN ON TEMECULA LAND AND WATER COMPANY, RECORDED IN BOOK 8, PAGE 359 OF MAPS, IN THE OFFICE OF THE RECORDED OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, LYING WITHIN SECTION 22, TOWNSHIP 7 SOUTH, RANGE 3 WEST, S.B.B.M., IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY LINE OF FIG STREET, 30.00 FEET IN HALF WIDTH, WITH THE SOUTHWESTERNLY RIGHT OF WAY LINE OF JACKSON AVENUE, 60.00 FEET IN WIDTH, BOTH AS SHOWN ON SAID MAP;

THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF JACKSON AVENUE, NORTH 40°40'12" WEST, A DISTANCE OF 141.31 FEET;

THENCE SOUTHWESTERLY AT RIGHT ANGLE TO SAID SOUTHWESTERLY RIGHT OF WAY LINE, SOUTH 48°19'48" WEST, A DISTANCE OF 79.78 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTHEASTERLY, SOUTH 43°03'50" EAST, A DISTANCE OF 33.08;

THENCE SOUTHWESTERLY, SOUTH 59°14'40" WEST, A DISTANCE OF 50.10 FEET;

THENCE NORTHWESTERLY, NORTH 43°19'13" WEST, A DISTANCE OF 11.82 FEET;

THENCE NORTHEASTERLY, NORTH 34°44'55" EAST, A DISTANCE OF 50.13 FEET TO THE TRUE POINT OF BEGINNING.

THE DESCRIBED PARCEL OF LAND CONTAINS 1,099 SQ. FT. MORE OF LESS.

EXHBIT C-2
DEPICTION OF SITE 2

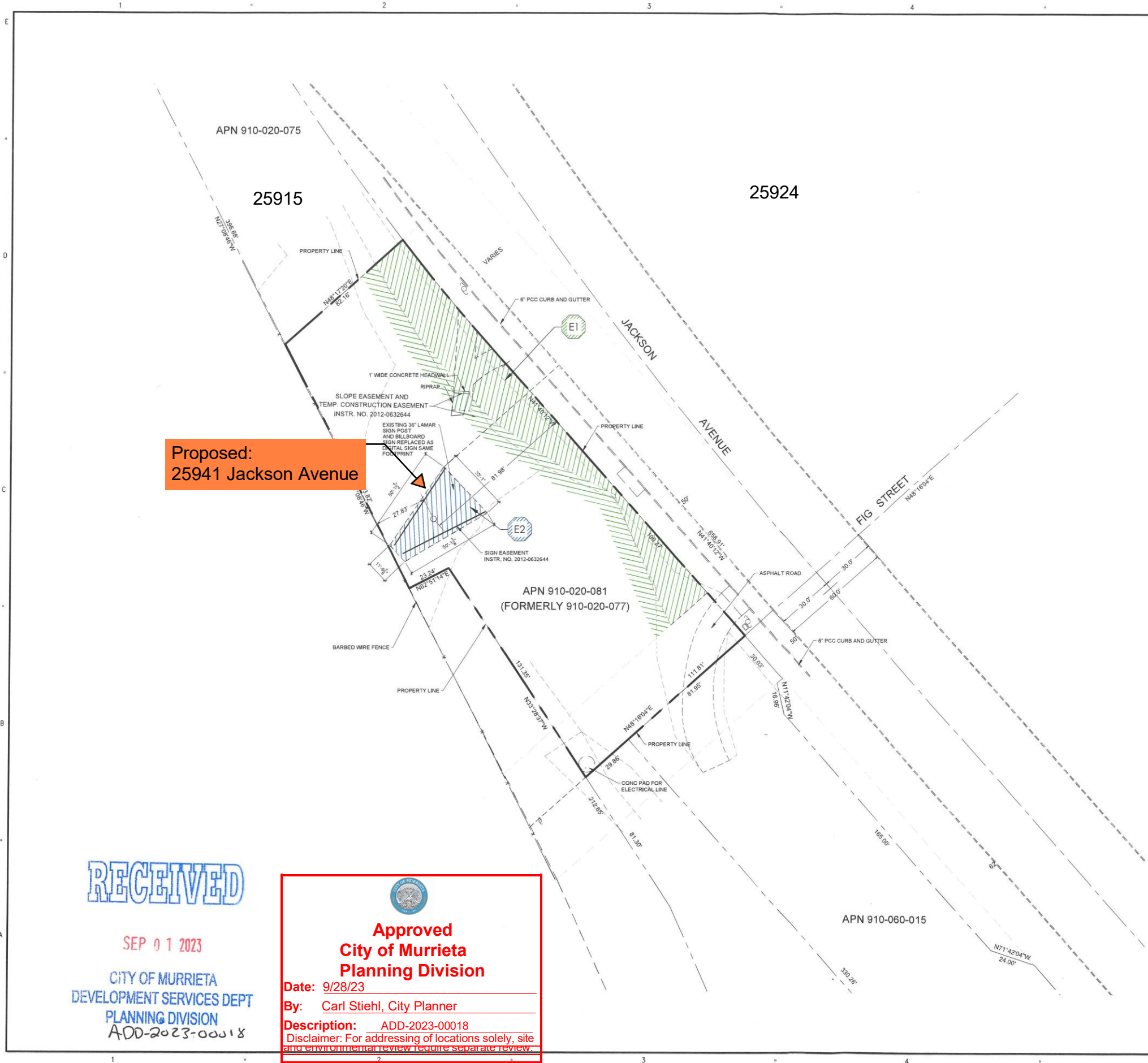


Pole Cover Details:

6' Square Primary Column.
Textured finish painted light-gray.

Vertical accent beams to have textured
medium gray finish.
Copy to be illuminated pan channel letters
with white acrylic faces and
5" deep black returns.
Illuminated with white LEDs.

Base section to have textured finish
with light gray paint. Darker accent lines
as shown.



VICINITY MAP



BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF "N 41°42'04" W OF THE CENTERLINE OF JACKSON AVENUE AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 138, PAGES 29 AND 30, RECORDS OF RIVERSIDE COUNTY.

PROJECT INFORMATION

PROJECT: NEW DIGITAL BILLBOARD
BUILDING LOCATION: JACKSON AVENUE AND FIG STREET, MURRIETA, CA
APN: 910-020-081 (FORMERLY 910-020-077)
SCOPE OF WORK: CONSTRUCTION OF A 14'x48' DIGITAL BILLBOARD
BILLBOARD HEIGHT: TBD

ZONING INFORMATION

ZONING: COMMUNITY COMMERCIAL
LOT AREA: 14,374.8 SQ.FT. (.33 ACRES)

EASEMENTS

- E1 ITEM 1: SLOPE EASEMENT AND TEMP. CONSTRUCTION EASEMENT
E2 ITEM 2: SIGN EASEMENT

**Addressing Application:
ADD-2023-00018
Location 4 of 4
Jackson Avenue and Fig Street
Northern Location**

SITE PLAN

SCALE 1" = 300'



PROJECT OWNER
LAMAR ADVERTISING
CO: NAT PRESTON
41085 GOLDEN GATE CIR.
MURRIETA, CA 92562

ENGINEER OF RECORD
DUKE ENGINEERING
44732 YUCCA AVENUE
LANCASTER, CA
661-952-7918

Revisions	No.	By	Date

PROJECT
LAMAR DIGITAL BILLBOARD
JACKSON AVENUE AND FIG STREET
APN: 910-020-081
(FORMERLY APN: 910-020-077)



SHEET TITLE
SITE PLAN

SHEET
A1.00
Project No. 23036

RECEIVED
SEP 01 2023
CITY OF MURRIETA
DEVELOPMENT SERVICES DEPT
PLANNING DIVISION
ADD-2023-00018

Approved
City of Murrieta
Planning Division
Date: 9/28/23
By: Carl Stiehl, City Planner
Description: ADD-2023-00018
Disclaimer: For addressing of locations solely, site and environmental review require separate review.

EXHIBIT D-1

LEGAL DESCRIPTION OF PROPERTY

THAT PORTION OF LOT 124 OF THE MURRIETA PORTION OF THE TEMECULA RANCHO AS PER MAP OF THE LANDS OF THE TEMECULA LAND AND WATER COMPANY RECORDED IN BOOK 8, PAGE 359, OF MAPS, IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING ON THE CENTER LINE OF JACKSON AVENUE 660 FEET SOUTHEASTERLY OF THE CENTER LINE OF FIG STREET; THENCE SOUTHWESTERLY PARALLEL WITH THE CENTERLINE OF FIG STREET, 660 FEET; THENCE SOUTHEASTERLY PARALLEL WITH THE CENTER LINE OF JACKSON AVENUE, 650 FEET, TO THE SOUTHEASTERLY LINE OF SAID LOT; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT, TO THE CENTER LINE OF JACKSON AVENUE; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF JACKSON AVENUE, 660 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE NORTHEASTERLY 264 FEET OF LOT 124

ALSO EXCEPTING THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED SEPTEMBER 22, 1950, IN BOOK 1206 PAGE 107, OFFICIAL RECORDS.

FURTHER EXCEPTING THAT PORTION INCLUDED WITHIN THE LINES OF THE DESCRIBED LAND IN THE GRANT DEED TO THE CITY OF TEMECULA, A MUNICIPAL CORPORATION, RECORDED MARCH 23, 2022, AS INSTRUMENT NO. 2022-0141306 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL 2A:

AN EASEMENT FOR ROAD PURPOSES LYING ALONG THE SOUTHEASTERLY 30 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT ON THE CENTER LINE OF JACKSON AVENUE 330 FEET SOUTHEASTERLY FROM THE CENTER LINE OF FIG STREET; THENCE AT RIGHT ANGLES SOUTHWESTERLY TO A POINT 132 FEET FROM THE CENTER LINE JACKSON AVENUE, THIS BEING THE POINT OF BEGINNING; FROM THIS POINT OF BEGINNING SOUTHWESTERLY PARALLEL TO FIG STREET FOR 132 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY FOR 330 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY FOR 132 FEET; THENCE AT RIGHT ANGLES NORTHWESTERLY FOR 330 FEET TO THE POINT OF BEGINNING.

PARCEL 2B:

AN EASEMENT FOR ROAD PURPOSES LYING ALONG THE SOUTHEASTERLY 30 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT ON THE CENTER LINE OF JACKSON AVENUE 330 FEET

SOUTHEASTERLY FROM THE CENTER LINE OF FIG STREET; THIS BEING THE POINT OF BEGINNING; FROM THIS POINT OF BEGINNING SOUTHWESTERLY PARALLEL TO FIG STREET FOR 132 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY FOR 330 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY FOR 132 FEET TO THE CENTER LINE OF JACKSON AVENUE; THENCE AT RIGHT ANGLES NORTHWESTERLY FOR 330 FEET ALONG, THE CENTER LINE OF JACKSON AVENUE TO THE POINT OF BEGINNING.

EXHIBIT D-2
DEPICTION OF SITE 3

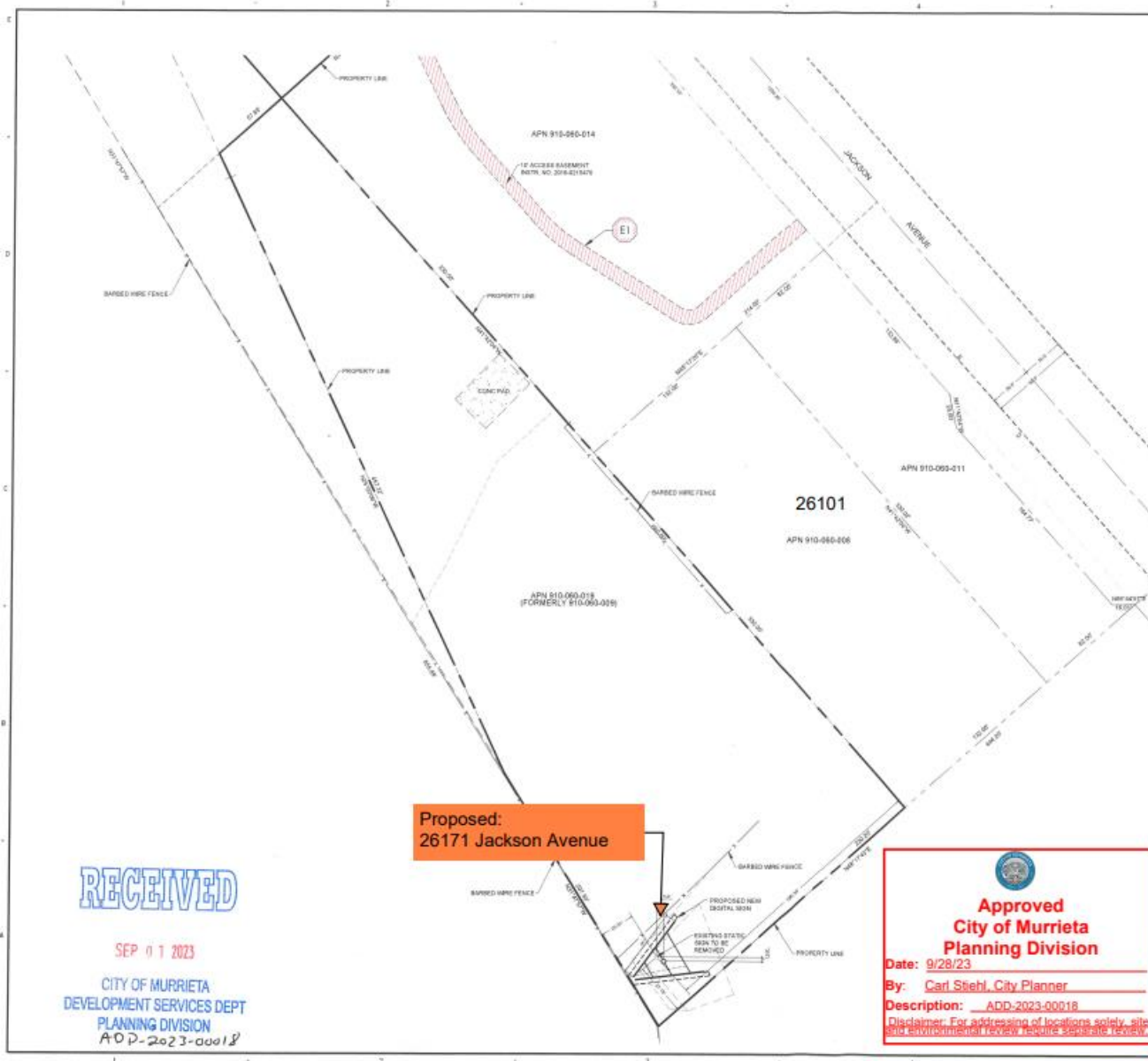


Pole Cover Details:

6' Square Primary Column.
Textured finish painted light-gray.

Vertical accent beams to have textured
medium gray finish.
Copy to be illuminated pan channel letters
with white acrylic faces and
5" deep black returns.
Illuminated with white LEDs.

Base section to have textured finish
with light gray paint. Darker accent lines
as shown.



RECEIVED

SEP 01 2023

CITY OF MURRIETA
DEVELOPMENT SERVICES DEPT
PLANNING DIVISION
ADD-2023-00018

**Approved
City of Murrieta
Planning Division**

Date: 9/28/23
By: Carl Stiehl, City Planner
Description: ADD-2023-00018
Disclaimer: For addressing of locations solely, site and environmental review require separate review.

VICINITY MAP



BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF "N 41° 42' 34" W OF THE CENTERLINE OF JACKSON AVENUE AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 136, PAGES 29 AND 30, RECORDS OF RIVERSIDE COUNTY.

PROJECT INFORMATION

PROJECT: NEW DIGITAL BILLBOARD
BUILDING LOCATION: JACKSON AVENUE AND FIG STREET, MURRIETA, CA
APN: 910-080-019 (FORMERLY 910-080-008)
SCOPE OF WORK: CONSTRUCTION OF A 16'x48' DIGITAL BILLBOARD
BILLBOARD HEIGHT: 18'0"

ZONING INFORMATION

ZONING: COMMUNITY COMMERCIAL
LOT AREA: 98,510 SQ. FT. (2.25 ACRES)

EASEMENTS

E1 ITEM 1: 16' ACCESS EASEMENT

**Addressing Application:
ADD-2023-00018
Location 2 of 4
Jackson Avenue and Fig Street
Southern Location**

SITE PLAN

SCALE: 1" = 40'



PROJECT OWNER

LAMAR ADVERTISING
302 NAY FLETCHER
41005 GOLDEN GATE DR.
MURRIETA, CA 92562

ENGINEER OF RECORD

**DUKE
ENGINEERING**
44732 YUCCA AVENUE
LAJUN, CA 92531
(951) 352-7919

PROJECT

**LAMAR DIGITAL
BILLBOARD**
JACKSON AVENUE AND FIG STREET
APN: 910-080-008 (FORMERLY 910-080-008)



SHEET TITLE

SITE PLAN

SHEET

A1.00

Project No. 2304



CITY OF MURRIETA

Planning Commission Meeting

Agenda Report

5/28/2025
Agenda Item No. 3.

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: Carl Stiehl, City Planner

PREPARED BY: Eric Dunn, Deputy City Attorney

SUBJECT: Consideration of a Development Agreement for Digital Billboards at Locations Approved by Relocation Agreement

RECOMMENDATION

Staff recommends the following:

1. Open the public hearing and receive public comments;
2. Find that the action is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15302 and 15303 as described in this staff report and the Resolution; and,
3. Approve the attached Resolution recommending that the City Council approve the proposed Development Agreement attached as an exhibit to the Resolution. The Development Agreement will authorize the relocation or reconstruction of Billboards, subject to an approved Relocation Agreement.

BACKGROUND

In 2022 the City entered into a Relocation Agreement (attached as Exhibit A) with Lamar Central Outdoor, LLC, (Lamar) for the removal of three (3) existing non-conforming static billboards. In exchange, Lamar was authorized to construct three digital billboards in new locations, among other things. Changes the City made to the Development Code (Murrieta Municipal Code (MMC) Title 16) in 2022 authorizes the use of a Development Agreement for the proposed billboard improvements (MMC Section 16.38.150).

ANALYSIS

Summary of Development Agreement Terms:

As further detailed in the proposed Development Agreement, conditions negotiated and agreed to by the

Developer and City include, but are not limited to:

1. The term shall commence on the Effective Date and shall terminate on its thirty (30) year anniversary, unless extended in accordance with the terms of the Development Agreement.
2. Upon the permanent removal of three (3) Removed Billboards (as defined in the Relocation Agreement), the City will allow Developer to build three (3) digital outdoor advertising displays ("DOADs").
3. Developer will be responsible for the DOADs, including the obligation to remove graffiti from, and make any repairs to, the DOADs within 48 hours notification.
4. DOADs shall not operate at brightness levels of more than 0.3-foot candles above ambient light, as measured using a foot candle meter at a pre-set distance. Distance to measure the foot candles impact shall be measured from a distance of 250 ft. for a sign with a nominal face size of 14' x 48'. Each Digital Display Area must have a light-sensing device that will adjust the brightness as ambient light conditions change in accordance with the Outdoor Advertising Act.
5. DOADs shall contain static messages only, and shall not have movement, or the appearance or optical illusion of movement during the static display period, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement. Each static message shall not include flashing lighting or the varying of light intensity.
6. No DOAD shall involve any red or blinking or intermittent light likely to be mistaken for warning or danger signals nor shall its illumination impair the vision of travelers on the adjacent freeway and/or roadways.
7. The DOAD shall be operated with systems and monitoring to freeze the display in one static position, display a full black screen, or turn off, in the event of a malfunction.
8. No DOAD shall simulate or imitate any directional, warning, danger, or any display likely to be mistaken for any permitted sign intended or likely to be construed as giving warning to traffic by, for example, the use of the words "stop" or "slow down."
9. The Developer voluntarily covenants and agrees to prohibit advertising displayed on the DOADs for adult businesses, cabarets, strip clubs, lingerie, and cannabis products of any kind including CBD products.
10. The Developer will pay the City a one-time payment of Two Hundred and Fifty Thousand Dollars (\$250,000) per DOAD, with such payment due to the City upon the commencement date of each DOAD.
11. The Developer shall further pay to the City an annual fee in the sum of the greater of One Hundred Thousand Dollars (\$100,000) each calendar year or twenty-five percent (25%) of the annual gross advertising revenue generated by each of the DOADs.

12. The Developer will also donate a City Hall Digital Monument Sign to the City as described in the Relocation Agreement.
13. The City shall be entitled to place up to one eight-second public service message per minute on each DOAD provided that space is available.
14. Sign facilities shall be in compliance with FAA and Caltrans standards.

In sum, the proposed Development Agreement establishes development standards for the three (3) billboard reconstructions consistent with the Relocation Agreement and consistent with the policies of the Murrieta Municipal Code and California Outdoor Advertising Act.

The three locations for reconstructed signs are 41001 Golden Gate Circle (57' tall), 25941 Jackson Avenue (85' tall), and 26171 Jackson Avenue (57' tall). See Attachment 2 for the vicinity map, showing the three locations.

Staff have reviewed the proposed plans and have determined that the three (3) reconstructed billboards subject to the proposed Development Agreement will not be detrimental to the surrounding areas, based on the required operating terms, including design and regulatory controls. The development and operations requirements will ensure appropriate integration in context with existing and anticipated adjacent developments and are consistent with applicable development standards.

ENVIRONMENTAL DETERMINATION

The Project has been evaluated pursuant to the California Environmental Quality Act (CEQA), and it has been determined that the Agreement is exempt pursuant to CEQA Guidelines 15302 and 15303 because it will allow for the replacement or reconstruction of existing structures and the new construction or conversion of small structures. See Attachment 3 for the Notice of Exemption.

ATTACHMENTS

1. Resolution
Attachment 1: Ordinance
Development Agreement
Exhibit A: Relocation Agreement
Exhibits B-D: Three billboard location plans, and renderings and legal descriptions
2. Vicinity Map
3. Notice of Exemption

BILLBOARD RELOCATION AGREEMENT

THIS BILLBOARD RELOCATION AGREEMENT (“the Agreement”) is entered into as of this 20th day of December, 2022, ~~2023~~ (the “Effective Date”), by and between the CITY OF MURRIETA, a public body, corporate and politic (“City”), and LAMAR CENTRAL OUTDOOR, LLC, a Delaware limited liability company (“Lamar”). Hereafter City and Lamar are sometimes referred to as “Party” or collectively as “Parties.”

RECITALS

WHEREAS, Lamar owns and operates legal non-conforming billboard advertising structures within the city limits of City (each a “Billboard” and collectively the “Billboards”);

WHEREAS, the California Outdoor Advertising Act, Business and Professions Code, Section 5200, *et. seq.* (in particular Bus. & Prof. Code Section 5412), encourages local entities and display owners to enter into relocation agreements which allow local entities to continue development in a planned manner without expenditure of public funds while allowing the continued maintenance of private investment and a medium of public communications;

WHEREAS, the California Outdoor Advertising Act (in particular Bus. & Prof. Code Section 5412) specifically empowers, and encourages, local agencies to enter into relocation agreements on whatever terms are agreeable to the City and display owners and to adopt ordinances and resolutions providing for relocation of displays;

WHEREAS, the City has previously approved a Relocation Agreement dated April 15, 1997, a copy of which is attached hereto as Exhibit “A”, which authorized the removal and replacement of one of Lamar’s Billboards previously owned by Outdoor Media Group, Inc. (the “Old Billboard”) for a more modernized “aesthetically pleasing” structure, which has not yet been replaced;

WHEREAS, the City of Temecula, in cooperation with the California Department of Transportation (Caltrans), filed a Complaint in Eminent Domain per Riverside County Superior Court Case No. CVSW2200256 to condemn the interests of the Old Billboard, which lies within the I-15/French Valley Parkway Improvements Project. Lamar and the City of Temecula entered a settlement agreement whereby the City of Temecula would expend public funds to compensate Lamar for all dismantle costs, rebuilding costs and lost rent associated with the removal of the Old Billboard;

WHEREAS, the City has the opportunity and ability to prevent the unnecessary expenditure of public condemnation funds for the removal of the Old Billboard by permitting Lamar to relocate it outside the parameters of the I-15/French Valley Parkway Improvements Project;

WHEREAS, the City wishes to prevent the unnecessary expenditure of public condemnation funds while upholding its previous commitment to modernize the Old Billboard;

WHEREAS, the City further desires to reduce the number of Billboards within the City thereby diminishing visual clutter and improving the aesthetic appearance of the City;

WHEREAS, this Agreement relates to eight (8) Billboards in the City:

- (A) the permanent removal of three (3) Billboards;
- (B) the right to construct and erect one (1) of those removed Billboards on relocated property;
- (C) the right to reconstruct three (3) Billboards in order to remove old, obsolete displays and allow for modernized displays; and
- (D) the right to relocate and reconstruct the Old Billboard, which has not been completed after it was authorized in the Relocation Agreement dated April 15, 1997.

WHEREAS, Section 16.38.150 of the City Municipal Code allows and encourages the relocation and reconstruction of existing Billboards upon approval of a Billboard Relocation Agreement and upon compliance with the provisions therein;

WHEREAS, the City and Lamar now wish to enter into this Agreement to memorialize the terms and conditions upon which Lamar will have the right to relocate and reconstruct certain of its legally existing Billboards.

OPERATIVE PROVISIONS

NOW, THEREFORE, in consideration of the foregoing Recitals, which Recitals are incorporated herein by reference, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and consideration of the mutual covenants set forth herein, the Parties hereby agree as follows:

1. Term of Agreement. Unless terminated earlier as provided in this Agreement, this Agreement shall continue in full force and effect for so long as any obligation is owed by either Party pursuant to the terms of this Agreement.

2. Existing Billboard Removal.

a. Permanent Removal of Existing Billboards. In exchange for the ability to develop the 215/Keller Billboard and Reconstructed Billboards, identified below, Lamar shall permanently remove the three (3) existing Billboards identified in Exhibit "B" (the "Removed Billboards"). Each of the Removed Billboards currently holds the status of a legal non-conforming use as the term is defined by the City Development Code. Removal of the Removed Billboards identified in Exhibit B shall be in accordance with all applicable federal, state and local regulations. Lamar shall, at its sole cost and expense, secure all required permits necessary to remove the Removed Billboards, including but not limited to, the City's demolition permits.

b. Timing of Removal. Lamar shall remove the Removed Billboards on an ongoing basis as each Reconstructed Billboard receives its necessary approvals for development. Each removal shall take place within sixty (60) days of the Effective Date of each Reconstructed Billboard's Development Approvals, as described in Section 4a below. For purposes of this Section 2b, the term "Effective Date" means either: (1) the expiration of all administrative appeal

periods provided for by the City Development Code and applicable to City approval of City sign permits, or (2) if an appeal is filed, the date upon which either the Planning Commission and/or City Council approval becomes final. Notwithstanding the foregoing, Lamar shall not be entitled to commence construction and installation of the 215/Keller Billboard or Reconstructed Billboard(s) prior to the removal of all of the Removed Billboards. If Lamar has not obtained the Development Approvals for the Reconstructed Billboards, Lamar shall have no obligation to remove any of the Removed Billboards pursuant to the terms of this Agreement and the obligations of the Parties under this Agreement shall terminate and the Agreement shall be of no further force and effect.

3. Relocation and Reconstruction of Billboards.

a. 215/Keller Billboard. Upon the permanent removal of the Removed Billboards, Lamar shall be entitled to construct one (1) Billboard upon City-owned property located by the Interstate 215 Highway and Keller Road identified in Exhibit "C" (the "215/Keller Billboard"), the precise location of which shall be determined within the discretion of Lamar subject to City's reasonable approval for traffic safety. Lamar shall be entitled to construct the 215/Keller Billboard with a two-panel changeable message digital display. The 215/Keller Billboard shall be subject to the approval of a sign permit and Conditional Use Permit, as provided in Section 4b below, and a lease incorporating the revenue sharing provisions of Section 5 below.

Lamar acknowledges that a future freeway interchange is planned for Keller Road and Interstate 215. In the event that a regulatory authority condemns or takes any portion of the premises affecting Lamar's access, placement or the visibility of the 215/Keller Billboard, City agrees to allow Lamar to relocate the 215/Keller Billboard to another location in the same area or to an alternative location determined by the Parties at that time. City agrees that any damages relating to the 215/Keller Billboard paid for by the regulatory authority, including the costs of relocation, will be awarded to Lamar.

b. Reconstructed Billboards. Upon the permanent removal of the Removed Billboards, Lamar shall also be entitled to reconstruct three (3) existing Billboards upon private property, more specifically described and depicted in Exhibit "D," (the "Reconstructed Billboards"). Each of the Reconstructed Billboards currently holds the status of a legal non-conforming use as the term is defined by the City Development Code. Lamar shall be entitled to incorporate either single or double-sided changeable message digital displays into the Reconstructed Billboards. The Reconstructed Billboards shall be subject to the approval of a sign permit and a Development Agreement as provided in Section 4b below.

c. Old Billboard. Lamar shall be entitled to reconstruct the Old Billboard, which was originally approved for reconstruction in the Relocation Agreement dated April 15, 1997 (Exhibit A), at a nearby location outside of the I-15/French Valley Parkway Improvements Project to prevent the unnecessary expenditure of public condemnation funds. The reconstructed Old Billboard shall be a double-sided static Billboard. Lamar shall obtain all the necessary sign permits required for the construction of the Old Billboard, but will not be required to obtain a Conditional

Use Permit or Development Agreement. This Agreement supersedes the April 15, 1997 Relocation Agreement in its entirety, and the 1997 Agreement shall no longer have any effect.

d. Findings. The City Council has found that this Agreement is in the public interest of the City and its residents. Adopting this Agreement constitutes a present exercise of the City's police power, and this Agreement is consistent with the goals, objectives, purposes and provisions of the City's General Plan and the City of Murrieta Municipal Code. The proposed relocation sites are compatible with the uses and structures on the site and in the surrounding area. This Agreement is intended to achieve a number of the City's objectives including the reduction of visual clutter by reducing the number of overall billboards located within the City and the removal of old, obsolete displays to allow for modernized displays, thereby improving the City's appearance as a whole, without expenditure of public funds, while accommodating continued investment in the City and preservation of expectations of developers and property owners and the use of outdoor advertising as an important medium of communication. The proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard would not create a traffic or safety problem with regard to onsite access circulation or visibility, nor would they interfere with onsite parking or landscaping required by City ordinance or permit. Additionally, the proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard conceptual designs promote the character of the City. Finally, the City Council has found that the proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard would not otherwise result in a threat to the general health, safety and welfare of City residents.

4. Development Approvals.

a. Lamar shall, at its own expense, secure or cause to be secured all necessary permits and approvals, which may be required by all City, State, or any other governmental agency or utility affected by such construction, development or work to be performed by Lamar related to the Agreement, including, but not limited to, this Agreement and related staff reports and documents, sign permits, a Conditional Use Permit for the 215/Keller Billboard and Development Agreement for the Reconstructed Billboards, building and demolition permits, and all approvals required under CEQA and the State CEQA Guidelines, and all permits and approvals required from the California Department of Transportation ("Caltrans") (collectively "Development Approvals").

b. Within ninety (90) days of the approval of this Agreement, Lamar shall, at its sole cost and expense, submit sign permit application(s), a Conditional Use Permit application for the 215/Keller Billboard and Development Agreement applications for the Reconstructed Billboards, with accompanying fees, to the City Planning Department for the development of such billboards. Lamar's ability to construct and install the 215/Keller Billboard and Reconstructed Billboards are expressly conditioned upon City approval of a Conditional Use Permit or Development Agreement (as applicable), and subsequent approval of a sign permit. The foregoing applications shall include the written consent of the property owner. An application for a sign permit shall be accompanied by construction drawings reflecting the design detail of the proposed billboards. Upon receipt of an application for a sign permit submitted pursuant to this Agreement, the City Planning Director shall review the sign permit application to determine whether the design

of the proposed billboard(s) is substantially similar to the conceptual designs reflected in Exhibit “E” attached hereto and incorporated herein by this reference. Lamar acknowledges that, in addition to sign permits, Conditional Use Permit and Development Agreement, Lamar must obtain building permits from City prior to construction and installation of the 215/Keller Billboard and Reconstructed Billboards.

5. One-Time Payment and Revenue Sharing. As material consideration for City allowing Lamar to construct and operate the 215/Keller Billboard, the Reconstructed Billboards and the Old Billboard, Lamar shall pay the City a collective payment totaling One Million Dollars (\$1,000,000.00). The payment shall be made in four equal installments of Two-Hundred and Fifty Thousand Dollars (\$250,000.00). Each installment shall be paid to the City as each of the 215/Keller Billboard and the Reconstructed Billboards are fully operational (i.e., all the Billboards are not required to be operational before the first payment is due). Lamar shall also pay the City an annual fee equal to the greater of (i) One Hundred Thousand Dollars (\$100,000.00) or (ii) twenty-five percent (25%) of the annual gross advertising revenue generated by each of the 215/Keller Billboard and Reconstructed Billboards. The lease agreement and development agreement(s) negotiated between the Parties for these billboards shall provide that such revenue sharing shall constitute Lamar’s consideration under the agreements. The annual fee shall be further described in the applicable agreement.

6. City Hall Digital Monument. Lamar shall donate a City Hall Digital Monument (“Monument Sign”) with a digital display resolution pitch of 17mm or better and a display face not exceeding 250 square feet in a design as agreed upon by the Parties. Lamar shall have no duty to maintain, service, replace, repair, or otherwise care for the Monument Sign and cannot guaranty against any hardware or electrical malfunctions. City is solely responsible for the maintenance, service, replacement, repair and ultimate care of the Monument Sign.

7. Public Service Messages. As further consideration for the City’s Agreement to allow Lamar to develop the 215/Keller Billboard and Reconstructed Billboards, City shall be entitled to use of advertising space on the Signs on an “as available” basis; provided, however, that messages placed by City on the Signs must be limited to non-profit, public service messages (hereinafter “Public Service Messages”). The term Public Service Message shall expressly exclude any message advertising any business, company or event where such message would have a direct and tangible economic benefit to a private, for-profit company. The value of the Public Service Messages is estimated to be \$300,000 annually.

For all Public Service Messages, City shall be responsible for providing Lamar with the advertising copy. Lamar shall not be responsible for producing or substantially modifying any advertising copy for a Public Service Message, and shall have 48 hours after receipt and approval of advertising copy to display the Public Service Message.

8. Lamar’s Advertising Policy. The Parties acknowledge that public advertising is an important form of public communication. City desires to preserve this type of communication while preserving the character of the community and prevent exposure of its residents to advertising which City’s residents might find offensive. Accordingly, Lamar shall be prohibited

from displaying such offensive advertising material including, but not limited to, advertising for adult businesses, cabarets, strip clubs, lingerie, and cannabis products of any kind including CBD products.

9. Indemnity. Lamar, as a material part of the consideration to be rendered to City under this Agreement, shall indemnify City, its agents and employees and any successors or assigns to the City's rights under this Agreement (collectively "City Parties") and shall hold and save them and each of them harmless from any and all actions, suits, claims, damages to persons or property, losses, costs, penalties, obligations, errors, omissions or liabilities, (hereinafter "Indemnified Claims and Liabilities") that may be asserted or claimed by any person, firm or entity arising out of or in connection with the use and maintenance of the 215/Keller Billboard, Reconstructed Billboards or Old Billboard by Lamar, its officers, agents and employees (collectively "Lamar Parties"), but only to the extent any such Indemnified Claims and Liabilities arise from (a) the failure of Lamar to keep such billboards in good condition and repair, (b) the negligent acts or omissions of Lamar hereunder, or (c) Lamar's negligent performance of or failure to perform any term or covenant of this Agreement, and in connection with the foregoing indemnity:

- a. Lamar shall defend any action or actions filed in connection with any of said Indemnified Claims and Liabilities and will pay all costs and expenses, including legal costs and attorneys' fees incurred in connection therewith;
- b. Lamar shall promptly pay any judgment rendered against the City and the City Parties for any such Indemnified Claims and Liabilities; and Lamar shall save and hold City and City Parties harmless therefrom; and
- c. In the event City Parties are made a party to any action or proceeding filed or prosecuted against Lamar Parties for such Indemnified Claims and Liabilities, Lamar shall pay to City any and all costs and expenses incurred by City Parties in such action or proceeding, including but not limited to, legal costs and attorneys' fees.

Lamar and City further acknowledge that Lamar shall not indemnify City Parties for any Indemnified Claims and Liabilities caused by or arising out of the gross negligence or willful misconduct of City Parties.

10. General Provisions.

a. Assignment. Lamar may only assign or otherwise transfer this Agreement to any other person, firm, or entity upon presentation to the City of an assignment and assumption agreement in a form reasonably acceptable to the City Attorney and upon receipt of the City's written approval of such assignment or transfer by the City Manager; provided, however, that Lamar may, from time to time and one or more times, assign this Agreement to one or more persons or entities without the City's approval, but with written notice to the City, as long as Lamar, or entities owned or controlled by it, have and maintain at least a twenty-five percent (25%) ownership interest in such entities who are the assignees or transferees. After a transfer or assignment as permitted by this Section, the City shall look solely to such assignee or transferee for compliance with the provisions of this Agreement which have been assigned or transferred.

b. Waiver. The waiver by any Party of any breach of any term, covenant or condition herein contained shall not be deemed to be a waiver of any other term, covenant or condition, or of any subsequent breach of the same term, covenant or condition.

c. Notices. All notices and other communications required or permitted to be given hereunder shall be in writing and shall be sent by: (a) certified or registered mail, postage pre-paid, return receipt requested, (b) personal delivery, or (c) a recognized overnight carrier that provides proof of delivery, and shall be addressed as follows:

If to Lamar:

Lamar Central Outdoor, LLC
449 East Parkcenter Circle South
San Bernardino, CA 92408
Attention: Brian Smith

If to the City:

City of Murrieta
Attn: Planning Director
1 Town Square
Murrieta, CA 92562

With a Copy to:

Stream Kim Hicks Wrage & Alfaro, PC
Attn: Theodore Stream, Esq.
3403 Tenth Street, Suite 700
Riverside, CA 92501

With a Copy to:

City of Murrieta
Attn: City Manager
1 Town Square
Murrieta, CA 92562

Aleshire & Wynder, LLP
Attn: Tiffany J. Israel
18881 Von Karman Avenue
Suite 1700
Irvine, CA 92612

Notices shall be deemed effective upon receipt or rejection only.

d. Authority to Enter Agreement. All Parties have the requisite power and authority to execute, deliver and perform the Agreement. All Parties warrant that the individuals who have signed this Agreement have the legal power, right, and authority to bind each respective Party.

e. Amendment/Modification. No supplement, modification, or amendment of this Agreement shall be binding unless executed in writing and signed by all Parties.

f. Attorneys' Fees. In the event of litigation between the Parties arising out of this Agreement, the prevailing Party shall be entitled to recover its reasonable attorneys' fees and other costs and expenses incurred, including attorneys' fees on appeal, and all other reasonable costs and expenses for investigation of such action, including the conducting of discovery, in addition to whatever other relief to which it may be entitled.

g. Time is of the Essence. Time is of the essence of each and every provision of this Agreement.

h. Miscellaneous. This Agreement embodies the entire agreement between the Parties and supersedes any prior or contemporaneous understandings between the Parties related to the Agreement. If any provision of this Agreement is held to be invalid, the balance shall remain binding upon the Parties. This Agreement shall be interpreted in accordance with its plain meaning, and not in favor of or against either Party. This Agreement shall be construed according to the laws of the State of California.

i. Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed on the date set forth below.

“CITY”:

CITY OF MURRIETA

By:



Kim Summers, City Manager

ATTEST:

By: 

Cristal McDonald, City Clerk




APPROVED AS TO FORM:

By: 

Tiffany Israel, City Attorney

“LAMAR”

LAMAR CENTRAL OUTDOOR

By: 

By: C. Todd Porter

Its: Vice President and General Manager

EXHIBIT "A"
Relocation Agreement

RELOCATION AGREEMENT

This Relocation Agreement is entered into this 15th day of April, 1997 by and between the City of Murrieta ("the City"), a municipal corporation, and Outdoor Media Group, Inc. ("OMG"), a California corporation.

RECITALS

WHEREAS, OMG maintains an outdoor advertising display within the City at Assessor Parcel Number 910-060-004 (the "Old Billboard"), and the City feels that the Old Billboard is a detriment to the aesthetic quality of the City, and

WHEREAS, the Old Billboard is an unsightly wooden structure erected on eight wooden telephone poles and measuring 12' x 40', and

WHEREAS, the City desires that the Old Billboard be removed and replaced with more aesthetically pleasing steel monopoles, at no cost to the City, and

WHEREAS, OMG owns the rights to another outdoor advertising display under Permit No. 25 purchased from Carter Sign Company, and

WHEREAS, OMG is willing to remove the Old Billboard and relocate Permit No. 25 and to replace them with two steel monopole structures (14' x 48') pursuant to Business and Professions Codes 5412.

NOW, THEREFORE, IT IS MUTUALLY AGREED AS FOLLOWS:

1. OMG agrees to remove the Old Billboard from its present location and configuration. OMG also agrees to relocate its permits rights under Permit No. 25.
2. The City agrees to permit and recognize the erection by OMG of two double-faced outdoor advertising displays within the City, the first to be

-1-

EXHIBIT 1

located on Assessor's parcel Number 910-060-004 and the second on Assessor's Parcel Number 910-020-015.

3. OMG agrees to obtain all necessary building, grading and other permits generally applicable to the erection of outdoor advertising displays, and to abide by all other local, state and federal rules and regulations generally applicable to the erection and maintenance of outdoor advertising displays. The City agrees to immediately inspect the new billboards and advise OMG in writing of all permits which the City determines are necessary for OMG to obtain. The City further agrees to expeditiously process all paperwork necessary for the issuance of such permits, which will not be unreasonably denied.

4. OMG further agrees to provide the City at no charge, 1/2 of the South Face to be used for a period of 2 years. OMG further agrees to provide the City two free paints per year on the South Face. After the 2 years are up, OMG will provide the City at no charge a street advertisement structure to be used for civic functions and OMG will provide (2) banners per year at no charge to the City for a period of 10 years.

5. OMG further agrees that it will not display any advertisement for the sale of alcohol or tobacco related products on the billboards which are the subject of this Agreement.

6. The making, execution and delivery of this Agreement by the parties hereto has not been induced by any prior or contemporaneous representation, statement, warranty or agreement as to any matter other than those herein expressed. This Agreement embodies the entire understanding and agreement of the parties and there is no further or other agreement or understanding, written or oral, in effect between the parties relating to the subject matter hereof. All prior negotiations or agreements, if any, between the parties hereto, relating to the subject matter hereof are superseded by this Agreement. This Agreement may be amended or modified only by a written agreement.

-2-

signed by the parties hereto.

7. This Agreement shall inure to the benefit of and be binding upon the parties and their respective agents, successors, personal representatives and assigns. This agreement is prepared by the joint efforts of the parties hereto, and shall not be construed strictly in favor of or against either party, but shall be construed fairly in accordance with the laws of the State of California and for the purpose of giving effect to each provision herein.

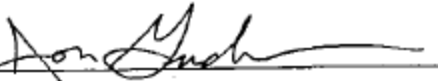
8. The parties agree to execute such additional documents and perform such further acts as may be reasonably necessary to effectuate the terms, provisions and intent of this Agreement.

9. This Agreement may be executed in two or more identical counterparts, each of which shall be deemed and original, but all of which taken together shall constitute one in the same agreement.

10. The parties hereto acknowledge that they have been represented in the above-recited matters, and with regard to the preparation and execution of this Agreement by attorneys. This Agreement has been fully explained to each party by its respective counsel. Each party hereto enters into the within Agreement with full knowledge and information as to the recitals herein contained, and with full and informed knowledge, consent and understanding of the terms and conditions of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

OUTDOOR MEDIA GROUP, INC.

By: 
Jon Gunderson, President

CITY OF MURRIETA

By: 
Mayor

ATTEST:

City Clerk



EXHIBIT 2

09/18/1996 15:33 90969898

MURRIETA ADMIN

PAGE 02

ORDINANCE NO. 164-96

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, AMENDING THE OFFICIAL ZONING MAP OF SAID CITY IN ZONE CHANGE CASE NO. 96-041, LOCATED ON THE WEST SIDE OF JACKSON AVENUE, APPROXIMATELY 1,180 FEET NORTH OF ELM STREET, CHANGING THE ZONE FROM RURAL RESIDENTIAL (R-R) TO BUSINESS PARK (B-P) AS ILLUSTRATED ON THE ATTACHED CITY OF MURRIETA ZONE CHANGE MAP (EXHIBIT 1); FILED BY OUTDOOR MEDIA GROUP

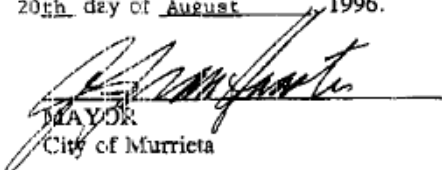
The City Council of the City of Murrieta does ordain as follows:

Section 1.1: The City of Murrieta Official Zoning, is amended by placing in effect the zone as shown on the attached map entitled Exhibit 1 (included herein by reference), Change of Official Zoning, City of Murrieta, referenced as Zone Change Case No. 96-041.

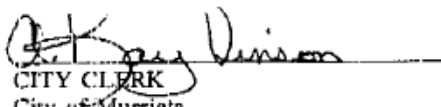
Section 2.1: The zoning shall become Business Park (B-P) for the land use development in the area contained on Exhibit 1 and development decisions shall be based on the I-P (Industrial Park) standards and criteria contained in Ordinance No. 348, Article X of the County of Riverside, as incorporated and adopted by Ordinance of the City of Murrieta, and as amended thereafter from time to time by the City Council of the City of Murrieta, unless those standards are in conflict with the General Plan in which case the General Plan shall prevail.

Section 3.1: The City Clerk shall certify to the adoption of this ordinance and shall publish a summary of this ordinance and post a certified copy of the full ordinance in the office of the City Clerk at least five days prior to the adoption of the proposed ordinance; and within fifteen days after adoption of the ordinance, the City Clerk shall publish a summary of the ordinance with the names of the Council members voting for and against the ordinance. This ordinance shall take effect thirty days after the date of its adoption.

ADOPTED by the City Council and signed by the Mayor and attested by the City Clerk this 20th day of August, 1996.


MAYOR
City of Murrieta

ATTEST:


CITY CLERK
City of Murrieta

APPROVED AS TO FORM:


CITY ATTORNEY

09/10/1996 16:33 90969898

MURRIETA ADMIN

PAGE 03

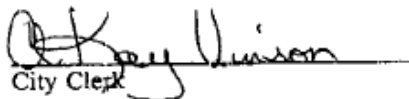
City Council Meeting
Zone Change No. 96-041
August 20, 1996
Page 2

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, hereby certify that the foregoing ordinance was duly and regularly introduced at a meeting of the City Council on the 6th day of August, 1996, and that thereafter the said ordinance was duly adopted at a regular meeting of the City Council on the 20th day of August, 1996, by the following vote, to-wit:

AYES: G. Smith, Walsh, Washington, and van Haaster
NOES: None
ABSENT: Enochs
ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and official seal of the City of Murrieta, California this 20th day of August, 1996.

(Seal)


City Clerk

PH-2

CITY OF MURRIETA



STAFF REPORT

PLANNING DEPARTMENT

CASE: Zone Change No. 96-041

REQUEST: To change the zoning on a 3.77 gross acre site from R-R (Rural-Residential) to B-P (Business Park).

APPLICANT: Outdoor Media Group

MEETING DATE: July 10, 1996

LOCATION: On the west side of Jackson Avenue, approximately 1,180 feet north of Elm Street.

CASE PLANNER: Patti Nahill

RECOMMENDATION: That the Planning Commission recommend to the City Council adoption of the Negative Declaration, adoption of De Minimis Impact Findings, and approval of Zone Change No. 96-041 based on the findings contained in the staff report.

STAFF RECOMMENDATIONS:

That the Planning Commission recommend to the City Council:

1. **ADOPTION** of the Negative Declaration for Zone Change No. 96-041 based on the findings that the project will not have an adverse impact on the environment; and,
2. **ADOPTION** of De Minimis Impact Findings that considering the record as a whole, there is no evidence that the proposed project will have the potential for adverse effect on wildlife resources or the habitat upon which the wildlife depends; and,
3. **APPROVAL** of Zone Change No. 96-041, based on the findings contained in the staff report; and,
4. **INTRODUCTION** of an ordinance to amend the official zoning map.

BACKGROUND INFORMATION:

- | A. | General Plan
Land Use Designation | Existing
Zoning | Existing
Land Use |
|--------|--------------------------------------|--------------------|--|
| Site: | Business Park | R-R | Single family residence with accessory structures, storage, a billboard and a communication facility |
| North: | Business Park | R-R & C-P-S | Vacant land and a highway storage facility |
| South: | Business Park | R-R | Single family residence and billboards |
| East: | Business Park | I-P | Vacant land and a sand/gravel operation |
| West: | Business Park & I-15 | R-R | Vacant land and Interstate 15 |
- B. SITE CHARACTERISTICS:** The site is located on the west side of Jackson Ave., approximately 1,180 feet north of Elm Street. The topography of the site is varied between rolling hills and dales. At the top of a northerly knoll, a single family residence exists in addition to an older wooden outdoor advertising display structure. Miscellaneous storage, structures from a non-functioning agricultural operation and a newly constructed communication facility are located in the area south of the existing residence.
- C. STREET CIRCULATION PLAN:** Jackson Avenue's existing right-of-way is 60 feet with future right-of-way expansion proposed to 100 feet.
- D. ENVIRONMENTAL DETERMINATION:** An Initial Study has been prepared pursuant to Section 15063 of the California Environmental Quality Act (CEQA) and a Negative Declaration has been proposed for adoption on this project.
- E. PREVIOUS APPROVALS/SPECIAL CIRCUMSTANCES:** Outdoor Advertising Display Permit No. 37 was approved by the Riverside County on 3/16/67. Plot Plan 95-

Planning Commission
 Zone Change No. 96-041
 July 10, 1996
 Page 3

034 to permit AirTouch Cellular to erect a 106 foot monopole and 12 foot by 30 foot equipment shed on the site was approved by the Planning Commission on 11/29/95.

PROJECT DESCRIPTION:

The project proponent, Outdoor Media Group, is requesting to change the zoning designation from R-R (Rural-Residential) to B-P (Business Park) of three individual parcels consisting of 3.77 gross acres. No development plans have been submitted as part of this proposal, however, public facilities expansion may be necessary with a specific development application.

ANALYSIS:

1. **General Plan Consistency:** The requested change is consistent with the General Plan land use district designation of Business Park. The General Plan envisions the area on the east side of Interstate 15, north of Elm Street transitioning over time into an area which will allow light manufacturing, fabrication, material processing, and assembly, providing that the uses are conducted in a controlled setting where all operations will be performed inside structures. Specifically, the General Plan identifies the following policies for development within the Business Park land use designation:

Policy LU-1.4a	All manufacturing activities in the Business Park designation will be conducted within enclosed buildings with a limited amount of outdoor storage allowed only on a case by case basis under special review. Outdoor storage will be screened from public view with walls, berms, and landscaping.
Policy LU-1.4b	Research and development activities are encouraged in the Business Park designation, as well as regional home offices of manufacturing businesses. Ancillary retail uses may be permitted.
Policy LU-1.4f	All Business Park activities will be buffered from residential uses. Setbacks, landscaping, berms, screening walls and other techniques will be used to transition from industrial to residential uses. Where a Business Park lot fronts on two streets (a through lot), and one street frontage adjoins residential while the other frontage adjoins industrial, access shall be prohibited onto the residential fronting street.
Policy LU-1.4g	All industrial development shall be consistent with the intensity limits established in the General Plan. Any adopted design guidelines, impact fees, or other City regulation for an industrial site must be complied with.
2. **Zoning Consistency:** The City Council adopted Resolution 96-430 to address zone changes which precede adoption of the City's Development Code. The determination was made that until such time that the City adopts a Development Code that is in conformance with the General Plan, development decisions shall be based upon the

General Plan land use designations and policies, and not the existing Riverside County recognized zoning classifications. A matrix was established to identify which County classifications would relate to Murrieta's land use designations. For this particular application, the two designations would be B-P (Business Park) under the City of Murrieta and I-P (Industrial Park) as the County's identifier. The resolution went further to state that development decisions shall be based on the standards contained within Ordinance No. 348 unless those standards are in conflict with General Plan provisions. Therefore in this instance, any development application for the proposed site would be reviewed against Article X of Ordinance No. 348 which enumerates the regulations that apply to the Industrial Park zone classification.

3. **Site Development:** The proposal to change the zoning from residential to industrial will not cause any existing legal structures on-site to be displaced, however their status will be affected. Any zone change action for approval will result in a status change to nonconforming. Ordinance No. 348, Section 18.8 permits any nonconforming structure or use to be continued and maintained, provided there are no structural alterations. Further, if any part of a structure or land occupied by a nonconforming use is discontinued for one year or more, the land shall thereafter be used in conformance with the provisions of the industrial classification and the residential nonconforming right shall be forfeited.
4. **Comments Received:** The City of Temecula responded to a request for comments in a letter dated May 28, 1996. In their correspondence, they questioned whether the application was a speculative zone change or if there was an accompanying development plan. They went on to note that the applicant's name is Outdoor Media Group which suggests that the intended use will be for some form of outdoor advertising. If this is the case, the City of Temecula states they would be in opposition to the change of zone since the location is at the gateway to the City of Temecula. They also noted that the proposed change of zone is in an area that is not served by adequate circulation and other basic services regarded as necessary for business development. They closed their letter, "In summary there seems to be no compelling need for the proposed action."

The application in question is for a change in the zone classification. There were no accompanying development plans submitted as part of this application request. Any future development request will be conditioned to provide adequate provisions for circulation, utilities and other public services. The applicant is Outdoor Media Group on behalf of Dortha Tiss and Pauline Brown, co-owners of the subject parcels. Any application for a new outdoor advertising display will be subject to the Conditional Use Permit process and shall required to be in conformance with Section 19.3 of Ordinance No. 348 which regulates outdoor advertising displays. One particular subsection of note is that the location of outdoor advertising displays shall be permitted only on properties

Planning Commission
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 July 10, 1996
 Page 5

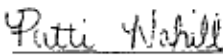
abutting the freeway. None of the three subject parcels abut the freeway. The only permissible deviation from this standard can be evaluated under the context of a relocation agreement of an existing legally permitted structure.

5. **Environmental Determination:** An Initial Study has been prepared by staff and has found that no significant environmental impacts will occur as a result of the proposed consistency zoning request, therefore, a Negative Declaration is proposed for adoption. The Notice of Intent to File a Negative Declaration was advertised and available for public review from June 3 to June 24, 1996. To date, no comments have been received regarding the initial study assessment.


CONCLUSIONS:

The proposed zone change is consistent with the General Plan and any future development will be required to be consistent with the development policies stated within the General Plan and Article X of Ordinance No. 348. The General Plan EIR and the initial study did not identify any environmental impacts that could not be sufficiently mitigated at the time of site development. Therefore, staff is recommending that the Planning Commission recommend to the City Council approval of Zone Change No. 96-041 based on the findings attached herein.

Prepared By:


 Patti Nahill, AICP
 Associate Planner

Approved By:


 Brad L. Kilger, AICP
 Economic and Community Development Director

ATTACHMENTS:

1. Findings for Zone Change No. 96-041
2. De Minimis Impact Findings
3. Draft City Council Ordinance
4. Existing Land Use\General Plan Land Use\Zoning Map
5. Initial Study
6. Negative Declaration

**FINDINGS FOR APPROVAL OF
ZONE CHANGE NO. 96-041
JULY 10, 1996**

Based upon the hearing evidence, all written and oral testimony, and documents and exhibits which are contained in the staff report for the above referenced case, the Planning Commission finds as follows:

1. The proposed project is consistent with the General Plan.

FACTS: The applicant's request to change the designation from R-R (Rural Residential) to B-P (Business Park) is consistent with the designation of Business Park identified through the General Plan review process as an appropriate use adjacent to the freeway and based on the existing transitioning development pattern.

2. The proposed project is consistent with the Zoning Ordinance 348 and all other applicable requirements of local ordinances and state law.

FACTS: The zone change application does not propose any physical site changes. All future projects shall meet all applicable development standards including, but not limited to, setbacks, access, circulation, parking, lighting, and landscaping of the I-P (Industrial Park) Zoning District and the applicable development policies of the General Plan.

3. The proposed zone change is compatible with and complimentary to the permitted uses in the same neighborhood.

FACTS: The area is in a stage of transition between lower density residential uses with a variety of ancillary uses to a more traditional manufacturing and material processing land use pattern. The General Plan proposes future upgrades to Jackson Avenue which will facilitate development of higher intensive uses within this area. The zone change will compliment the existing pattern that has been occurred on the subject parcels.

4. The proposed project will not adversely affect the public health, safety, and welfare, nor be materially detrimental to the use, enjoyment, or valuation of persons or other property in the surrounding area because it is required to comply with applicable health and zoning codes.

FACTS: The requested zone change to industrial will not in and of itself create any adverse impacts to affect the public health, safety and welfare of the surrounding property owners. All future development plans will be required to comply with all applicable health, building and zoning codes.

Attachment 1

ADDENDUM

OUTDOOR MEDIA GROUP will pay all fees associated with zone change on the subject property including city filing fees, and the hiring of Markham and Associates to do the necessary engineering work

Land rent will start September 1, 1996. The sign structure on the property will become the property of OUTDOOR MEDIA GROUP.

Jon Linder
Brother Liss

14-57
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EXHIBIT “B”
Removed Billboards

Sign No.	Board Lease No.	Display Nos.	Location
1	5052	70521 /70522	I-15 EL .2mi N/O 215 Overpass APN: 910-390-021
2	5054	70541/70542	I-15 EL .3mi N/O 215 Overpass APN 910-390-021
3	3361	33613/33614	I-15 WL 1.35mi N/O Winchester APN: 910-210-050.

EXHIBIT “C”
215/Keller Billboard

No.	Location
1.	Corner of Keller Rd and Antelope Rd. APN: 384-220-001

EXHIBIT “D”
Reconstructed Billboards

Sign No.	Board Lease No.	Display Nos.	Location
1	3331	33311/33312	I-15 WL 1.2 Mi N/O Winchester APN: 910-210-055
2	3333	33331/33332	I-15 & 215 EL S/O Overpass APN: 910-020-077
3	5058	70581/70582	I-15 E/L 1.5 mi N/O Winchester APN: 910-060-009

EXHIBIT “E”
Conceptual Billboard Designs





BILLBOARD RELOCATION AGREEMENT

THIS BILLBOARD RELOCATION AGREEMENT (“the Agreement”) is entered into as of this 20th day of December, 2022, ~~2023~~ (the “Effective Date”), by and between the CITY OF MURRIETA, a public body, corporate and politic (“City”), and LAMAR CENTRAL OUTDOOR, LLC, a Delaware limited liability company (“Lamar”). Hereafter City and Lamar are sometimes referred to as “Party” or collectively as “Parties.”

RECITALS

WHEREAS, Lamar owns and operates legal non-conforming billboard advertising structures within the city limits of City (each a “Billboard” and collectively the “Billboards”);

WHEREAS, the California Outdoor Advertising Act, Business and Professions Code, Section 5200, *et. seq.* (in particular Bus. & Prof. Code Section 5412), encourages local entities and display owners to enter into relocation agreements which allow local entities to continue development in a planned manner without expenditure of public funds while allowing the continued maintenance of private investment and a medium of public communications;

WHEREAS, the California Outdoor Advertising Act (in particular Bus. & Prof. Code Section 5412) specifically empowers, and encourages, local agencies to enter into relocation agreements on whatever terms are agreeable to the City and display owners and to adopt ordinances and resolutions providing for relocation of displays;

WHEREAS, the City has previously approved a Relocation Agreement dated April 15, 1997, a copy of which is attached hereto as Exhibit “A”, which authorized the removal and replacement of one of Lamar’s Billboards previously owned by Outdoor Media Group, Inc. (the “Old Billboard”) for a more modernized “aesthetically pleasing” structure, which has not yet been replaced;

WHEREAS, the City of Temecula, in cooperation with the California Department of Transportation (Caltrans), filed a Complaint in Eminent Domain per Riverside County Superior Court Case No. CVSW2200256 to condemn the interests of the Old Billboard, which lies within the I-15/French Valley Parkway Improvements Project. Lamar and the City of Temecula entered a settlement agreement whereby the City of Temecula would expend public funds to compensate Lamar for all dismantle costs, rebuilding costs and lost rent associated with the removal of the Old Billboard;

WHEREAS, the City has the opportunity and ability to prevent the unnecessary expenditure of public condemnation funds for the removal of the Old Billboard by permitting Lamar to relocate it outside the parameters of the I-15/French Valley Parkway Improvements Project;

WHEREAS, the City wishes to prevent the unnecessary expenditure of public condemnation funds while upholding its previous commitment to modernize the Old Billboard;

WHEREAS, the City further desires to reduce the number of Billboards within the City thereby diminishing visual clutter and improving the aesthetic appearance of the City;

WHEREAS, this Agreement relates to eight (8) Billboards in the City:

- (A) the permanent removal of three (3) Billboards;
- (B) the right to construct and erect one (1) of those removed Billboards on relocated property;
- (C) the right to reconstruct three (3) Billboards in order to remove old, obsolete displays and allow for modernized displays; and
- (D) the right to relocate and reconstruct the Old Billboard, which has not been completed after it was authorized in the Relocation Agreement dated April 15, 1997.

WHEREAS, Section 16.38.150 of the City Municipal Code allows and encourages the relocation and reconstruction of existing Billboards upon approval of a Billboard Relocation Agreement and upon compliance with the provisions therein;

WHEREAS, the City and Lamar now wish to enter into this Agreement to memorialize the terms and conditions upon which Lamar will have the right to relocate and reconstruct certain of its legally existing Billboards.

OPERATIVE PROVISIONS

NOW, THEREFORE, in consideration of the foregoing Recitals, which Recitals are incorporated herein by reference, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and consideration of the mutual covenants set forth herein, the Parties hereby agree as follows:

1. Term of Agreement. Unless terminated earlier as provided in this Agreement, this Agreement shall continue in full force and effect for so long as any obligation is owed by either Party pursuant to the terms of this Agreement.

2. Existing Billboard Removal.

a. Permanent Removal of Existing Billboards. In exchange for the ability to develop the 215/Keller Billboard and Reconstructed Billboards, identified below, Lamar shall permanently remove the three (3) existing Billboards identified in Exhibit "B" (the "Removed Billboards"). Each of the Removed Billboards currently holds the status of a legal non-conforming use as the term is defined by the City Development Code. Removal of the Removed Billboards identified in Exhibit B shall be in accordance with all applicable federal, state and local regulations. Lamar shall, at its sole cost and expense, secure all required permits necessary to remove the Removed Billboards, including but not limited to, the City's demolition permits.

b. Timing of Removal. Lamar shall remove the Removed Billboards on an ongoing basis as each Reconstructed Billboard receives its necessary approvals for development. Each removal shall take place within sixty (60) days of the Effective Date of each Reconstructed Billboard's Development Approvals, as described in Section 4a below. For purposes of this Section 2b, the term "Effective Date" means either: (1) the expiration of all administrative appeal

periods provided for by the City Development Code and applicable to City approval of City sign permits, or (2) if an appeal is filed, the date upon which either the Planning Commission and/or City Council approval becomes final. Notwithstanding the foregoing, Lamar shall not be entitled to commence construction and installation of the 215/Keller Billboard or Reconstructed Billboard(s) prior to the removal of all of the Removed Billboards. If Lamar has not obtained the Development Approvals for the Reconstructed Billboards, Lamar shall have no obligation to remove any of the Removed Billboards pursuant to the terms of this Agreement and the obligations of the Parties under this Agreement shall terminate and the Agreement shall be of no further force and effect.

3. Relocation and Reconstruction of Billboards.

a. 215/Keller Billboard. Upon the permanent removal of the Removed Billboards, Lamar shall be entitled to construct one (1) Billboard upon City-owned property located by the Interstate 215 Highway and Keller Road identified in Exhibit "C" (the "215/Keller Billboard"), the precise location of which shall be determined within the discretion of Lamar subject to City's reasonable approval for traffic safety. Lamar shall be entitled to construct the 215/Keller Billboard with a two-panel changeable message digital display. The 215/Keller Billboard shall be subject to the approval of a sign permit and Conditional Use Permit, as provided in Section 4b below, and a lease incorporating the revenue sharing provisions of Section 5 below.

Lamar acknowledges that a future freeway interchange is planned for Keller Road and Interstate 215. In the event that a regulatory authority condemns or takes any portion of the premises affecting Lamar's access, placement or the visibility of the 215/Keller Billboard, City agrees to allow Lamar to relocate the 215/Keller Billboard to another location in the same area or to an alternative location determined by the Parties at that time. City agrees that any damages relating to the 215/Keller Billboard paid for by the regulatory authority, including the costs of relocation, will be awarded to Lamar.

b. Reconstructed Billboards. Upon the permanent removal of the Removed Billboards, Lamar shall also be entitled to reconstruct three (3) existing Billboards upon private property, more specifically described and depicted in Exhibit "D," (the "Reconstructed Billboards"). Each of the Reconstructed Billboards currently holds the status of a legal non-conforming use as the term is defined by the City Development Code. Lamar shall be entitled to incorporate either single or double-sided changeable message digital displays into the Reconstructed Billboards. The Reconstructed Billboards shall be subject to the approval of a sign permit and a Development Agreement as provided in Section 4b below.

c. Old Billboard. Lamar shall be entitled to reconstruct the Old Billboard, which was originally approved for reconstruction in the Relocation Agreement dated April 15, 1997 (Exhibit A), at a nearby location outside of the I-15/French Valley Parkway Improvements Project to prevent the unnecessary expenditure of public condemnation funds. The reconstructed Old Billboard shall be a double-sided static Billboard. Lamar shall obtain all the necessary sign permits required for the construction of the Old Billboard, but will not be required to obtain a Conditional

Use Permit or Development Agreement. This Agreement supersedes the April 15, 1997 Relocation Agreement in its entirety, and the 1997 Agreement shall no longer have any effect.

d. Findings. The City Council has found that this Agreement is in the public interest of the City and its residents. Adopting this Agreement constitutes a present exercise of the City's police power, and this Agreement is consistent with the goals, objectives, purposes and provisions of the City's General Plan and the City of Murrieta Municipal Code. The proposed relocation sites are compatible with the uses and structures on the site and in the surrounding area. This Agreement is intended to achieve a number of the City's objectives including the reduction of visual clutter by reducing the number of overall billboards located within the City and the removal of old, obsolete displays to allow for modernized displays, thereby improving the City's appearance as a whole, without expenditure of public funds, while accommodating continued investment in the City and preservation of expectations of developers and property owners and the use of outdoor advertising as an important medium of communication. The proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard would not create a traffic or safety problem with regard to onsite access circulation or visibility, nor would they interfere with onsite parking or landscaping required by City ordinance or permit. Additionally, the proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard conceptual designs promote the character of the City. Finally, the City Council has found that the proposed 215/Keller Billboard, Reconstructed Billboards and Old Billboard would not otherwise result in a threat to the general health, safety and welfare of City residents.

4. Development Approvals.

a. Lamar shall, at its own expense, secure or cause to be secured all necessary permits and approvals, which may be required by all City, State, or any other governmental agency or utility affected by such construction, development or work to be performed by Lamar related to the Agreement, including, but not limited to, this Agreement and related staff reports and documents, sign permits, a Conditional Use Permit for the 215/Keller Billboard and Development Agreement for the Reconstructed Billboards, building and demolition permits, and all approvals required under CEQA and the State CEQA Guidelines, and all permits and approvals required from the California Department of Transportation ("Caltrans") (collectively "Development Approvals").

b. Within ninety (90) days of the approval of this Agreement, Lamar shall, at its sole cost and expense, submit sign permit application(s), a Conditional Use Permit application for the 215/Keller Billboard and Development Agreement applications for the Reconstructed Billboards, with accompanying fees, to the City Planning Department for the development of such billboards. Lamar's ability to construct and install the 215/Keller Billboard and Reconstructed Billboards are expressly conditioned upon City approval of a Conditional Use Permit or Development Agreement (as applicable), and subsequent approval of a sign permit. The foregoing applications shall include the written consent of the property owner. An application for a sign permit shall be accompanied by construction drawings reflecting the design detail of the proposed billboards. Upon receipt of an application for a sign permit submitted pursuant to this Agreement, the City Planning Director shall review the sign permit application to determine whether the design

of the proposed billboard(s) is substantially similar to the conceptual designs reflected in Exhibit “E” attached hereto and incorporated herein by this reference. Lamar acknowledges that, in addition to sign permits, Conditional Use Permit and Development Agreement, Lamar must obtain building permits from City prior to construction and installation of the 215/Keller Billboard and Reconstructed Billboards.

5. One-Time Payment and Revenue Sharing. As material consideration for City allowing Lamar to construct and operate the 215/Keller Billboard, the Reconstructed Billboards and the Old Billboard, Lamar shall pay the City a collective payment totaling One Million Dollars (\$1,000,000.00). The payment shall be made in four equal installments of Two-Hundred and Fifty Thousand Dollars (\$250,000.00). Each installment shall be paid to the City as each of the 215/Keller Billboard and the Reconstructed Billboards are fully operational (i.e., all the Billboards are not required to be operational before the first payment is due). Lamar shall also pay the City an annual fee equal to the greater of (i) One Hundred Thousand Dollars (\$100,000.00) or (ii) twenty-five percent (25%) of the annual gross advertising revenue generated by each of the 215/Keller Billboard and Reconstructed Billboards. The lease agreement and development agreement(s) negotiated between the Parties for these billboards shall provide that such revenue sharing shall constitute Lamar’s consideration under the agreements. The annual fee shall be further described in the applicable agreement.

6. City Hall Digital Monument. Lamar shall donate a City Hall Digital Monument (“Monument Sign”) with a digital display resolution pitch of 17mm or better and a display face not exceeding 250 square feet in a design as agreed upon by the Parties. Lamar shall have no duty to maintain, service, replace, repair, or otherwise care for the Monument Sign and cannot guaranty against any hardware or electrical malfunctions. City is solely responsible for the maintenance, service, replacement, repair and ultimate care of the Monument Sign.

7. Public Service Messages. As further consideration for the City’s Agreement to allow Lamar to develop the 215/Keller Billboard and Reconstructed Billboards, City shall be entitled to use of advertising space on the Signs on an “as available” basis; provided, however, that messages placed by City on the Signs must be limited to non-profit, public service messages (hereinafter “Public Service Messages”). The term Public Service Message shall expressly exclude any message advertising any business, company or event where such message would have a direct and tangible economic benefit to a private, for-profit company. The value of the Public Service Messages is estimated to be \$300,000 annually.

For all Public Service Messages, City shall be responsible for providing Lamar with the advertising copy. Lamar shall not be responsible for producing or substantially modifying any advertising copy for a Public Service Message, and shall have 48 hours after receipt and approval of advertising copy to display the Public Service Message.

8. Lamar’s Advertising Policy. The Parties acknowledge that public advertising is an important form of public communication. City desires to preserve this type of communication while preserving the character of the community and prevent exposure of its residents to advertising which City’s residents might find offensive. Accordingly, Lamar shall be prohibited

from displaying such offensive advertising material including, but not limited to, advertising for adult businesses, cabarets, strip clubs, lingerie, and cannabis products of any kind including CBD products.

9. Indemnity. Lamar, as a material part of the consideration to be rendered to City under this Agreement, shall indemnify City, its agents and employees and any successors or assigns to the City's rights under this Agreement (collectively "City Parties") and shall hold and save them and each of them harmless from any and all actions, suits, claims, damages to persons or property, losses, costs, penalties, obligations, errors, omissions or liabilities, (hereinafter "Indemnified Claims and Liabilities") that may be asserted or claimed by any person, firm or entity arising out of or in connection with the use and maintenance of the 215/Keller Billboard, Reconstructed Billboards or Old Billboard by Lamar, its officers, agents and employees (collectively "Lamar Parties"), but only to the extent any such Indemnified Claims and Liabilities arise from (a) the failure of Lamar to keep such billboards in good condition and repair, (b) the negligent acts or omissions of Lamar hereunder, or (c) Lamar's negligent performance of or failure to perform any term or covenant of this Agreement, and in connection with the foregoing indemnity:

- a. Lamar shall defend any action or actions filed in connection with any of said Indemnified Claims and Liabilities and will pay all costs and expenses, including legal costs and attorneys' fees incurred in connection therewith;
- b. Lamar shall promptly pay any judgment rendered against the City and the City Parties for any such Indemnified Claims and Liabilities; and Lamar shall save and hold City and City Parties harmless therefrom; and
- c. In the event City Parties are made a party to any action or proceeding filed or prosecuted against Lamar Parties for such Indemnified Claims and Liabilities, Lamar shall pay to City any and all costs and expenses incurred by City Parties in such action or proceeding, including but not limited to, legal costs and attorneys' fees.

Lamar and City further acknowledge that Lamar shall not indemnify City Parties for any Indemnified Claims and Liabilities caused by or arising out of the gross negligence or willful misconduct of City Parties.

10. General Provisions.

a. Assignment. Lamar may only assign or otherwise transfer this Agreement to any other person, firm, or entity upon presentation to the City of an assignment and assumption agreement in a form reasonably acceptable to the City Attorney and upon receipt of the City's written approval of such assignment or transfer by the City Manager; provided, however, that Lamar may, from time to time and one or more times, assign this Agreement to one or more persons or entities without the City's approval, but with written notice to the City, as long as Lamar, or entities owned or controlled by it, have and maintain at least a twenty-five percent (25%) ownership interest in such entities who are the assignees or transferees. After a transfer or assignment as permitted by this Section, the City shall look solely to such assignee or transferee for compliance with the provisions of this Agreement which have been assigned or transferred.

b. Waiver. The waiver by any Party of any breach of any term, covenant or condition herein contained shall not be deemed to be a waiver of any other term, covenant or condition, or of any subsequent breach of the same term, covenant or condition.

c. Notices. All notices and other communications required or permitted to be given hereunder shall be in writing and shall be sent by: (a) certified or registered mail, postage pre-paid, return receipt requested, (b) personal delivery, or (c) a recognized overnight carrier that provides proof of delivery, and shall be addressed as follows:

If to Lamar:

Lamar Central Outdoor, LLC
449 East Parkcenter Circle South
San Bernardino, CA 92408
Attention: Brian Smith

If to the City:

City of Murrieta
Attn: Planning Director
1 Town Square
Murrieta, CA 92562

With a Copy to:

Stream Kim Hicks Wrage & Alfaro, PC
Attn: Theodore Stream, Esq.
3403 Tenth Street, Suite 700
Riverside, CA 92501

With a Copy to:

City of Murrieta
Attn: City Manager
1 Town Square
Murrieta, CA 92562

Aleshire & Wynder, LLP
Attn: Tiffany J. Israel
18881 Von Karman Avenue
Suite 1700
Irvine, CA 92612

Notices shall be deemed effective upon receipt or rejection only.

d. Authority to Enter Agreement. All Parties have the requisite power and authority to execute, deliver and perform the Agreement. All Parties warrant that the individuals who have signed this Agreement have the legal power, right, and authority to bind each respective Party.

e. Amendment/Modification. No supplement, modification, or amendment of this Agreement shall be binding unless executed in writing and signed by all Parties.

f. Attorneys' Fees. In the event of litigation between the Parties arising out of this Agreement, the prevailing Party shall be entitled to recover its reasonable attorneys' fees and other costs and expenses incurred, including attorneys' fees on appeal, and all other reasonable costs and expenses for investigation of such action, including the conducting of discovery, in addition to whatever other relief to which it may be entitled.

g. Time is of the Essence. Time is of the essence of each and every provision of this Agreement.

h. Miscellaneous. This Agreement embodies the entire agreement between the Parties and supersedes any prior or contemporaneous understandings between the Parties related to the Agreement. If any provision of this Agreement is held to be invalid, the balance shall remain binding upon the Parties. This Agreement shall be interpreted in accordance with its plain meaning, and not in favor of or against either Party. This Agreement shall be construed according to the laws of the State of California.

i. Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed on the date set forth below.

“CITY”:

CITY OF MURRIETA

By:



Kim Summers, City Manager

ATTEST:

By: 

Cristal McDonald, City Clerk




APPROVED AS TO FORM:

By: 

Tiffany Israel, City Attorney

“LAMAR”

LAMAR CENTRAL OUTDOOR

By: 

By: C. Todd Porter

Its: Vice President and General Manager

EXHIBIT "A"
Relocation Agreement

RELOCATION AGREEMENT

This Relocation Agreement is entered into this 15th day of April, 1997 by and between the City of Murrieta ("the City"), a municipal corporation, and Outdoor Media Group, Inc. ("OMG"), a California corporation.

RECITALS

WHEREAS, OMG maintains an outdoor advertising display within the City at Assessor Parcel Number 910-060-004 (the "Old Billboard"), and the City feels that the Old Billboard is a detriment to the aesthetic quality of the City, and

WHEREAS, the Old Billboard is an unsightly wooden structure erected on eight wooden telephone poles and measuring 12' x 40', and

WHEREAS, the City desires that the Old Billboard be removed and replaced with more aesthetically pleasing steel monopoles, at no cost to the City, and

WHEREAS, OMG owns the rights to another outdoor advertising display under Permit No. 25 purchased from Carter Sign Company, and

WHEREAS, OMG is willing to remove the Old Billboard and relocate Permit No. 25 and to replace them with two steel monopole structures (14' x 48') pursuant to Business and Professions Codes 5412.

NOW, THEREFORE, IT IS MUTUALLY AGREED AS FOLLOWS:

1. OMG agrees to remove the Old Billboard from its present location and configuration. OMG also agrees to relocate its permits rights under Permit No. 25.
2. The City agrees to permit and recognize the erection by OMG of two double-faced outdoor advertising displays within the City, the first to be

-1-

EXHIBIT 1

located on Assessor's parcel Number 910-060-004 and the second on Assessor's Parcel Number 910-020-015.

3. OMG agrees to obtain all necessary building, grading and other permits generally applicable to the erection of outdoor advertising displays, and to abide by all other local, state and federal rules and regulations generally applicable to the erection and maintenance of outdoor advertising displays. The City agrees to immediately inspect the new billboards and advise OMG in writing of all permits which the City determines are necessary for OMG to obtain. The City further agrees to expeditiously process all paperwork necessary for the issuance of such permits, which will not be unreasonably denied.

4. OMG further agrees to provide the City at no charge, 1/2 of the South Face to be used for a period of 2 years. OMG further agrees to provide the City two free paints per year on the South Face. After the 2 years are up OMG will provide the City at no charge a street advertisement structure to be used for civic functions and OMG will provide (2) banners per year at no charge to the City for a period of 10 years.

5. OMG further agrees that it will not display any advertisement for the sale of alcohol or tobacco related products on the billboards which are the subject of this Agreement.

6. The making, execution and delivery of this Agreement by the parties hereto has not been induced by any prior or contemporaneous representation, statement, warranty or agreement as to any matter other than those herein expressed. This Agreement embodies the entire understanding and agreement of the parties and there is no further or other agreement or understanding, written or oral, in effect between the parties relating to the subject matter hereof. All prior negotiations or agreements, if any, between the parties hereto, relating to the subject matter hereof are superseded by this Agreement. This Agreement may be amended or modified only by a written agreement

-2-

signed by the parties hereto.

7. This Agreement shall inure to the benefit of and be binding upon the parties and their respective agents, successors, personal representatives and assigns. This agreement is prepared by the joint efforts of the parties hereto, and shall not be construed strictly in favor of or against either party, but shall be construed fairly in accordance with the laws of the State of California and for the purpose of giving effect to each provision herein.

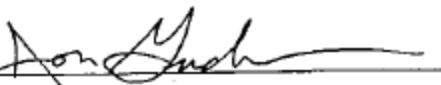
8. The parties agree to execute such additional documents and perform such further acts as may be reasonably necessary to effectuate the terms, provisions and intent of this Agreement.

9. This Agreement may be executed in two or more identical counterparts, each of which shall be deemed an original, but all of which taken together shall constitute one in the same agreement.

10. The parties hereto acknowledge that they have been represented in the above-recited matters, and with regard to the preparation and execution of this Agreement by attorneys. This Agreement has been fully explained to each party by its respective counsel. Each party hereto enters into the within Agreement with full knowledge and information as to the recitals herein contained, and with full and informed knowledge, consent and understanding of the terms and conditions of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

OUTDOOR MEDIA GROUP, INC.

By: 
Jon Gunderson, President

CITY OF MURRIETA

By: 
Mayor

ATTEST:

City Clerk



EXHIBIT 2

09/18/1996 15:33 90969898

MURRIETA ADMIN

PAGE 02

ORDINANCE NO. 164-96

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, AMENDING THE OFFICIAL ZONING MAP OF SAID CITY IN ZONE CHANGE CASE NO. 96-041, LOCATED ON THE WEST SIDE OF JACKSON AVENUE, APPROXIMATELY 1,180 FEET NORTH OF ELM STREET, CHANGING THE ZONE FROM RURAL RESIDENTIAL (R-R) TO BUSINESS PARK (B-P) AS ILLUSTRATED ON THE ATTACHED CITY OF MURRIETA ZONE CHANGE MAP (EXHIBIT 1); FILED BY OUTDOOR MEDIA GROUP

The City Council of the City of Murrieta does ordain as follows:

Section 1.1: The City of Murrieta Official Zoning, is amended by placing in effect the zone as shown on the attached map entitled Exhibit 1 (included herein by reference), Change of Official Zoning, City of Murrieta, referenced as Zone Change Case No. 96-041.

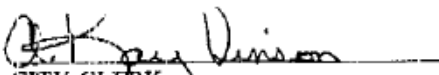
Section 2.1: The zoning shall become Business Park (B-P) for the land use development in the area contained on Exhibit 1 and development decisions shall be based on the I-P (Industrial Park) standards and criteria contained in Ordinance No. 348, Article X of the County of Riverside, as incorporated and adopted by Ordinance of the City of Murrieta, and as amended thereafter from time to time by the City Council of the City of Murrieta, unless those standards are in conflict with the General Plan in which case the General Plan shall prevail.

Section 3.1: The City Clerk shall certify to the adoption of this ordinance and shall publish a summary of this ordinance and post a certified copy of the full ordinance in the office of the City Clerk at least five days prior to the adoption of the proposed ordinance; and within fifteen days after adoption of the ordinance, the City Clerk shall publish a summary of the ordinance with the names of the Council members voting for and against the ordinance. This ordinance shall take effect thirty days after the date of its adoption.

ADOPTED by the City Council and signed by the Mayor and attested by the City Clerk this 20th day of August, 1996.


 MAYOR
 City of Murrieta

ATTEST:


 CITY CLERK
 City of Murrieta

APPROVED AS TO FORM:


 CITY ATTORNEY

09/10/1996 16:33 90969898

MURRIETA ADMIN

PAGE 03

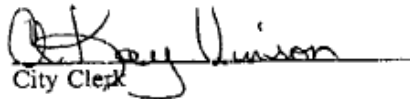
City Council Meeting
Zone Change No. 96-041
August 20, 1996
Page 2

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, hereby certify that the foregoing ordinance was duly and regularly introduced at a meeting of the City Council on the 6th day of August, 1996, and that thereafter the said ordinance was duly adopted at a regular meeting of the City Council on the 20th day of August, 1996, by the following vote, to-wit:

AYES: G. Smith, Walsh, Washington, and van Haaster
NOES: None
ABSENT: Enochs
ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and official seal of the City of Murrieta, California this 20th day of August, 1996.

(Seal)


City Clerk

PH-2

CITY OF MURRIETA



STAFF REPORT PLANNING DEPARTMENT

CASE: Zone Change No. 96-041

REQUEST: To change the zoning on a 3.77 gross acre site from R-R (Rural-Residential) to B-P (Business Park).

APPLICANT: Outdoor Media Group

MEETING DATE: July 10, 1996

LOCATION: On the west side of Jackson Avenue, approximately 1,180 feet north of Elm Street.

CASE PLANNER: Patti Nahill

RECOMMENDATION: That the Planning Commission recommend to the City Council adoption of the Negative Declaration, adoption of De Minimis Impact Findings, and approval of Zone Change No. 96-041 based on the findings contained in the staff report.

STAFF RECOMMENDATIONS:

That the Planning Commission recommend to the City Council:

1. **ADOPTION** of the Negative Declaration for Zone Change No. 96-041 based on the findings that the project will not have an adverse impact on the environment; and,
2. **ADOPTION** of De Minimis Impact Findings that considering the record as a whole, there is no evidence that the proposed project will have the potential for adverse effect on wildlife resources or the habitat upon which the wildlife depends; and,
3. **APPROVAL** of Zone Change No. 96-041, based on the findings contained in the staff report; and,
4. **INTRODUCTION** of an ordinance to amend the official zoning map.

BACKGROUND INFORMATION:

- | A. | General Plan
Land Use Designation | Existing
Zoning | Existing
Land Use |
|--------|--------------------------------------|--------------------|--|
| Site: | Business Park | R-R | Single family residence with accessory structures, storage, a billboard and a communication facility |
| North: | Business Park | R-R & C-P-S | Vacant land and a highway storage facility |
| South: | Business Park | R-R | Single family residence and billboards |
| East: | Business Park | I-P | Vacant land and a sand/gravel operation |
| West: | Business Park & I-15 | R-R | Vacant land and Interstate 15 |
- B. SITE CHARACTERISTICS:** The site is located on the west side of Jackson Ave., approximately 1,180 feet north of Elm Street. The topography of the site is varied between rolling hills and dales. At the top of a northerly knoll, a single family residence exists in addition to an older wooden outdoor advertising display structure. Miscellaneous storage, structures from a non-functioning agricultural operation and a newly constructed communication facility are located in the area south of the existing residence.
- C. STREET CIRCULATION PLAN:** Jackson Avenue's existing right-of-way is 60 feet with future right-of-way expansion proposed to 100 feet.
- D. ENVIRONMENTAL DETERMINATION:** An Initial Study has been prepared pursuant to Section 15063 of the California Environmental Quality Act (CEQA) and a Negative Declaration has been proposed for adoption on this project.
- E. PREVIOUS APPROVALS/SPECIAL CIRCUMSTANCES:** Outdoor Advertising Display Permit No. 37 was approved by the Riverside County on 3/16/67. Plot Plan 95-

Planning Commission
 Zone Change No. 96-041
 July 10, 1996
 Page 3

034 to permit AirTouch Cellular to erect a 106 foot monopole and 12 foot by 30 foot equipment shed on the site was approved by the Planning Commission on 11/29/95.

PROJECT DESCRIPTION:

The project proponent, Outdoor Media Group, is requesting to change the zoning designation from R-R (Rural-Residential) to B-P (Business Park) of three individual parcels consisting of 3.77 gross acres. No development plans have been submitted as part of this proposal, however, public facilities expansion may be necessary with a specific development application.

ANALYSIS:

1. **General Plan Consistency:** The requested change is consistent with the General Plan land use district designation of Business Park. The General Plan envisions the area on the east side of Interstate 15, north of Elm Street transitioning over time into an area which will allow light manufacturing, fabrication, material processing, and assembly, providing that the uses are conducted in a controlled setting where all operations will be performed inside structures. Specifically, the General Plan identifies the following policies for development within the Business Park land use designation:

Policy LU-1.4a	All manufacturing activities in the Business Park designation will be conducted within enclosed buildings with a limited amount of outdoor storage allowed only on a case by case basis under special review. Outdoor storage will be screened from public view with walls, berms, and landscaping.
Policy LU-1.4b	Research and development activities are encouraged in the Business Park designation, as well as regional home offices of manufacturing businesses. Ancillary retail uses may be permitted.
Policy LU-1.4f	All Business Park activities will be buffered from residential uses. Setbacks, landscaping, berms, screening walls and other techniques will be used to transition from industrial to residential uses. Where a Business Park lot fronts on two streets (a through lot), and one street frontage adjoins residential while the other frontage adjoins industrial, access shall be prohibited onto the residential fronting street.
Policy LU-1.4g	All industrial development shall be consistent with the intensity limits established in the General Plan. Any adopted design guidelines, impact fees, or other City regulation for an industrial site must be complied with.
2. **Zoning Consistency:** The City Council adopted Resolution 96-430 to address zone changes which precede adoption of the City's Development Code. The determination was made that until such time that the City adopts a Development Code that is in conformance with the General Plan, development decisions shall be based upon the

Planning Commission
 Zone Change No. 96-041
 July 10, 1996
 Page 4

General Plan land use designations and policies, and not the existing Riverside County recognized zoning classifications. A matrix was established to identify which County classifications would relate to Murrieta's land use designations. For this particular application, the two designations would be B-P (Business Park) under the City of Murrieta and I-P (Industrial Park) as the County's identifier. The resolution went further to state that development decisions shall be based on the standards contained within Ordinance No. 348 unless those standards are in conflict with General Plan provisions. Therefore in this instance, any development application for the proposed site would be reviewed against Article X of Ordinance No. 348 which enumerates the regulations that apply to the Industrial Park zone classification.

3. **Site Development:** The proposal to change the zoning from residential to industrial will not cause any existing legal structures on-site to be displaced, however their status will be affected. Any zone change action for approval will result in a status change to nonconforming. Ordinance No. 348, Section 18.8 permits any nonconforming structure or use to be continued and maintained, provided there are no structural alterations. Further, if any part of a structure or land occupied by a nonconforming use is discontinued for one year or more, the land shall thereafter be used in conformance with the provisions of the industrial classification and the residential nonconforming right shall be forfeited.
4. **Comments Received:** The City of Temecula responded to a request for comments in a letter dated May 28, 1996. In their correspondence, they questioned whether the application was a speculative zone change or if there was an accompanying development plan. They went on to note that the applicant's name is Outdoor Media Group which suggests that the intended use will be for some form of outdoor advertising. If this is the case, the City of Temecula states they would be in opposition to the change of zone since the location is at the gateway to the City of Temecula. They also noted that the proposed change of zone is in an area that is not served by adequate circulation and other basic services regarded as necessary for business development. They closed their letter, "In summary there seems to be no compelling need for the proposed action."

The application in question is for a change in the zone classification. There were no accompanying development plans submitted as part of this application request. Any future development request will be conditioned to provide adequate provisions for circulation, utilities and other public services. The applicant is Outdoor Media Group on behalf of Dortha Tiss and Pauline Brown, co-owners of the subject parcels. Any application for a new outdoor advertising display will be subject to the Conditional Use Permit process and shall required to be in conformance with Section 19.3 of Ordinance No. 348 which regulates outdoor advertising displays. One particular subsection of note is that the location of outdoor advertising displays shall be permitted only on properties

Planning Commission
Zone Change No. 96-041
July 10, 1996
Page 5

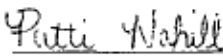
abutting the freeway. None of the three subject parcels abut the freeway. The only permissible deviation from this standard can be evaluated under the context of a relocation agreement of an existing legally permitted structure.

5. **Environmental Determination:** An Initial Study has been prepared by staff and has found that no significant environmental impacts will occur as a result of the proposed consistency zoning request, therefore, a Negative Declaration is proposed for adoption. The Notice of Intent to File a Negative Declaration was advertised and available for public review from June 3 to June 24, 1996. To date, no comments have been received regarding the initial study assessment.


CONCLUSIONS:

The proposed zone change is consistent with the General Plan and any future development will be required to be consistent with the development policies stated within the General Plan and Article X of Ordinance No. 348. The General Plan EIR and the initial study did not identify any environmental impacts that could not be sufficiently mitigated at the time of site development. Therefore, staff is recommending that the Planning Commission recommend to the City Council approval of Zone Change No. 96-041 based on the findings attached herein.

Prepared By:


Patti Nahill, AICP
Associate Planner

Approved By:


Brad L. Kilger, AICP
Economic and Community Development Director

ATTACHMENTS:

1. Findings for Zone Change No. 96-041
2. De Minimis Impact Findings
3. Draft City Council Ordinance
4. Existing Land Use\General Plan Land Use\Zoning Map
5. Initial Study
6. Negative Declaration

**FINDINGS FOR APPROVAL OF
ZONE CHANGE NO. 96-041
JULY 10, 1996**

Based upon the hearing evidence, all written and oral testimony, and documents and exhibits which are contained in the staff report for the above referenced case, the Planning Commission finds as follows:

1. The proposed project is consistent with the General Plan.

FACTS: The applicant's request to change the designation from R-R (Rural Residential) to B-P (Business Park) is consistent with the designation of Business Park identified through the General Plan review process as an appropriate use adjacent to the freeway and based on the existing transitioning development pattern.

2. The proposed project is consistent with the Zoning Ordinance 348 and all other applicable requirements of local ordinances and state law.

FACTS: The zone change application does not propose any physical site changes. All future projects shall meet all applicable development standards including, but not limited to, setbacks, access, circulation, parking, lighting, and landscaping of the I-P (Industrial Park) Zoning District and the applicable development policies of the General Plan.

3. The proposed zone change is compatible with and complimentary to the permitted uses in the same neighborhood.

FACTS: The area is in a stage of transition between lower density residential uses with a variety of ancillary uses to a more traditional manufacturing and material processing land use pattern. The General Plan proposes future upgrades to Jackson Avenue which will facilitate development of higher intensive uses within this area. The zone change will compliment the existing pattern that has been occurred on the subject parcels.

4. The proposed project will not adversely affect the public health, safety, and welfare, nor be materially detrimental to the use, enjoyment, or valuation of persons or other property in the surrounding area because it is required to comply with applicable health and zoning codes.

FACTS: The requested zone change to industrial will not in and of itself create any adverse impacts to affect the public health, safety and welfare of the surrounding property owners. All future development plans will be required to comply with all applicable health, building and zoning codes.

Attachment 1

ADDENDUM

OUTDOOR MEDIA GROUP will pay all fees associated with zone change on the subject property including city filing fees, and the hiring of Markham and Associates to do the necessary engineering work

Land rent will start September 1, 1996. The sign structure on the property will become the property of OUTDOOR MEDIA GROUP.

Jon Liss
Brother Liss

REF ID: A66087

4-5

30

R. H. Johnson

MURKIN

MURKIN

7

Date

Mar 16 - 61

Counties

87

EXHIBIT “B”
Removed Billboards

Sign No.	Board Lease No.	Display Nos.	Location
1	5052	70521 /70522	I-15 EL .2mi N/O 215 Overpass APN: 910-390-021
2	5054	70541/70542	I-15 EL .3mi N/O 215 Overpass APN 910-390-021
3	3361	33613/33614	I-15 WL 1.35mi N/O Winchester APN: 910-210-050.

EXHIBIT “C”
215/Keller Billboard

No.	Location
1.	Corner of Keller Rd and Antelope Rd. APN: 384-220-001

EXHIBIT “D”
Reconstructed Billboards

Sign No.	Board Lease No.	Display Nos.	Location
1	3331	33311/33312	I-15 WL 1.2 Mi N/O Winchester APN: 910-210-055
2	3333	33331/33332	I-15 & 215 EL S/O Overpass APN: 910-020-077
3	5058	70581/70582	I-15 E/L 1.5 mi N/O Winchester APN: 910-060-009

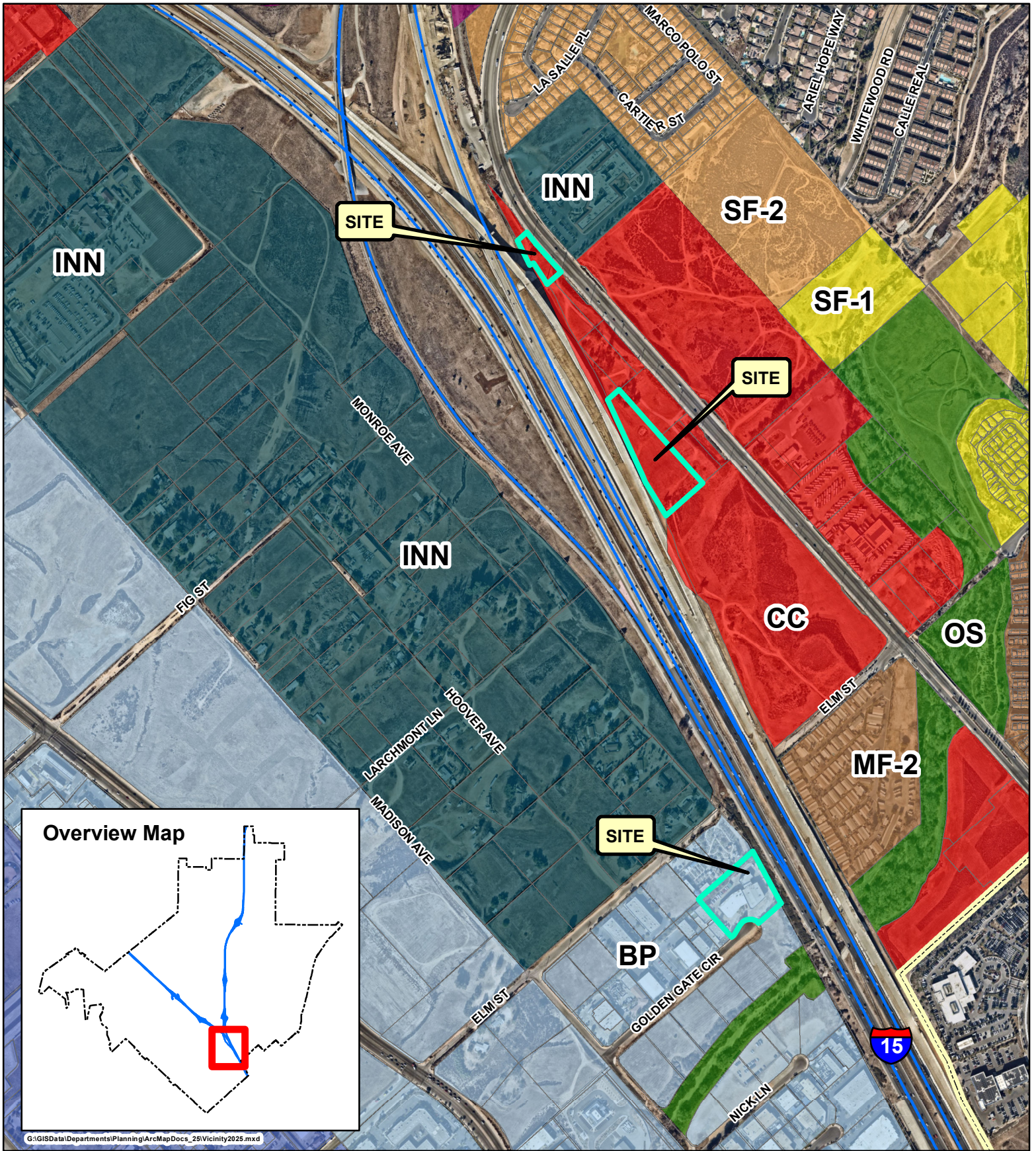
EXHIBIT “E”
Conceptual Billboard Designs



Darker accent lines as shown.



ADDRESS _____
DATE 6-6-22 _____
DRAWING NUMBER _____



LAMAR BILLBOARDS

5/14/2025



800 400 0 800 Feet



Vicinity Map

APN: 910-210-055,
910-020-081,
910-060-019 721

NOTICE OF EXEMPTION

City of Murrieta Planning Division (Development Services Department)

TO: County Clerk and Recorder's Office
County of Riverside
2724 Gateway Drive
Riverside, CA 92507

FROM: City of Murrieta
Planning Division (DSD)
1 Town Square
Murrieta, CA 92562

Project Title: Development Agreement for Digital Billboards per Relocation Agreement

Project Applicant: LAMAR Central Outdoor, LLC

Description of Project: On December 20, 2022, the City and developer Lamar Central Outdoor, LLC entered into a Relocation Agreement in accordance with California Business and Professions Code Sections 5200 *et seq.* and Title 16 of the Murrieta Municipal Code to memorialize the terms and conditions upon which Developer will have the right to relocate and reconstruct certain legally existing billboards within the City. Pursuant to the terms of the Relocation Agreement, upon the permanent removal of the Removed Billboards (as defined in the Relocation Agreement), the Developer shall be entitled to reconstruct three (3) existing Billboards upon private property, subject to the approval of a ministerial sign permit and a Development Agreement. The locations of the 3 billboard signs and corresponding heights are located at 41001 Golden Gate Circle (57' tall), 25941 Jackson Avenue (85' tall), and 26171 Jackson Avenue (57' tall).

Project Site Size: The three project sites each have approximately 1,000 square feet of area for the footprint of the pole and trenching, placed upon larger parcels.

Project Location: The three Project sites are located at 1) I-15 WL 1.2 MI N/O Winchester APN: 910-210-055, 2) I-15 & 215 EL S/O Overpass S APN: 910-020-077, and 3) I-15 E/L 1.5 MI N/O Winchester APN: 910-060-009, Murrieta, California.

Public Agency Approval: On May 28, 2025, as part of their recommendation to City Council, the City of Murrieta Planning Commission determined that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) guidelines Section 15302 – Replacement or Reconstruction, and Section 15303 New Construction or Conversion of Small Structures and approved the project along with a recommendation to City Council.

Exempt Status: (*check one*)

- ☐ Ministerial (Section 21080 (b)(1); Section 15268).
- ☐ Declared Emergency (Section 21080 (b) (3); Section 15269(a)).
- ☐ Emergency Project (Section 21080 (b) (4); Section 15269(b)(c)).
- ☐ Statutory Exemption (Section Number: _____).
- ☒ Categorical Exemption: Class 2 and 3 (Section Numbers 15302 and 15303)
- ☐ The activity is not subject to CEQA (Section 15061(b)(3))

Statement of Reasons Supporting the Finding that the Project is Exempt: The project is exempt under Section 15302 (Class 2) – Replacement or Reconstruction, and Section 15303 (Class 3) New Construction or Conversion of Small Structures as the Project is located on the same sites as the structures to be replaced, will have substantially the same purpose and capacity as the structures to be replaced and is based upon a reduction of overall sign facilities that are comparable to the referenced examples of 10,000 square feet of building area. The sites have been reviewed for consistency with biological and lighting requirements, with no significant impacts identified. The site has necessary public services available, and each of the three sites is not found to be an environmentally sensitive area. The Project has conditions of approval that will require the replacement and/or conversion of the three signs to conform to stormwater regulations, cultural/paleo/biological regulations, and inspections will ensure that the Project complies with CEQA.

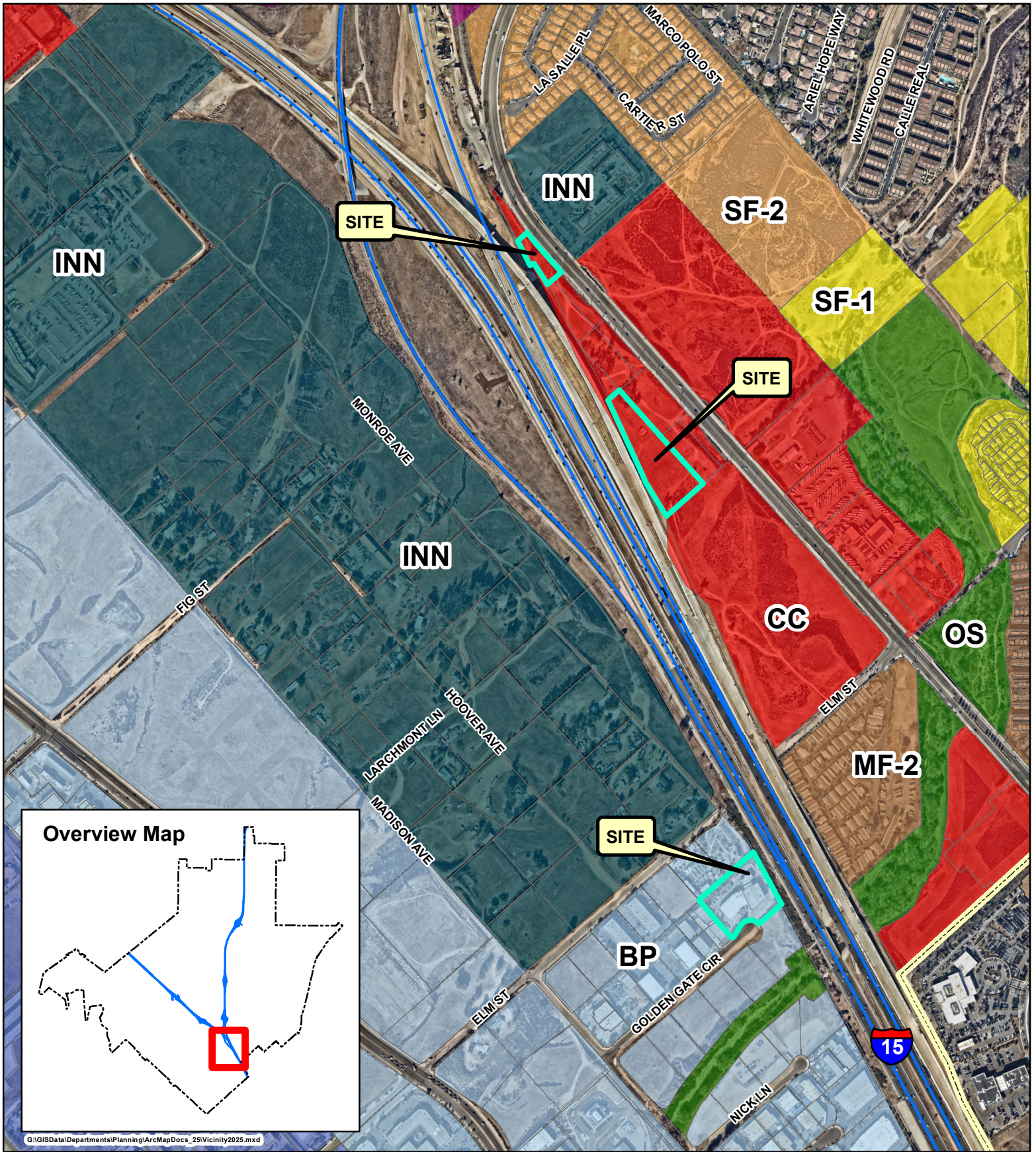
Contact Person: Jarrett Ramaiya, Deputy Director
Signature: _____

Phone Number: (951) 461-6069
Date: _____

Received for Filing: (To be completed by the County)

DATE

SIGNATURE/TITLE



LAMAR BILLBOARDS

5/14/2025



800 400 0 800 Feet



Vicinity Map

APN: 910-210-055,
910-020-081,
910-060-019 723

NOTICE OF EXEMPTION

City of Murrieta Planning Division (Development Services Department)

TO: County Clerk and Recorder's Office
County of Riverside
2724 Gateway Drive
Riverside, CA 92507

FROM: City of Murrieta
Planning Division (DSD)
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Description of Project: On December 20, 2022, the City and developer Lamar Central Outdoor, LLC entered into a Relocation Agreement in accordance with California Business and Professions Code Sections 5200 *et seq.* and Title 16 of the Murrieta Municipal Code to memorialize the terms and conditions upon which Developer will have the right to relocate and reconstruct certain legally existing billboards within the City. Pursuant to the terms of the Relocation Agreement, upon the permanent removal of the Removed Billboards (as defined in the Relocation Agreement), the Developer shall be entitled to reconstruct three (3) existing Billboards upon private property, subject to the approval of a ministerial sign permit and a Development Agreement. The locations of the 3 billboard signs and corresponding heights are located at 41001 Golden Gate Circle (57' tall), 25941 Jackson Avenue (85' tall), and 26171 Jackson Avenue (57' tall).

Project Site Size: The three project sites each have approximately 1,000 square feet of area for the footprint of the pole and trenching, placed upon larger parcels.

Project Location: The three Project sites are located at 1) I-15 WL 1.2 MI N/O Winchester APN: 910-210-055, 2) I-15 & 215 EL S/O Overpass S APN: 910-020-077, and 3) I-15 E/L 1.5 MI N/O Winchester APN: 910-060-009, Murrieta, California.

Public Agency Approval: On July 1, 2025, the City of Murrieta City Council determined that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) guidelines Section 15302 – Replacement or Reconstruction, and Section 15303 New Construction or Conversion of Small Structures and approved the project.

Exempt Status: (*check one*)

- ☐ Ministerial (Section 21080 (b)(1); Section 15268).
☐ Declared Emergency (Section 21080 (b) (3); Section 15269(a)).
☐ Emergency Project (Section 21080 (b) (4); Section 15269(b)(c)).
☐ Statutory Exemption (Section Number: _____).
☒ Categorical Exemption: Class 2 and 3 (Section Numbers 15302 and 15303)
☐ The activity is not subject to CEQA (Section 15061(b)(3))

Statement of Reasons Supporting the Finding that the Project is Exempt: The project is exempt under Section 15302 (Class 2) – Replacement or Reconstruction, and Section 15303 (Class 3) New Construction or Conversion of Small Structures as the Project is located on the same sites as the structures to be replaced, will have substantially the same purpose and capacity as the structures to be replaced and is based upon a reduction of overall sign facilities that are comparable to the referenced examples of 10,000 square feet of building area. The sites have been reviewed for consistency with biological and lighting requirements, with no significant impacts identified. The site has necessary public services available, and each of the three sites is not found to be an environmentally sensitive area. The Project has conditions of approval that will require the replacement and/or conversion of the three signs to conform to stormwater regulations, cultural/paleo/biological regulations, and inspections will ensure that the Project complies with CEQA.

Contact Person: Jarrett Ramaiya, Deputy Director
Signature: _____

Phone Number: (951) 461-6069
Date: _____

Received for Filing: (To be completed by the County)

DATE

SIGNATURE/TITLE



CITY OF MURRIETA

City Council Meeting Agenda

Report

7/1/2025
Agenda Item No. 13.

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: Justin Clifton, City Manager

PREPARED BY: Kristen Crane, Assistant City Manager

SUBJECT: Discussion of Concept for Weekly Food Truck Event at Town Square Park

RECOMMENDATION

Review and discuss the preliminary concept for a weekly food truck event at Town Square Park and provide direction to staff.

PRIOR ACTION/VOTE

On June 3, 2025, the City Council voted to reinstate the Town Square Park Amphitheater and Signature Events Ad-Hoc Subcommittee. Mayor Warren and Council Member Holliday were appointed by the City Council to serve on the Subcommittee (Vote: 5-0).

CITY COUNCIL GOAL

Foster and promote an engaged, connected and caring community.

DISCUSSION

The City of Murrieta (City) was recently approached by Wanderlust Events about the possibility of hosting a weekly food truck event in the Town Square Park. The event organizer hosts similar events in Hemet and Banning.

Elements of the vision include:

- Weekly event to be held on Wednesday evenings year-round, encompassing the hours of 2:30 p.m. to 11:00 p.m., including time for set-up (2:30 p.m. to 5:00 p.m.) and tear-down (10:00 p.m. to 11:00 p.m.).
- Food trucks would be set-up on the loop road of Town Square Park. The amphitheater stage would not be used for this event.
- The event organizer would make all arrangements for the food trucks and be responsible for all other components, such as set-up, tear-down, tables, chairs, marketing, trash collection and disposal,

security, Health Department requirements for food safety, and ensuring vendors have business licenses and insurance.

- The park restrooms and large overhead lights would be used for the event.
- The event organizer would like all fees and deposits for use of the Town Square Park to be waived.

Per the City's adopted fee schedule, the estimated value of fees and deposits for this event are as follows:

- **One-Time Fees - \$2,224.89**
 - Application Fee - \$724.89 (For review by staff Special Events Committee)
 - Deposit - \$1,500
- **Recurring per Event - \$1,409.82**
 - Reimbursement of cost for staff presence during events - \$802.80

Staff recommends that one (1) City staff person be present during the events at least initially.

The following costs would likely apply to this event under the City's current fee schedule:

- One Community Services Department (CSD) staff person for four (4) hours at the rate based upon the City's fee schedule is \$450.76.
- One Fire Inspector for food trucks for four (4) hours at the rate based upon the City's fee schedule is potentially approximately \$352.04, depending on the scope, type, and volume of food truck vendors.
- Restocking and Supply Fee for Extended Restroom Time - \$51.45
- Use Fees for Park Rental - \$364.91
 - Park Rental (non-CSD sponsored classes) - \$42.93/hour for 8.5 hours (2:30 p.m. set-up; 5:00 p.m. -10:00 p.m. for event; 10:00 p.m. - 11:00 p.m. clean-up)
 - Use Fees for High-Powered Park Lighting (hourly) - \$231.54
 - Three (3) hours at \$77.18 per hour

Other details that would need to be addressed include:

- Level of service for fire inspection services for food trucks;
- Any additional concerns by Police Department;
- Allowances for event signage;
- Additional requirements if alcohol is served; and
- Staffing coverage to accommodate a weekly event based on staffing needs for other existing events.

In the past, City Council has expressed interest in seeing expanded use of Town Square Park and in seeing more special events that promote a connected community. At the same time, the City Council has been sensitive about subsidizing events, especially during times of budget constraints. The City Council recently reestablished an Ad-Hoc Committee to consider fees and other policies with the goal of balancing these competing interests. The vendor wishes to secure a use agreement in advance of any recommendations the Ad Hoc Committee may present to the City Council concerning fee changes.

If the City Council would like to proceed with this event series, staff will work with the event organizer to prepare an agreement for future approval by the City Council. Based on the City Council meeting schedule,

the soonest this agreement would be brought forward for consideration would be the August 19, 2025, City Council meeting.

Potential Options to Proceed

Several options for the City Council to consider include:

1) Apply all Standard Fees

- a. Pros:
 - i. Consistent with previous events and event inquiries.
 - ii. Most likely to minimize any actual costs borne by the City.
 - iii. Easy to administer.
- b. Cons:
 - i. May be cost prohibitive and preclude the events from taking place.

2) Allow a Pilot Program: waive fees for a limited series of events (e.g., four (4)) with the intent of revisiting the fee structure after determining financial viability.

- a. Pros:
 - i. The City would absorb fees (likely \$7,000-\$8,000) for one-time and recurring costs, allowing the vendor to test the popularity of the event and the potential to incorporate fees into the business model.
 - ii. Would create some context on feasibility as the City Council Ad-Hoc Committee attempts to rebalance the interest in hosting numerous community events with the interest of minimizing costs to the City.
- b. Cons:
 - i. Inconsistent with past practices.
 - ii. The City would need to absorb some direct costs.
 - iii. Establishes a potential precedent for future fee waivers.

3) Negotiate Reduced Fees

- a. Pros:
 - i. The City could work with the vendor to waive one-time fees and deposits, minimize recurring fees by shifting as much work as possible to the vendor, and potentially cover a portion of recurring fees to make the events financially viable.
 - ii. This may create a workable solution that is viable for the vendor without requiring the City to absorb all costs.
 - iii. Consistent with similar efforts to partner with Market Nights and Newman Hospitality to improve the financial sustainability of those events.
- b. Cons:
 - i. Waiving and/or reducing fees could boost profits beyond what is necessary to make the events financially viable.
 - ii. Could establish a precedent for other events.

4) Share Risk: Partner with the vendor to share risk and reward by waiving fees but sharing some revenue.

- a. Pros:
 - i. If done well, this option minimizes risk while maximizing reward for both parties.
- b. Cons:
 - i. This arrangement has been tried in the past with other events but proved difficult to administer.
 - ii. Requires a high level of transparency to ensure risk and reward are shared

appropriately.

- 5) Other: City Council could consider any other arrangement that balances the viability of the event with associated costs to the City.

Staff requests City Council direction on how to proceed.

FISCAL IMPACT

If the City Council directs staff to proceed with preparing an agreement, depending on the terms of the agreement, the city may potentially incur a financial cost either as a result of loss of revenue (i.e., fee waiver) or additional operating costs to provide staff support before, during, or after the event, the amount of which is yet to be determined.

A food truck event may generate limited revenue for the City. Food truck vendors would be responsible for collecting and remitting sales tax based on sales at the events. In total, between general Sales Tax and Measure T, the City would receive two (2) cents per dollar of sales. For example, for a \$15, plate of food, the City would receive \$0.30 in Sales Tax and Measure T revenue.

ATTACHMENTS

None.